

PP/11 / 2421 / rev B

No 9 PHENE STREET, LONDON SW3 5NY

SITE PLAN

TREVOR LAFFY ARCHITECTS
 grove house
 99 Inverhall Road
 London SE23 9CU
 design@trevorlaffy.com.uk
 www.trevorlaffy.com.uk
 T +44(0)20 7737 6181
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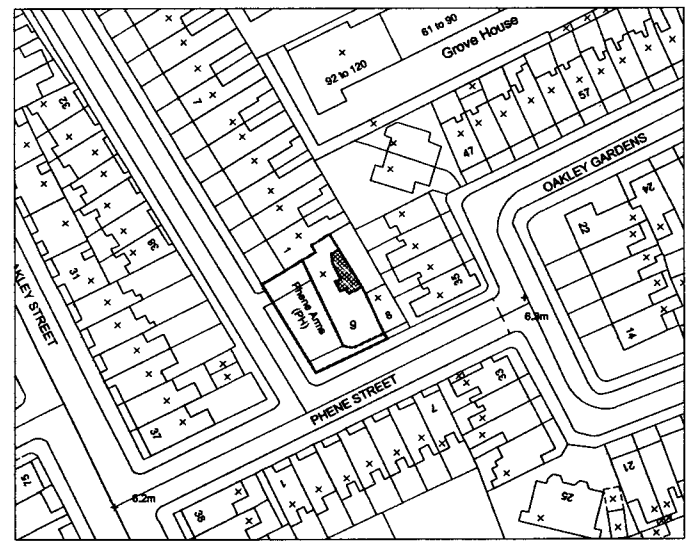
CLIENT
RAB PENSION TRUST

- TREVOR LAFFY ARCHITECTS LTD
- Do not scale off this drawing, use listed dimensions only. All dimensions and levels to be checked on the site and found correct before any work is commenced.
 - Revised only for purposes indicated.
 - This drawing is to be used in conjunction with construction drawings and specifications.
 - This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or stored in a CAD system without our written consent.
 - The main contractor should be consulted with the necessary compliance with the CDM regulations.
 - The dimensions shown on this drawing have been taken as the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES



- | | |
|--|--|
| <p>PROPOSED</p> <ul style="list-style-type: none"> 822 (20) 001 GROUND FLOOR PLAN 822 (20) 002 FIRST FLOOR PLAN 822 (20) 003 SECOND FLOOR PLAN 822 (20) 004 ROOF PLAN 822 (20) 005 LOWER GROUND FLOOR 822 (20) 006 BASEMENT PLAN 822 (20) 007 SUB-BASEMENT PLAN 822 (21) 002 SECTION B 822 (21) 003 SECTION C 822 (21) 004 SECTION D 822 (21) 005 SOUTH EAST ELEVATION | <p>EXISTING</p> <ul style="list-style-type: none"> 822 (00) 001 SITE PLAN 822 (02) 001 GROUND FLOOR PLAN 822 (02) 002 FIRST FLOOR PLAN 822 (02) 003 SECOND FLOOR PLAN 822 (02) 005 ROOF PLAN 822 (02) 006 BASEMENT PLAN 822 (02) 008 SECTION B 822 (02) 009 SECTION C 822 (02) 011 SOUTH WEST ELEVATION 822 (02) 012 SOUTH EAST ELEVATION |
|--|--|

All received 19/01/12

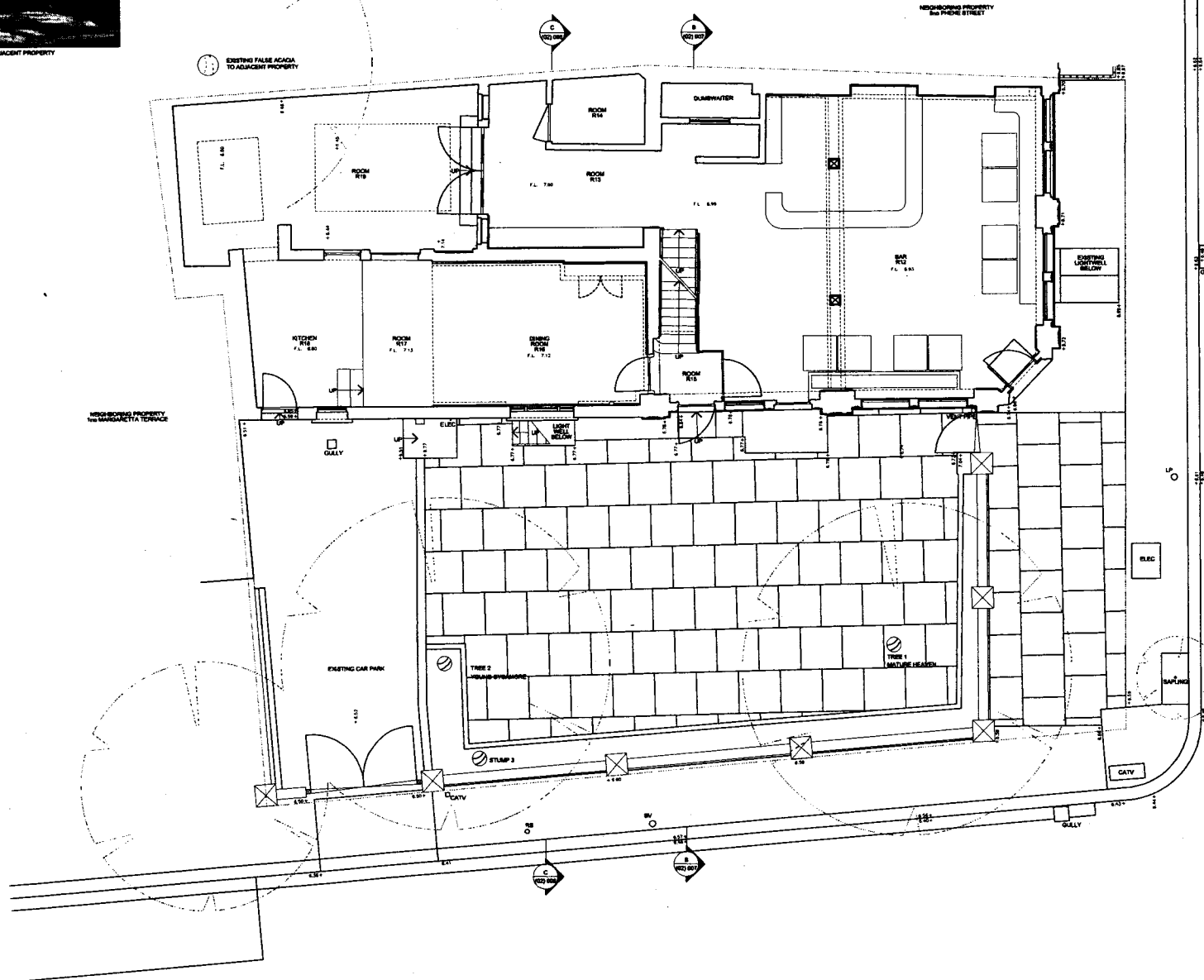


NO.	SCALE	PLANNING	DATE	DESCRIPTION	DATE	BY	REV
ADDRESS							
9 PHENE STREET LONDON SW3 5NY							
TITLE							
SITE PLAN							
STATUS	PLANNING	DESIGNED BY	MHI				
SCALE	1:500@A1	CHECKED BY	TAV				
DATE	JULY 2011	DRAWING NO.	001	REV	PS		
PROJECT NO.	822 (00)						



