



TREVOR | LAWRY ARCHITECTS

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CLIENT  
RAB PENSION TRUST

- TREVOR LAWRY ARCHITECTS
- Do not scale any drawing, use figures elsewhere only. Dimensions and levels to be obtained on site. Contractors must refer to the number of a drawing for any detail. It is the contractor's responsibility to ensure that the drawings are used in accordance with the contract and to ensure that the drawings are used in accordance with the contract.
  - Revised drawings for purposes indicated.
  - This drawing is to be used in accordance with the contract and is not to be used for any other purpose without the written consent of Trevor Lawry Architects.
  - This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or for any purpose without the written consent of Trevor Lawry Architects.
  - The contractor shall be responsible for the retention of the drawings under the contract.
  - Revised drawings shall be marked with the initials of the architect and the date of issue.
  - TLA is approved as a contractor for RAB Pension Trust.

PROPOSED

PROPOSAL NOTES:

NO	DATE	DESCRIPTION	BY	CHKD
1		PRELIMINARY SUBMITTED TO RAB PENSION TRUST	RJ	RE
2		PRELIMINARY SUBMITTED TO ARCHITECTURAL PANEL	RJ	RE
3		PRELIMINARY SUBMITTED TO RAB PENSION TRUST	RJ	RE
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9 PHENE STREET  
LONDON SW3 5NY

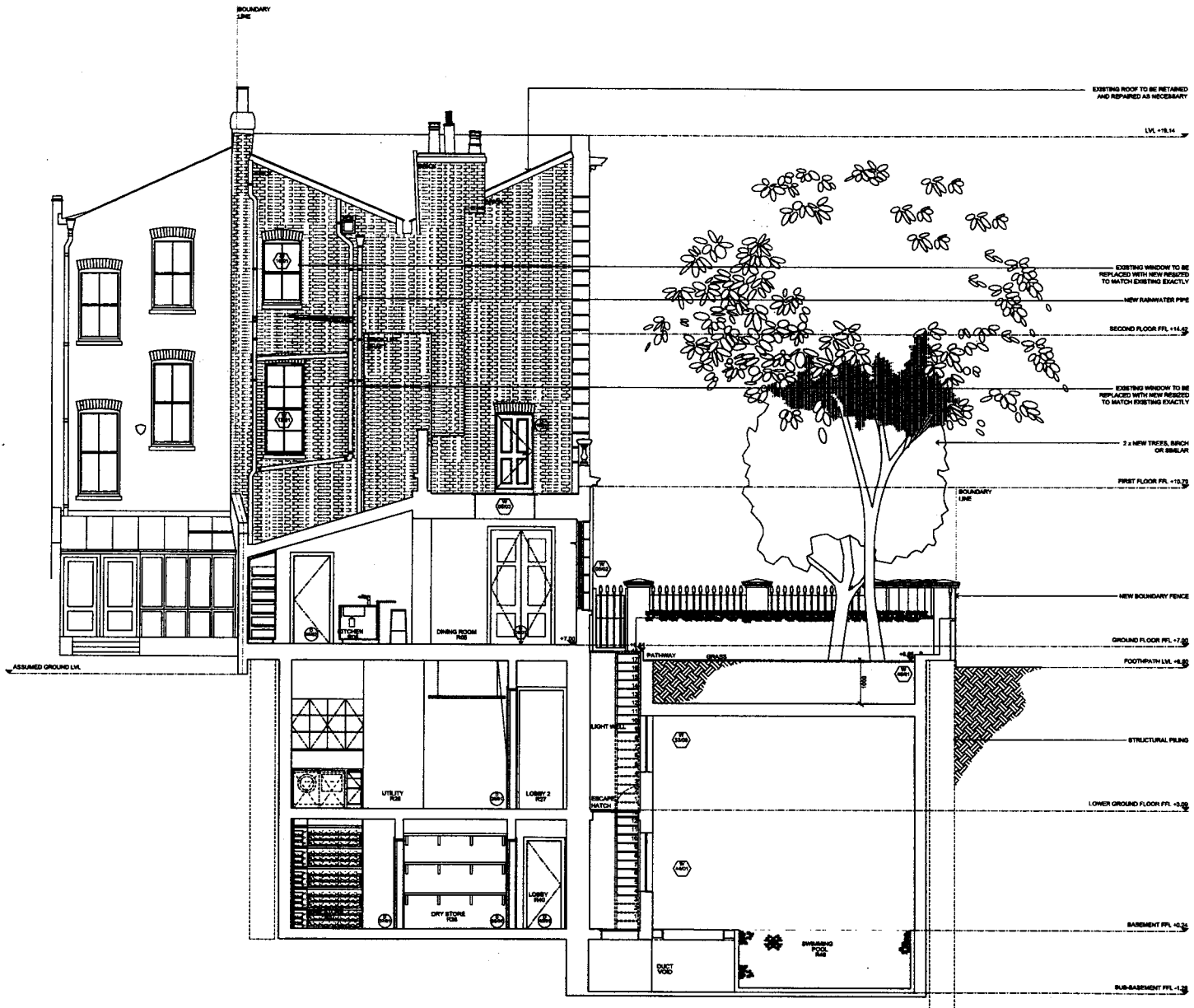
PROPOSED SECTION CC

DATE	PLANNING	DESIGNED BY	RJ
SCALE	1:50 @ A1 & 1:100 @ A3	DRAWN BY	RJ
DATE	FEBRUARY 2012	CHECKED BY	RJ
PROJECT NO.	822 (21)	DATE	003