EXISTING TREE TO ADJACENT PROPERTY

EXISTING FALSE ACACIA TO ADJACENT PROPERTY



EXISTING COVERED LIGHTWELL



TREVOR LAFFY ARCHITECTS

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CLIENT RAD PENSION TRUST

- TREVOR LAFFY ARCHITECTS
1. We warrant that the drawings and technical information are accurate and complete in accordance with the requirements of the Building Regulations and the Building Act 2003.
 2. These drawings are to be used in accordance with the Building Regulations and the Building Act 2003.
 3. This drawing is copyright and the property of T.L.A. and shall not be copied, altered or reproduced in any form or passed to a third party without our express consent.
 4. The total contract price is agreed with the client and is set out in the contract documents.
 5. T.L.A. is not responsible for any errors or omissions in the drawings which are the responsibility of the client's surveying company.
 6. T.L.A. is not responsible for any errors or omissions in the drawings which are the responsibility of the client's surveying company.
 7. T.L.A. is not responsible for any errors or omissions in the drawings which are the responsibility of the client's surveying company.

EXISTING

SPECIFIC NOTES

NO.	DATE	DESCRIPTION	BY	CHECKED
ADDRESS 9 PHENE STREET LONDON SW3 5NY				
TITLE EXISTING GROUND FLOOR PLAN				
SCALE	PLANNING	DESIGNED BY	T.L.A.	
1:50 @ A1 & 1:100 @ A1		CHECKED BY	T.L.A.	
DATE	JUNE 2011	DATE		
PROJECT NO.	822 (R2)	NO.	001	REV
				PS



EXISTING GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



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CLIENT
 RAB PENSION TRUST

TREVOR LAMY ARCHITECTS

1. Do not scale off this drawing, use digital dimensions only. All dimensions are taken to the finished or as constructed unless otherwise indicated and subject to a generally reported measurement and tolerance to T.A.
2. Issues only for purposes indicated.
3. This drawing is to be used in conjunction with contractors drawings and specifications before proceeding with work. All specifications referred to in this drawing are assumed to be current unless otherwise stated.
4. This drawing is copyright and with authority of T.A. and may not be copied, altered or reproduced in any way or used in any form without the written consent of T.A.
5. The work undertaken should be consistent with the statutory obligations under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements taken on the existing building or information provided.
7. Compliance to be provided by each contractor for T.A. approval.
8. T.A. is responsible for drawings and shall retain the copyright.

EXISTING

SPECIFIC NOTES:

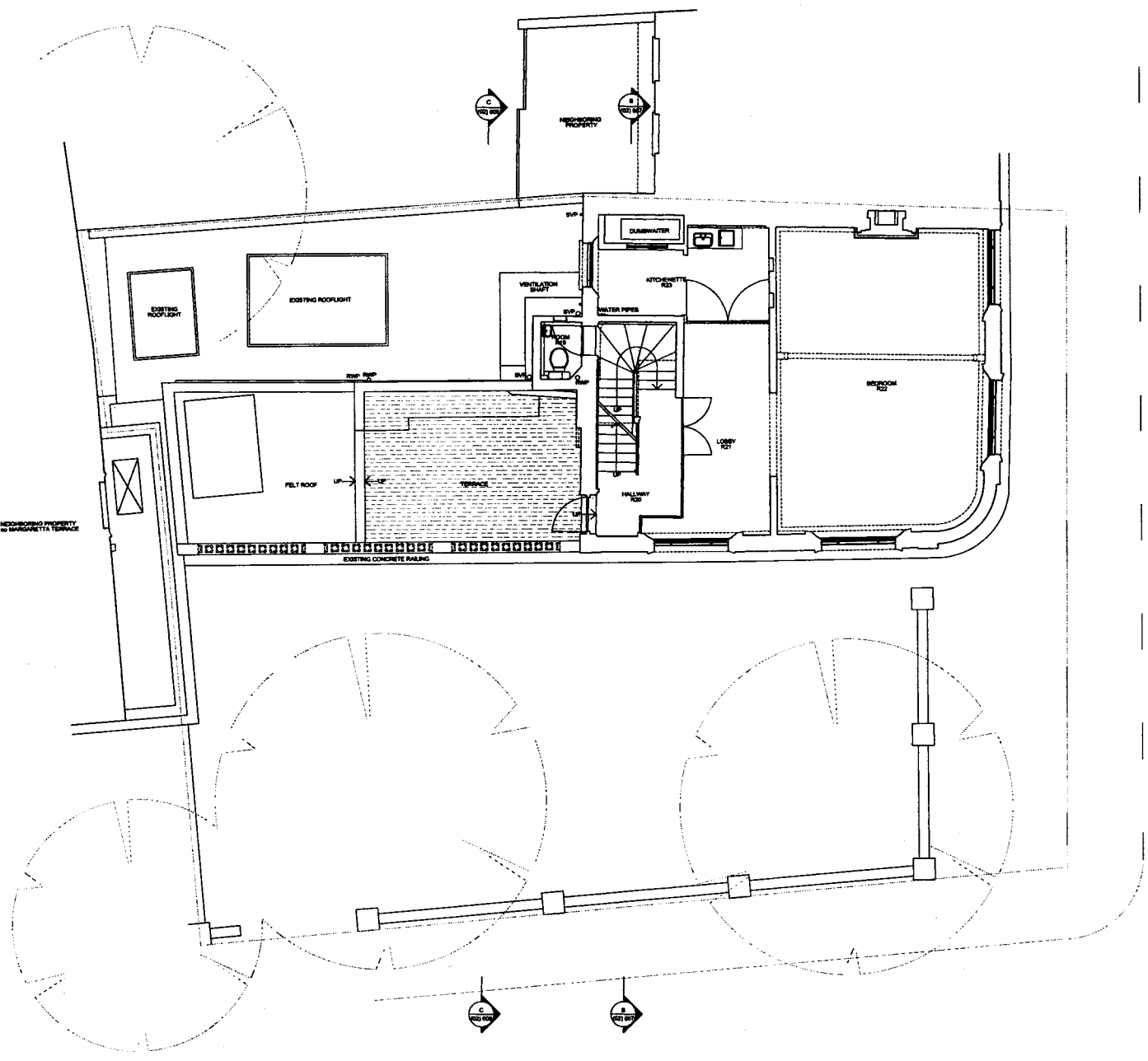
1. Existing concrete railing to be replaced with new stainless steel railing.
2. Existing roof to be replaced with new felt roof.
3. Existing rooflights to be replaced with new rooflights.
4. Existing ventilation shaft to be replaced with new ventilation shaft.
5. Existing water pipes to be replaced with new water pipes.
6. Existing kitchen to be replaced with new kitchen.
7. Existing bathroom to be replaced with new bathroom.
8. Existing bedroom to be replaced with new bedroom.
9. Existing hallway to be replaced with new hallway.
10. Existing lobby to be replaced with new lobby.
11. Existing stairs to be replaced with new stairs.
12. Existing walls to be replaced with new walls.
13. Existing floors to be replaced with new floors.
14. Existing doors to be replaced with new doors.
15. Existing windows to be replaced with new windows.
16. Existing roof to be replaced with new felt roof.
17. Existing rooflights to be replaced with new rooflights.
18. Existing ventilation shaft to be replaced with new ventilation shaft.
19. Existing water pipes to be replaced with new water pipes.
20. Existing kitchen to be replaced with new kitchen.
21. Existing bathroom to be replaced with new bathroom.
22. Existing bedroom to be replaced with new bedroom.
23. Existing hallway to be replaced with new hallway.
24. Existing lobby to be replaced with new lobby.
25. Existing stairs to be replaced with new stairs.
26. Existing walls to be replaced with new walls.
27. Existing floors to be replaced with new floors.
28. Existing doors to be replaced with new doors.
29. Existing windows to be replaced with new windows.