PROPOSED SECTION CC - SCALE 1:50 @ A1 & 1:100 @ A3



EXISTING WINDOWS





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1. Do not make any alterations, nor figure dimensions until all dimensions and levels in the drawing are checked and approved by the contractor under supervision together to confirm the accuracy of all dimensions and relations in the drawing.
2. Issues only for approved drawings.
3. The drawing is to be used in connection with construction drawings and specifications before proceeding with work. All dimensions and relations in the drawing have been prepared with best and accurate building regulations and statutory provisions.
4. The drawing is copyright and with consent of TLA and any use or reproduction without the written consent of TLA is prohibited.
5. The main contractor shall be responsible for the accuracy of the drawings and shall be liable for any errors or omissions.
6. The drawings shall be prepared by an independent surveyor.
7. Details to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and shall retain the right to make any amendments.

PROPOSED

Scale lines

PL PLANNING PLANNING ISSUE RJ 1/20

REV DATE DESCRIPTION DRAWN BY

000000

9 RHENE STREET  
LONDON SW3 5NY

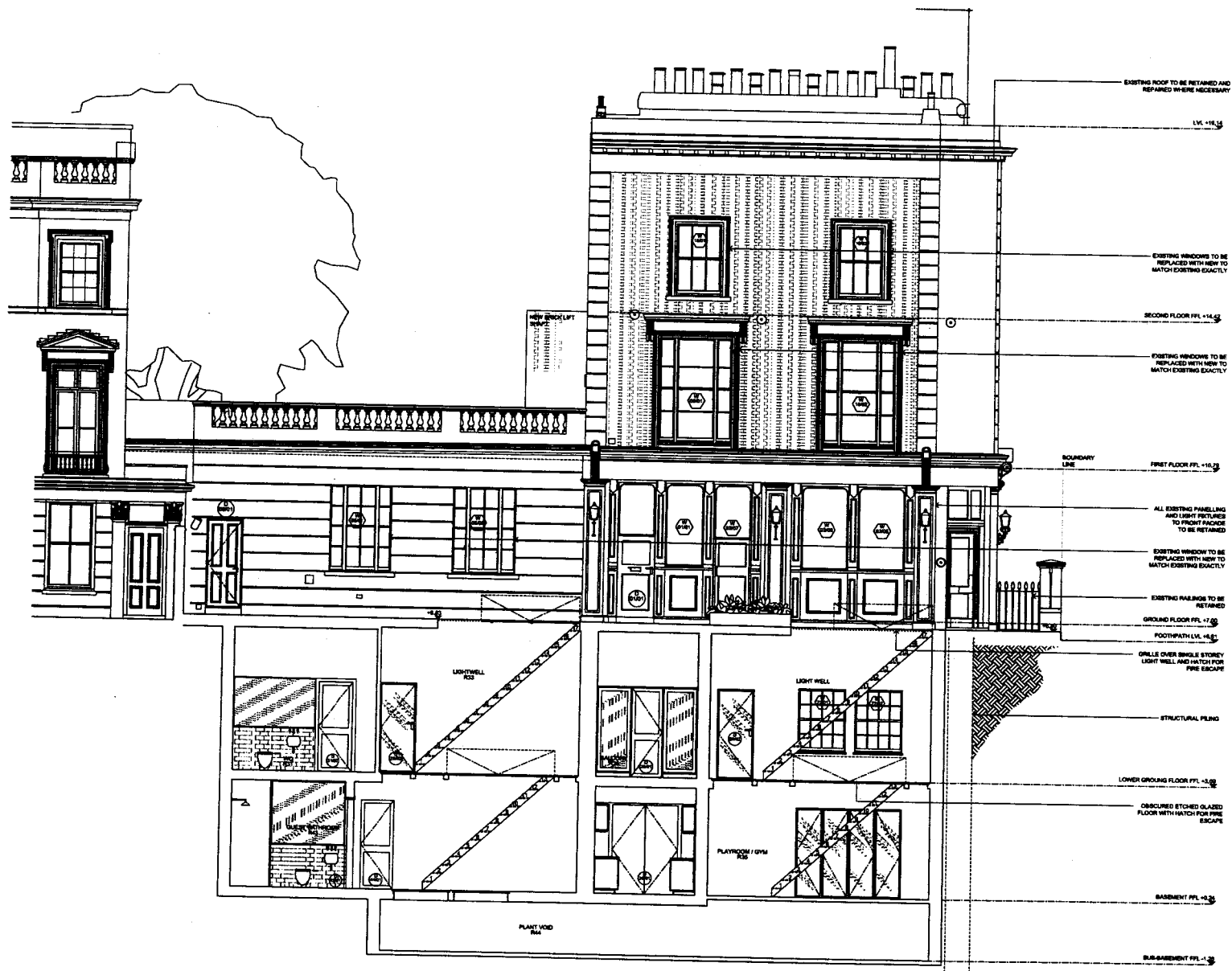
TITLE  
PROPOSED SECTION DD

STATUS PLANNING PLANNING ISSUE RJ

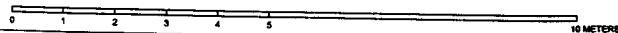
SCALE 1:50 @ A1 & 1:100 @ A3 DRAWN BY

DATE DECEMBER 2011 CHECKED BY

PROJECT 822 (21) 004

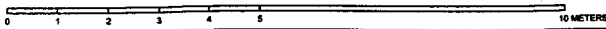


PROPOSED SECTION DD - SCALE 1:50 @ A1 & 1:100 @ A3





PROPOSED SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3



TREVOR | LACEY ARCHITECTS

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- TREVOR LACEY ARCHITECTS LTD
1. Do not scale off this drawing, use printed dimensions only. All dimensions are to be in metric unless otherwise stated and these shall not be used as a basis for any dimensions.
  2. Issues only for projects indicated.
  3. This drawing is to be used in accordance with the conditions of sale and specifications.
  4. This drawing is the property of TLA and may not be copied, altered or reproduced in any way or form in a third party without written consent.
  5. The work undertaken should be in accordance with the statutory regulations under the CDM regulations.
  6. The dimensions shown on this drawing have been taken as the measurements provided by an independent survey company.

EXISTING



SPECIFIC NOTES:

NO	DATE	PLANNING ISSUE	BY	APP

9 PHENE STREET  
 LONDON SW3 5NY

TITLE  
 PROPOSED SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY
SCALE	1:50 @ A1	DESIGNED BY
DATE	DECEMBER 2011	DATE
PROJECT	822 (21)	REV





TREVOR LAMPY ARCHITECTS

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CLIENT  
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- TREVOR LAMPY ARCHITECTS
- Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on site. Contractor under subcontractor liability is subject to a general report of errors/omissions and omissions in R.A.
  - Issued only for purposes indicated.
  - The drawing is to be used in conjunction with contract documents and specifications unless otherwise stated. It is the contractor's responsibility to ensure compliance with local and national building regulations and BS/EN standards.
  - This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or stored in a data base without our written consent.
  - The main contractor shall be consulted with the architect's approval under the contract conditions.
  - The dimensions shown on this drawing have been based on the measurements provided by an independent surveyor.
  - Approval to be provided by each contractor for R.A. approval.
  - TLA is approved as draughtsman and shall play no role on site.

PROPOSED

Scale: 1:50 @ A1 & 1:100 @ A3



NO.	DATE	PLANNING ISSUE	BY	CHKD

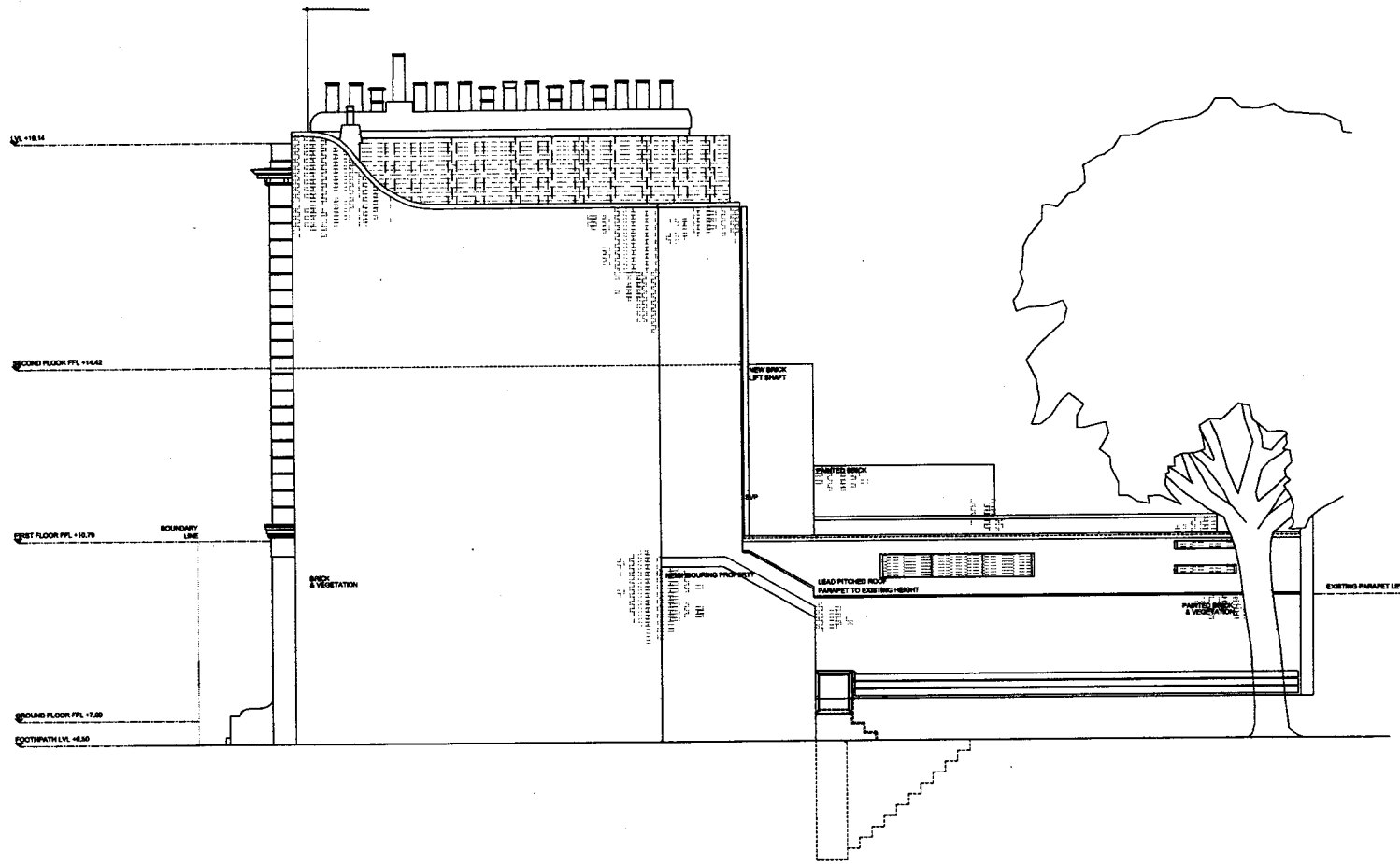
9 PENE STREET  
LONDON SW3 5NY

PROPOSED SOUTH WEST ELEVATION

STATUS	PLANNING	DESIGNED BY	RLJ
SCALE	1:50 @ A1 & 1:100 @ A3	DATE	DECEMBER 2011
PROJECT NO.	622	REV	(21)

PROPOSED SOUTH WEST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3





PROPOSED NORTH EAST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3



**TREVOR | LANSBY ARCHITECTS**  
 general house  
 99 bratchell road  
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**RAB PENSION TRUST**

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1. Do not scale off this drawing, use digital dimensions only. All dimensions and levels to be checked on site. Customer and/or subcontractor number's subject to a copy of contract documents and variations to TLA.
  2. Accuracy only for purposes indicated.
  3. This drawing is to be used in conjunction with appropriate drawings and specifications before proceeding with any work. All workmanship to be in accordance with current regulations with local and statutory building regulations and fire safety standards.
  4. This drawing is copyright and sale priority of TLA and may not be copied, altered or reproduced in any way or format by a third party without our written consent.
  5. The main contractor should be consulted with the necessary obligations under the CDM regulations.
  6. The dimensions shown on this drawing have been taken as the measurements provided by an independent surveyor.
  7. Samples to be provided by each contractor for TLA approval.
  8. TLA to approve all drawings and make plan to the location.

**PROPOSED**

Notes here:

PT	04/10/12	SUBMITTED TO NEPC PLANNING	RJ	001
PT	04/10/12	REVISIONS FROM NEPC PLANNING	RJ	002
PT	04/10/12	PLANNING ISSUE	RJ	003
REV	04/10/12	REVISIONS FROM	DMW	004

**9 PHENE STREET  
 LONDON SW3 5NY**

**TITLE  
 PROPOSED NORTH EAST  
 ELEVATION**

STATUS	PLANNING	DESIGNED BY	RJ
SCALE	1:50(A1) & 1:100(A3)	CHECKED BY	DMW
DATE	FEBRUARY 2012	DATE	007
PROJECT	822 (21)	REV	PT



PROPOSED SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3

TREVOR | LAFF ARCHITECTS

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F +44(0)20 7326 0340

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- TREVOR | LAFF ARCHITECTS LTD
1. Do not scale of this drawing, and specify dimensions only. All dimensions and levels to be checked on site and Trevor Laff Architects is the holder of any discrepancies forwarded.