REV	DATE	DESCRIPTION	BY	CHK
01	01/06/11	ISSUED FOR PERMIT	TLM	ML
02	01/06/11	ISSUED FOR PERMIT	TLM	ML

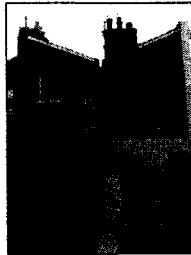
ADDRESS
 9 PHENE STREET
 LONDON SW3 5NY

TITLE
 EXISTING FIRST FLOOR PLAN

SCALE	1:50 @ A1 & 1:100 @ A3	DATE	JUNE 2011
PROJECT NO.	S22 (02)	DATE	JUNE 2011



VIEW TO ADJOINING PROPERTY



VIEW TO PHENE ARMS



EXISTING FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



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 F +44(0)20 7238 0348

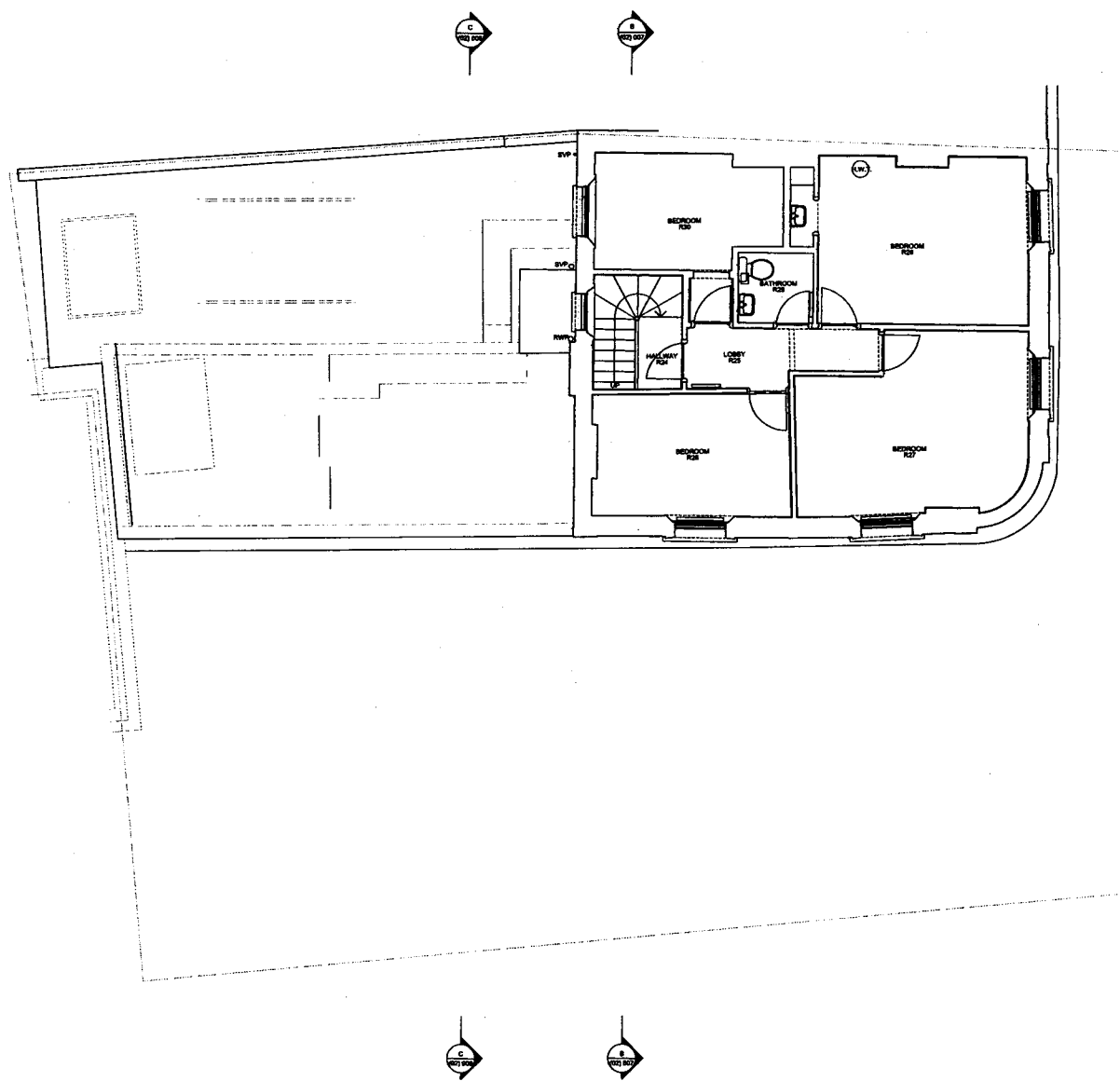
CLIENT
RAB PENSION TRUST

- TRIVOR LAMPY ARCHITECTS
- Do not scale off this drawing, use digital alternatives only. All dimensions and levels to be checked on site. All work must be undertaken in accordance with the Building Regulations and all other applicable legislation and standards.
 - Issue only for purposes indicated.
 - This drawing is to be used in conjunction with specifications, drawings and specifications before proceeding with work. All conditions referred to in relation to the drawings shall be read and understood by the contractor and the client.
 - This drawing is intended as a guide only and may not be used, copied or reproduced in any way or for any other purpose without the prior written consent of the architect.
 - The architect shall be responsible for the design and construction of the building in accordance with the Building Regulations.
 - The architect shall be responsible for the design and construction of the building in accordance with the Building Regulations.
 - Approval to be provided by each contractor for TLA issued.
 - TLA to support all drawings and not prior to construction.