  2. Issued only for purpose indicated.
  3. The drawing is to be used in conjunction with conditions, charges and specifications.
  4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be consulted with the architect's obligation under the CDM regulations.
  6. The boundaries shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES:

REV	DATE	DESCRIPTION	OWN	CHK
PS	19/01/12	PLANNING ISSUE		

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
PROPOSED  
SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY
SCALE	1:50 @ A1 & 1:100 @ A3	CHKD BY
DATE	JUNE 2011	REV
PROJECT	822 (20)	012 PS



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CLIENT RAB PENSION TRUST

- TREVOR LAMB ARCHITECTS
1. Do not make any alterations, additions or omissions to the drawings without the written consent of the Architect. The Architect is not responsible for any errors or omissions in the drawings.
  2. The drawings are to be used for the purposes of the contract only and are not to be used for any other purpose without the written consent of the Architect.
  3. The drawings are to be used in conjunction with the contract documents and specifications. The Architect is not responsible for any errors or omissions in the contract documents or specifications.
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PROPOSED

SPECIFIC NOTES



PROPOSED SECTION C - 1:50 @ A1 & 1:100 @ A3



NO	DATE	PLANNING	REV
01	12/11/10	PLANNING	01
PHENE ARMS LONDON SW3 5NY			
TITLE PROPOSED SECTION C			
SCALE	PLANNING	DATE	BY
1:50 @ A1 & 1:100 @ A3	TMD	JULY 2011	RW
DATE	PROJECT	NO	REV
JULY 2011	822	(20)	008

CLIENT

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1. On no scale of this drawing, with Special dimensions only. All dimensions and levels to be checked on site and these levels to be noted on any alterations immediately.
2. Issued only for purpose indicated.
3. This drawing is to be read in conjunction with consultation drawings and specifications.
4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The sub-contractor shall be concerned with the obligations undertaken under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC HOTEL



PS	16/11/12	PLANNING ISSUE		RJ	KW
REV	DATE	DESCRIPTION	[DWG]	CHK	

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
PROPOSED  
SOUTH WEST ELEVATION

STATUS  
PLANNING

SCALE  
1:50 @ A1 & 1:100 @ A3

DATE  
JULY 2011

PROJECT  
822 (20)

011 PS



PP/11/3352/WEV A.