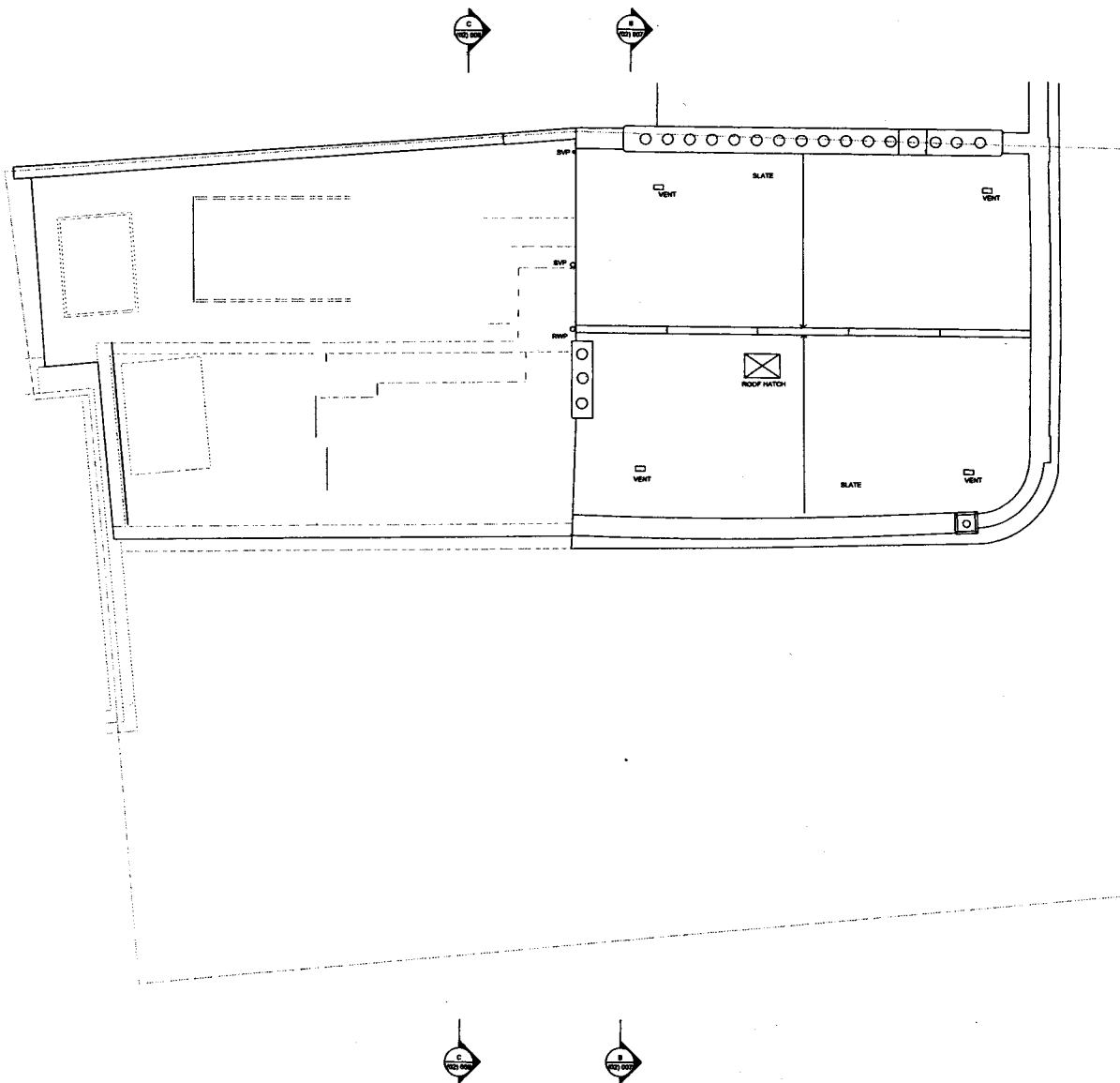
EXISTING

SPECIFIC NOTES

NO.	DATE	PLANNING	REV.
1	03/07/2011	PLANNING	001
ADDRESS 9 PHENE STREET LONDON SW3 5NY			
TITLE EXISTING SECOND FLOOR PLAN			
SCALE	DATE	DESIGNED BY	CHECKED BY
1:50 @ A1 & 1:100 @ A3	JULY 2011	RW	PS
PROJECT NO.	003	003	PS



EXISTING SECOND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



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CLIENT
RAB PENSION TRUST

- TREVOR LAFFY ARCHITECTS**
1. Do not scale off the drawing, use figures dimensioned only. All dimensions and levels to be checked on site. Contractor and subcontractor liability is subject to an early report of errors, omissions and omissions to TLA.
 2. Issues only for projects indicated.
 3. The drawing is to be used in conjunction with conditions of contract and specifications before proceeding with work. All contractors referred to are referred to as 'contractors' and shall be responsible for their own building regulations and structural compliance.
 4. This drawing is copyright and the property of TLA and not to be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The work contractor should be governed by the statutory obligations under the CDM regulations.
 6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
 7. Issues to be provided by each contractor for TLA approval.
 8. TLA is not responsible for design and shall plan to coordinate.

EXISTING

SPECIFIC NOTES:

REV	DATE	DESCRIPTION	BY	CHK

PROJECT NO.	B22	(02)
DATE	JUNE 2011	
SCALE	1:50 @ A1 & 1:100 @ A3	
STATUS	PLANNING	DESIGNED BY THD
TITLE	EXISTING ROOF PLAN	
ADDRESS	9 PHENE STREET LONDON SW3 5NY	



EXISTING ROOF PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LEAHY ARCHITECTS

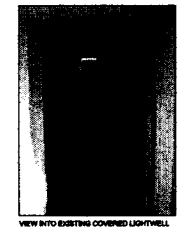
glenview house
69 leafield rd
london SE5 8GU
trevor@leahyarchitects.co.uk
www.leahyarchitects.co.uk
T +44(0)20 7737 8181
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RAB PENSION TRUST

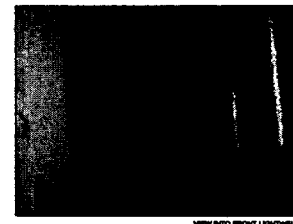
- TREVOR LEAHY ARCHITECTS
1. Do not scale off the drawing, use figures dimensions only. All dimensions are taken to be finished unless otherwise stated. All measurements are subject to the accuracy of the original survey and shall be subject to the accuracy of all measurements and calculations in T.A.
 2. Issues only for project information.
 3. The drawings to be used in conjunction with contractors drawings and specifications shall comply with all relevant standards referred to in the drawings to ensure compliance with local and national building regulations and BS/EN/ISO standards.
 4. This drawing is supplied and each drawing of T.L.A. and not for its resale, direct or indirect in any way or subject to a third party without our written consent.
 5. The work undertaken should be completed with the necessary diligence under the CDM regulations.
 6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
 7. Approval to be provided by each contractor for T.A. approval.
 8. T.A. to approve all drawings and each prior to construction.

EXISTING

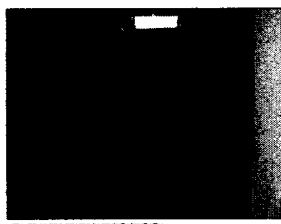
SPECIFIC NOTES:



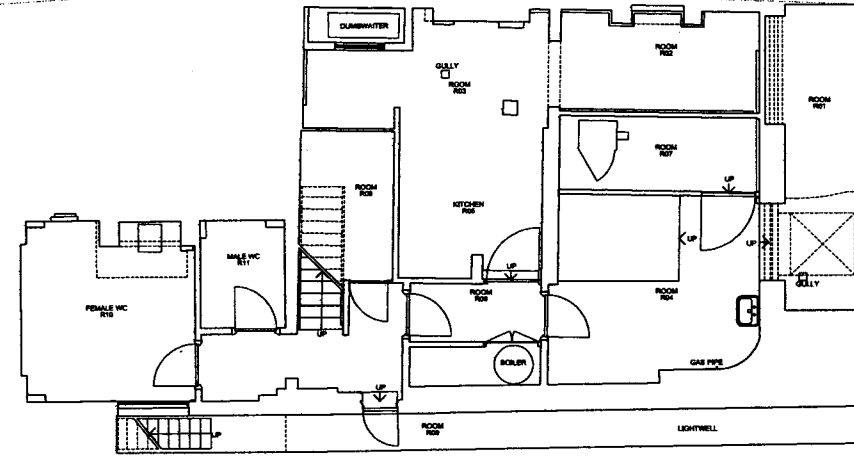
VIEW INTO EXISTING COVERED LIGHTWELL



VIEW INTO FRONT LIGHTWELL



VIEW TOWARDS STAIRS IN FRONT LIGHTWELL



EXISTING BASEMENT FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

REV	DATE	DESCRIPTION	BY	CHK

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING BASEMENT
FLOOR PLAN

STATUS	PLANNING	DESIGNED BY	TLD
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	TW
DATE	JUNE 2011		
PROJECT	822 (82)		



TREVOR LAMB ARCHITECTS

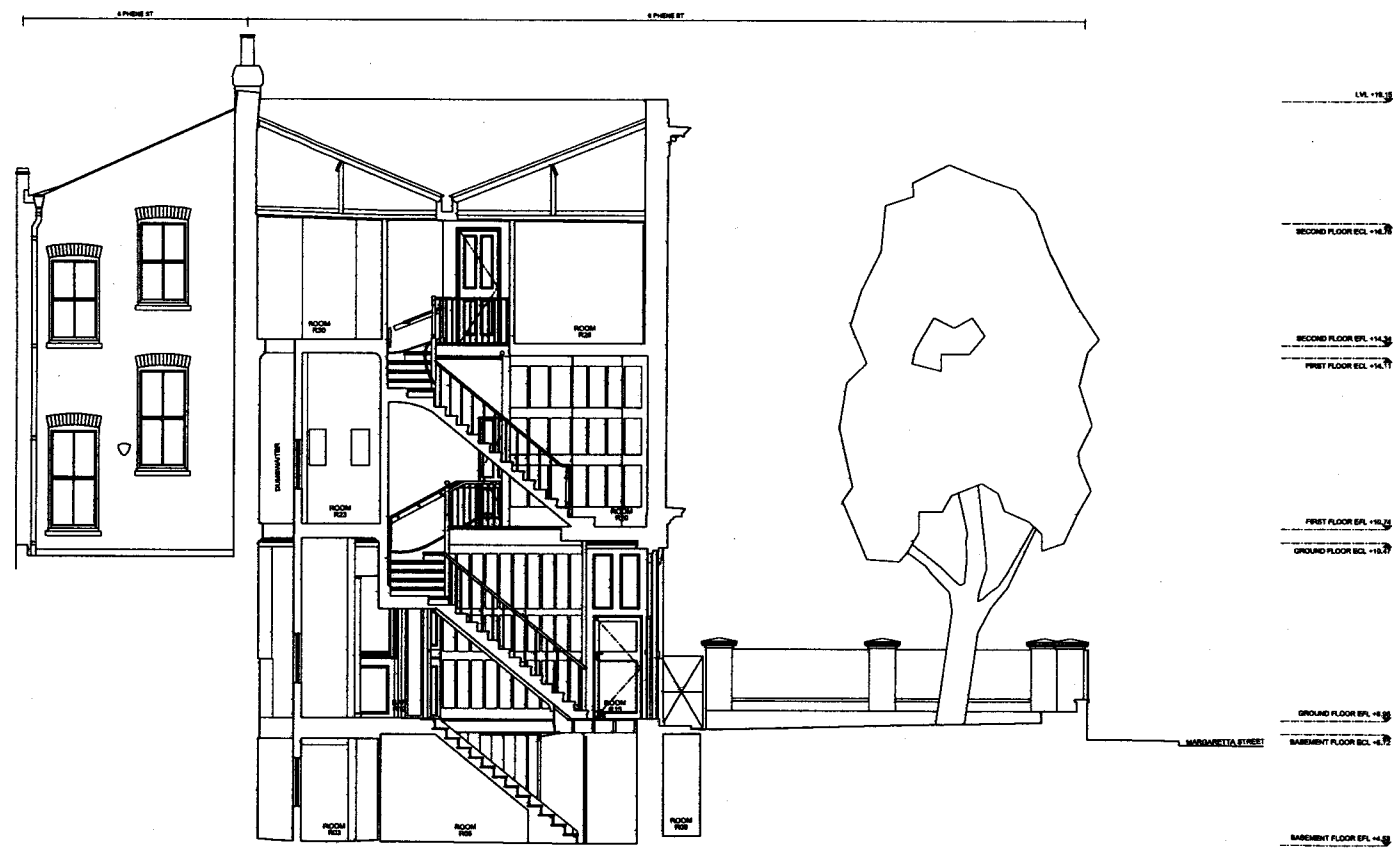
gareth@trevorlamb.com
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trevor@trevorlamb.com
www.trevorlamb.com
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F +44(0)20 7326 0348