# No 9 PHENE STREET, LONDON SW3 5NY

## SITE PLAN

**TREVOR LAMPP ARCHITECTS**  
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 99 knatchbull road  
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 F +44(0)20 7326 0349

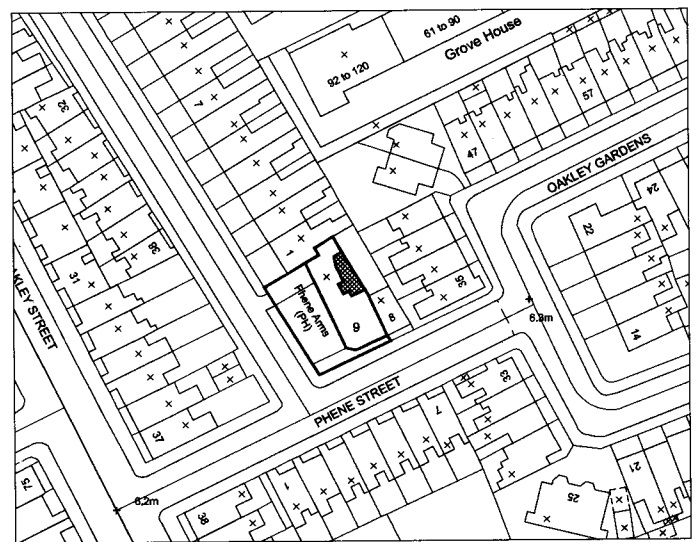
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  - Issued only for the purposes indicated.
  - This drawing is to be read in conjunction with consultation drawings and specifications.
  - This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or used as a base for any other work without our written consent.
  - The main contractor should be conversant with the statutory obligations under the CDM regulations.
  - The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES



*reduced size copy*

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
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| <p><b>PROPOSED</b></p> <ul style="list-style-type: none"> <li>822 (20) 001 GROUND FLOOR PLAN</li> <li>822 (20) 002 FIRST FLOOR PLAN</li> <li>822 (20) 003 SECOND FLOOR PLAN</li> <li>822 (20) 004 ROOF PLAN</li> <li>822 (20) 005 LOWER GROUND FLOOR</li> <li>822 (20) 006 BASEMENT PLAN</li> <li>822 (20) 007 SUB-BASEMENT PLAN</li> <li>822 (21) 002 SECTION B</li> <li>822 (21) 003 SECTION C</li> <li>822 (21) 004 SECTION D</li> <li>822 (21) 005 SOUTH EAST ELEVATION</li> </ul> | <p><b>EXISTING</b></p> <ul style="list-style-type: none"> <li>822 (00) 001 SITE PLAN</li> <li>822 (02) 001 GROUND FLOOR PLAN</li> <li>822 (02) 002 FIRST FLOOR PLAN</li> <li>822 (02) 003 SECOND FLOOR PLAN</li> <li>822 (02) 005 ROOF PLAN</li> <li>822 (02) 006 BASEMENT PLAN</li> <li>822 (02) 008 SECTION B</li> <li>822 (02) 009 SECTION C</li> <li>822 (02) 011 SOUTH WEST ELEVATION</li> <li>822 (02) 012 SOUTH EAST ELEVATION</li> </ul> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



SITE PLAN - 1:500 @ A1

REV	TO BE C/D	PLANNING	DATE	DESCRIPTION	BY	CHKD	APP'D
ADDRESS <b>9 PHENE STREET    LONDON SW3 5NY</b>							
TITLE <b>SITE PLAN</b>							
STATUS	PLANNING	DRAWN BY	MH				
SCALE	1:500@A1	CHECKED BY	REV				
DATE	JULY 2011						
PROJECT NO.	822 (00)						