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- TREVOR LAMB ARCHITECTS
- Do not scale off this drawing, use digital dimensions only. All dimensions are taken to the drawing on this computer and are subject to the usual tolerances of the printing process and the accuracy of the original survey data.
 - Notes only for general reference.
 - The drawings to be used in conjunction with contracts, drawings and specifications before proceeding with work. All dimensions referred to in the contract to be drawn to the same scale as the drawings and any necessary building regulations and statutory provisions.
 - This drawing is supplied and sold subject to T.L.A. and shall not be copied, altered or reproduced in any way or present to a third party without our written consent.
 - The main contractor should be consulted with the necessary authorities under the CDM regulations.
 - The dimensions shown on this drawing have been taken from the measurements provided by an independent survey company.
 - Changes to be provided by each contractor for T.L.A. approval.
 - T.L.A. to approve all drawings and each plan to construction.

EXISTING

SPECIFIC NOTES



LEVEL +15.21

SECOND FLOOR ECL +15.80

SECOND FLOOR ECL +14.42

FIRST FLOOR ECL +14.18

FIRST FLOOR ECL +12.79

GROUND FLOOR ECL +12.81

GROUND FLOOR ECL +6.89

BASEMENT FLOOR ECL +6.82

BASEMENT FLOOR ECL +1.35

LEVEL +15.33

SECOND FLOOR ECL +16.38

SECOND FLOOR ECL +14.33

FIRST FLOOR ECL +14.11

FIRST FLOOR ECL +12.72

GROUND FLOOR ECL +12.77

GROUND FLOOR ECL +6.88

BASEMENT FLOOR ECL +6.79

BASEMENT FLOOR ECL +1.32

EXISTING SECTION B - 1:50 @ A1 & 1:100 @ A3

REV	DATE	DESCRIPTION	DRAWN	CHECKED
01	24.01.11	PLANNING SUBMIT	AL	WV
02	06.06.11	REVISED	WV	PS

PROJECT
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING SECTION B

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A3	DRAWN BY	KW
DATE	JUNE 2011	CHECKED BY	WV
PROJECT NO.	822 (02)	DATE	007



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design@trivior.co.uk
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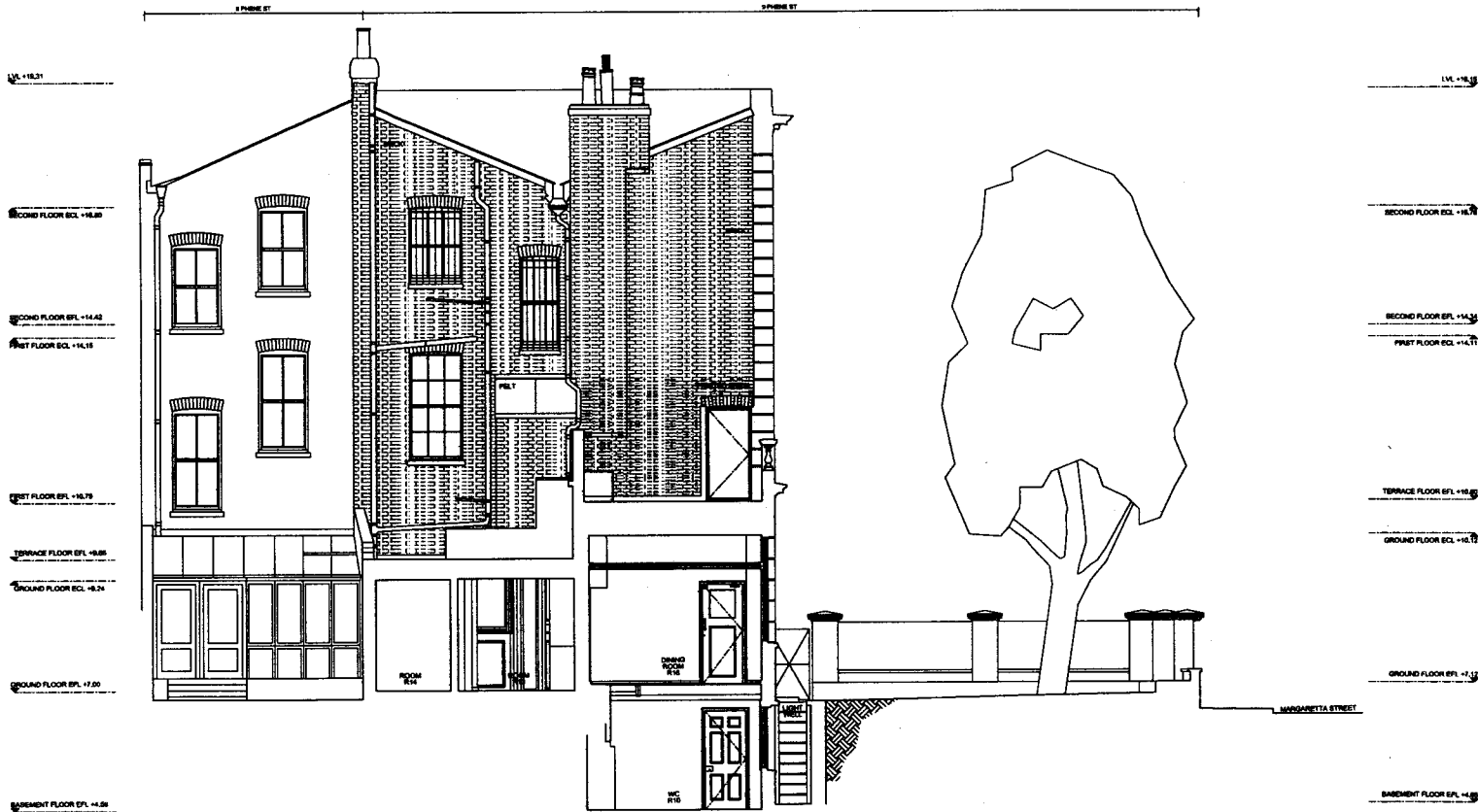
CLIENT
RAB PENSION TRUST

TRIVIOR LAWRY ARCHITECTS

1. Do not scale off the drawing, use figure dimensions only. All dimensions and levels to be checked on the Computer Aided Administrative model & related to monthly report of errors, amendments and updates to TLA.
2. Issues only for program indicated.
3. The drawing is to be used in conjunction with consultants drawings and specifications before proceeding with work. All consultants drawings to be referred to in order to ensure compliance with local and national building regulations and BRE/BSI standards.
4. The drawing is copyright and with approval of TLA and may not be copied, altered or reproduced in any way or part of it without the written consent of Trivior Lawry Architects.
5. The work undertaken should be reviewed with the statutory obligations under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Approval to be provided by each contractor for TLA issued.
8. TLA to support all drawings and not plan to construction.

EXISTING

SPECIFIC NOTES:



EXISTING SECTION C - 1:50 @ A1 & 1:100 @ A3

NO	DATE	PLANNING	DATE	REV	DESCRIPTION	BY	CHK

ADDRESS
PHENE ARMS
LONDON SW3 5NY

TITLE
EXISTING SECTION C

STATUS	PLANNING	DATE	THD

SCALE	1:50 @ A1 & 1:100 @ A3	DATE	BY

DATE	JULY 2011	NO	REV

PROJECT	NO	REV



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 F +44(0)20 7738 0348

CLIENT
RAB PENSION TRUST

- TREVOR LANEY ARCHITECTS LTD
1. Do not build off this drawing, use formal drawings only. All alterations and amendments to be checked on site and Trevor Laneys Architects to be notified of any discrepancies immediately.
 2. Issues only for purposes indicated.
 3. The drawing is to be read in conjunction with conditions, drawings and specifications.
 4. This drawing is copyright of T.L.A. and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The built construction should be consistent with the standards of the Building Regulations.
 6. The drawings are not to be used for any other purpose without the written consent of Trevor Laneys Architects.

EXISTING



SPECIFIC NOTES

NO.	DATE	PLANNING REF	BY

ADDRESS
**9 PHENE STREET
 LONDON SW3 5NY**

TITLE
**EXISTING
 SOUTH WEST ELEVATION**

STATUS	PLANNING	DESIGNED BY	
SCALE	1:50 @ A1 & 1:100 @ A3	DRAWN BY	RW
DATE	JULY 2011		
PROJECT NO.	822 (02)		011 P15

EXISTING SOUTH WEST ELEVATION - 1:50 @ A1 & 1:100 @ A3



TREVOR LAMB ARCHITECTS

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RAB PENSION TRUST

- TREVOR LAMB ARCHITECTS LTD
1. Do not scale off this drawing, use digital dimension only. All dimensions and levels to be checked on site and Trevor Lamb Architects to be notified of any discrepancies immediately.
 2. Issued only for purposes indicated.
 3. This drawing is to be used in conjunction with conditions, drawings and specifications.
 4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. This work shall not be used in connection with the services regulated under the CDM regulations.
 6. The drawings shown on this drawing have been issued in the circumstances provided by an Independent Survey Company.

EXISTING



SPECIFIC NOTES

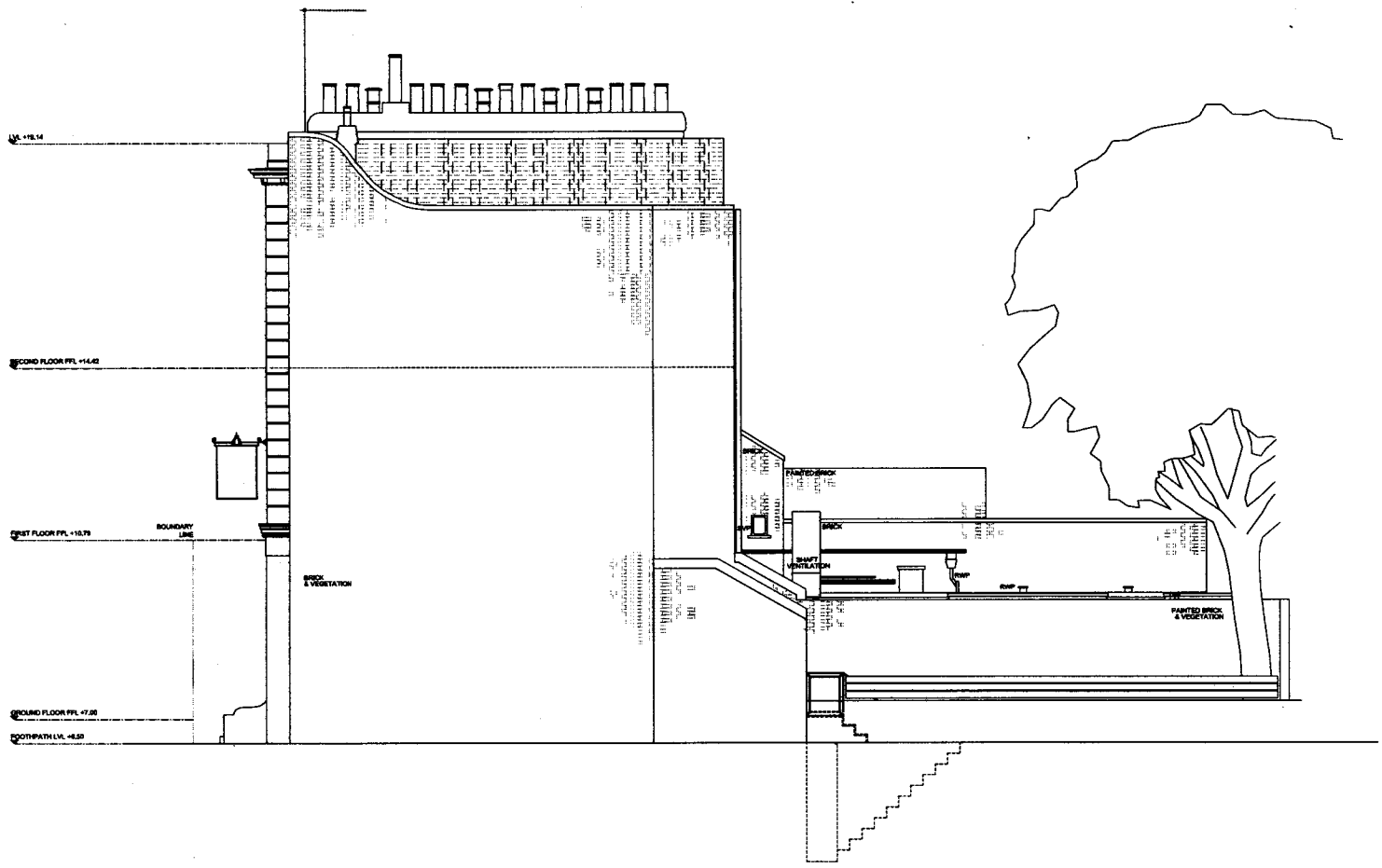
REV	DATE	DESCRIPTION	DRW	CHKD

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

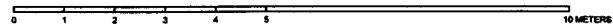
TITLE
EXISTING
SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY	
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW
DATE	JUNE 2011		
PROJECT NO.	822 (02)		

EXISTING SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3



EXISTING NORTH EAST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3



TREVOR LAMB ARCHITECTS

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CLIENT RAB PENSION TRUST

- TREVOR LAMB ARCHITECTS
1. Do not scale off this drawing, use figures dimensions only. All dimensions are fixed to be shown on this drawing unless otherwise specified and subject to statutory control of construction and materials by TLA.
 2. Intend only for purposes indicated.
 3. The drawing is to be used in conjunction with conditions, drawings and specifications submitted with this drawing. All amendments proposed to be shown on this drawing must be made on separate sheets and submitted to a RAB party subject to their consent.
 4. This drawing is copyright and with property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The main contractor should be consulted with the statutory obligations under the CDM regulations.
 6. The information shown on this drawing has been based on the measurements provided by an independent survey company.
 7. Attention to be paid to each contract for TLA approval.
 8. TLA to approve all drawings and not prior to construction.