*All received 19/01/11*



EXISTING TREE TO ADJACENT PROPERTY

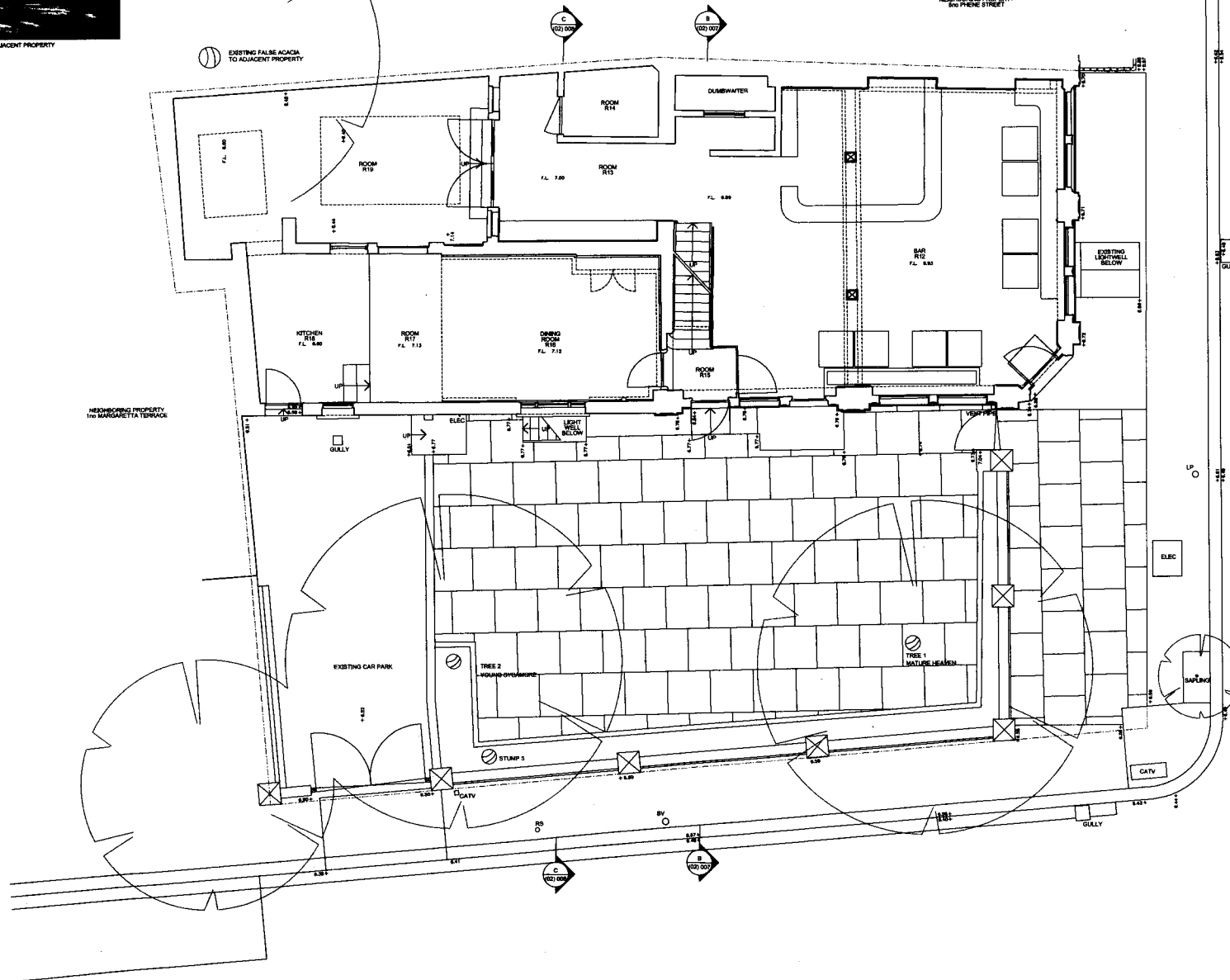
EXISTING FALSE ACACIA TO ADJACENT PROPERTY

NEIGHBORING PROPERTY 99 PHENE STREET

NEIGHBORING PROPERTY THE MARGARETTA TERRACE



EXISTING COVERED LIGHTWELL



TREVOR | LAFFY ARCHITECTS

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CLIENT

RAB PENSION TRUST

TREVOR LAFFY ARCHITECTS

1. Do not scale off the drawing, use figures dimensions only. All dimensions are to be checked on site. Contractor's measurements should be subject to primary record of all areas, elevations and sections by TLA.
2. Issues only for purposes indicated.
3. The drawing is to be used in conjunction with construction drawings and specifications before proceeding with work. All consultants involved to be referred to to ensure compliance with local and statutory building regulations and BS/EN/BSI standards.
4. This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The work undertaken should be in accordance with the statutory obligations under the CDM regulations.
6. The drawings shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and notes prior to construction.

EXISTING

SPECIFIC NOTES:

PS 15.01.12	PLANNING ISSUE	RJ	DM
REV	DATE	DESCRIPTION	OWNR

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING GROUND  
FLOOR PLAN

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A1	CHECKED BY	KW
DATE	JUNE 2011	DRW	REV
PROJECT NO.	822 (02)	001	015



EXISTING GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR | LAFFEY ARCHITECTS

genove house  
99 BRISTOL ROAD  
LONDON SE25 8QU  
design@tlaudio.co.uk  
www.tlaudio.co.uk  
T +44(0)20 7737 6181  
F +44(0)20 7328 0349

CLIENT  
RAB PENSION TRUST

TREVOR LAFFEY ARCHITECTS

1. Do not scale off this drawing, all figures dimensions only. All dimensions and levels to be checked on site. Contractors are responsible for any omissions to comply with all structural requirements and standards to TLA.
2. Issues only for purpose indicated.
3. The drawing is to be read in conjunction with consultant drawings and specifications unless otherwise stated. All work is to comply with the relevant building regulations and relevant standards.
4. This drawing is complete and with priority of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be consulted with the relevant authorities under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and not prior to construction.