PROPOSED

Revised sheet

NO.	DATE	BY	CHK

9 PHENE STREET
LONDON SW3 5NY

FILE EXISTING NORTH EAST ELEVATION

DISCIPLINE	PLANNING	DRAWN BY	RJ
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW
DATE	DECEMBER 2011	NO.	013
PROJECT NO.	822 (02)	REV.	00

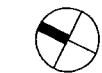
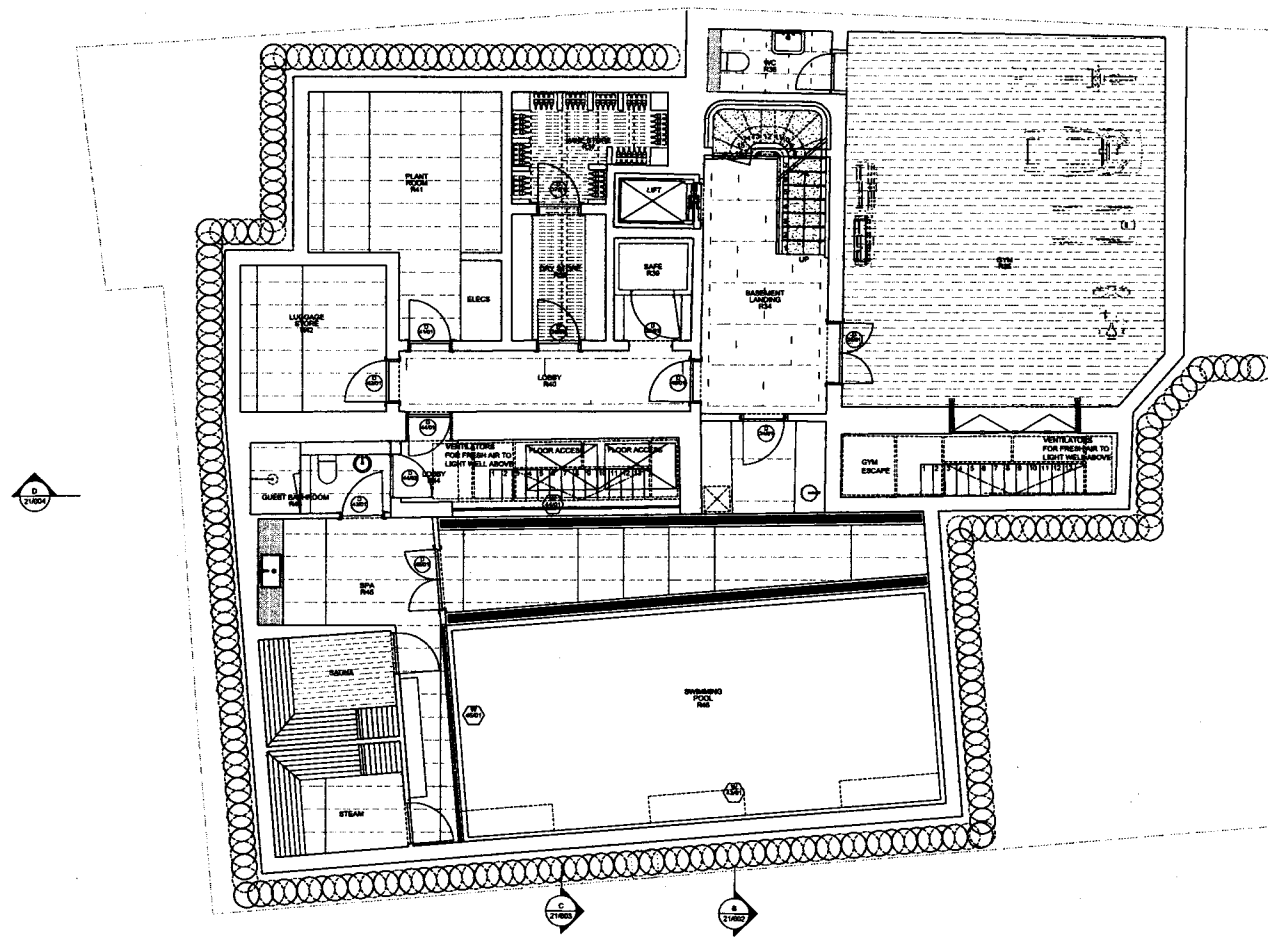
TREVOR | LAHFF ARCHITECTS

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www.trevorlahff.co.uk
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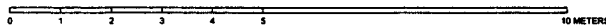
CLIENT
RAB PENSION TRUST

- TREVOR LAHFF ARCHITECTS**
1. Do not make any alterations, nor delete any dimensions, unless in writing, and then only if the Client agrees in writing. All dimensions shall be taken as shown unless otherwise stated. The Client shall be responsible for any errors or omissions in this drawing and shall be liable for any consequences of any such errors or omissions.
 2. Issued only for the purpose indicated.
 3. This drawing is to be used in conjunction with all other drawings and specifications for the project. It is not to be used in isolation. All dimensions shall be taken as shown unless otherwise stated. The Client shall be responsible for any errors or omissions in this drawing and shall be liable for any consequences of any such errors or omissions.
 4. This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without the written consent of TLA.
 5. The work is provided as an advisory service only. The Client shall be responsible for any errors or omissions in this drawing and shall be liable for any consequences of any such errors or omissions.
 6. This drawing shall not be used for any purpose other than that for which it was prepared.
 7. Samples to be provided by each contractor for TLA approval.
 8. TLA is not responsible for design and construction details.

PROPOSED



PROPOSED BASEMENT PLAN - SCALE 1:50 @ A1 & 1:100 @ A3



NO.	DATE	DESCRIPTION	BY	CHK

ADDRESS
**9 PHENE STREET
LONDON SW3 5NY**

TITLE PROPOSED BASEMENT PLAN	
STATUS PLANNING	DESIGN BY PL
SCALE 1:50@A1 & 1:100@A3	CHECKED BY KW
DATE DECEMBER 2011	NO. OF SHEETS 008 OF 008
PROJECT NO. 822	DATE (20)