EXISTING

SPECIFIC NOTES

REV	DATE	DESCRIPTION	BY	CHK

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING FIRST  
FLOOR PLAN

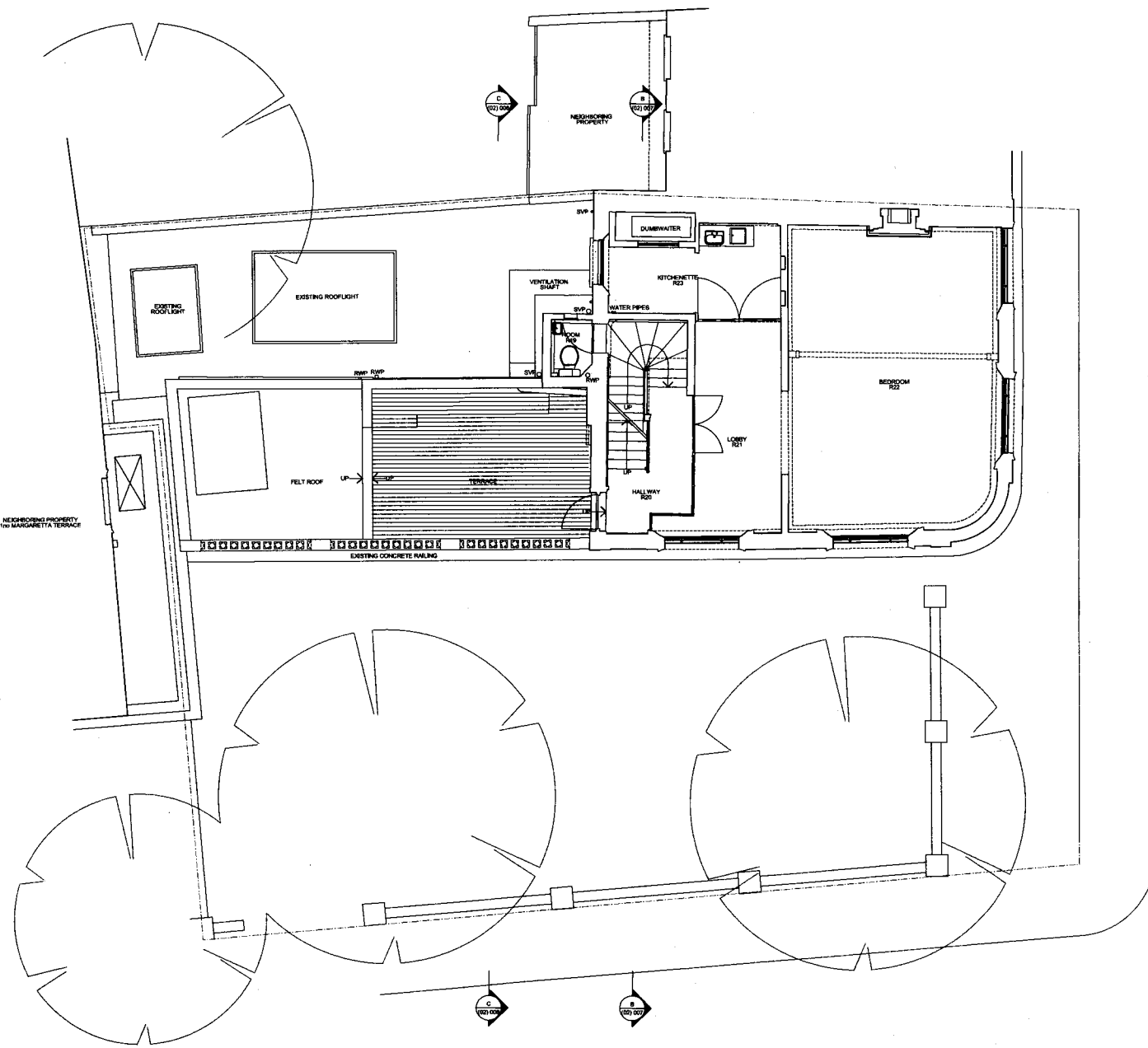
STATUS  
PLANNING

SCALE  
1:50 @ A1 & 1:100 @ A3

DATE  
JUNE 2011

PROJECT NO.  
822 (02)

PROJECT NO.  
002



VIEW TO ADJOINING PROPERTY



VIEW TO PHENE ARMS

NEIGHBOURING PROPERTY  
120 MARGARETTA TERRACE

C  
1021 006

B  
1021 007

C  
1021 006

B  
1021 007



EXISTING FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAMB ARCHITECTS

generative house  
59 Leitchfield Road  
London SE5 8QU  
design@trevorlamb.com  
www.trevorlamb.com  
T +44(0)20 7737 8181  
F +44(0)20 7328 0349

CLIENT  
RAB PENSION TRUST

TREVOR LAMB ARCHITECTS

1. Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on site. Contractor's error and/or omission is not subject to liability. Report all errors, discrepancies and omissions to TLA.
2. Issued only for purpose indicated.
3. This drawing is to be used in conjunction with consultants drawings and specifications forming part of the contract. All consultants information to be referred to, to ensure compliance with local and statutory building regulations and other relevant standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be conversant with the necessary regulations under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and note prior to construction.

EXISTING

SPECIFIC NOTES

REV DATE DESCRIPTION

REV DATE DESCRIPTION

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING SECOND  
FLOOR PLAN

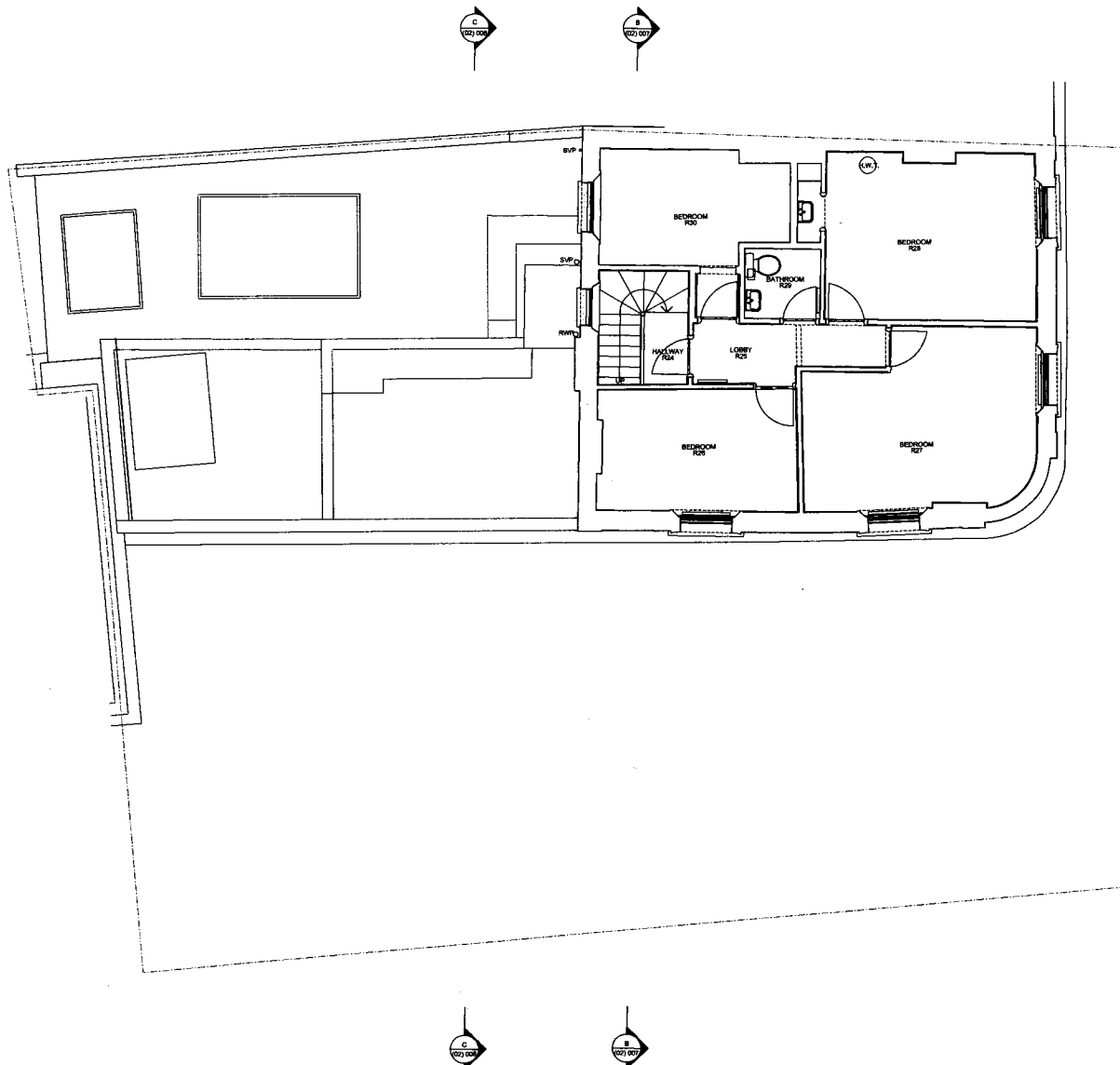
STATUS  
PLANNING

SCALE  
1:50@A1 & 1:100@A3

DATE  
JULY 2011

PROJECT NO.  
822 (02)

003



EXISTING SECOND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAFFEY ARCHITECTS

garners house  
99 hatchedwell road  
london SW5 9QU  
design@trevorlaffey.co.uk  
www.trevorlaffey.co.uk  
T +44(0)20 7337 6161  
F +44(0)20 7326 0349

CLIENT  
RAB PENSION TRUST

- TREVOR LAFFEY ARCHITECTS
1. Do not scale off this drawing, use figures wherever only. All dimensions and levels to be checked on site. Contractor and/or subcontractor must be obliged to promptly report all errors discrepancies and omissions to TLA.
  2. Issued only for purpose indicated.
  3. The drawing is to be used in conjunction with consultants drawings and specifications, being proceeding with works. All consultants information to be referred to, to ensure compliance with local and national building regulations and BRE/BS/UK standards.
  4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be consulted with the necessary authorities under the CDM regulations.
  6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
  7. Services to be provided by main contractor by TLA approval.
  8. TLA to approve all drawings and notes prior to construction.

EXISTING

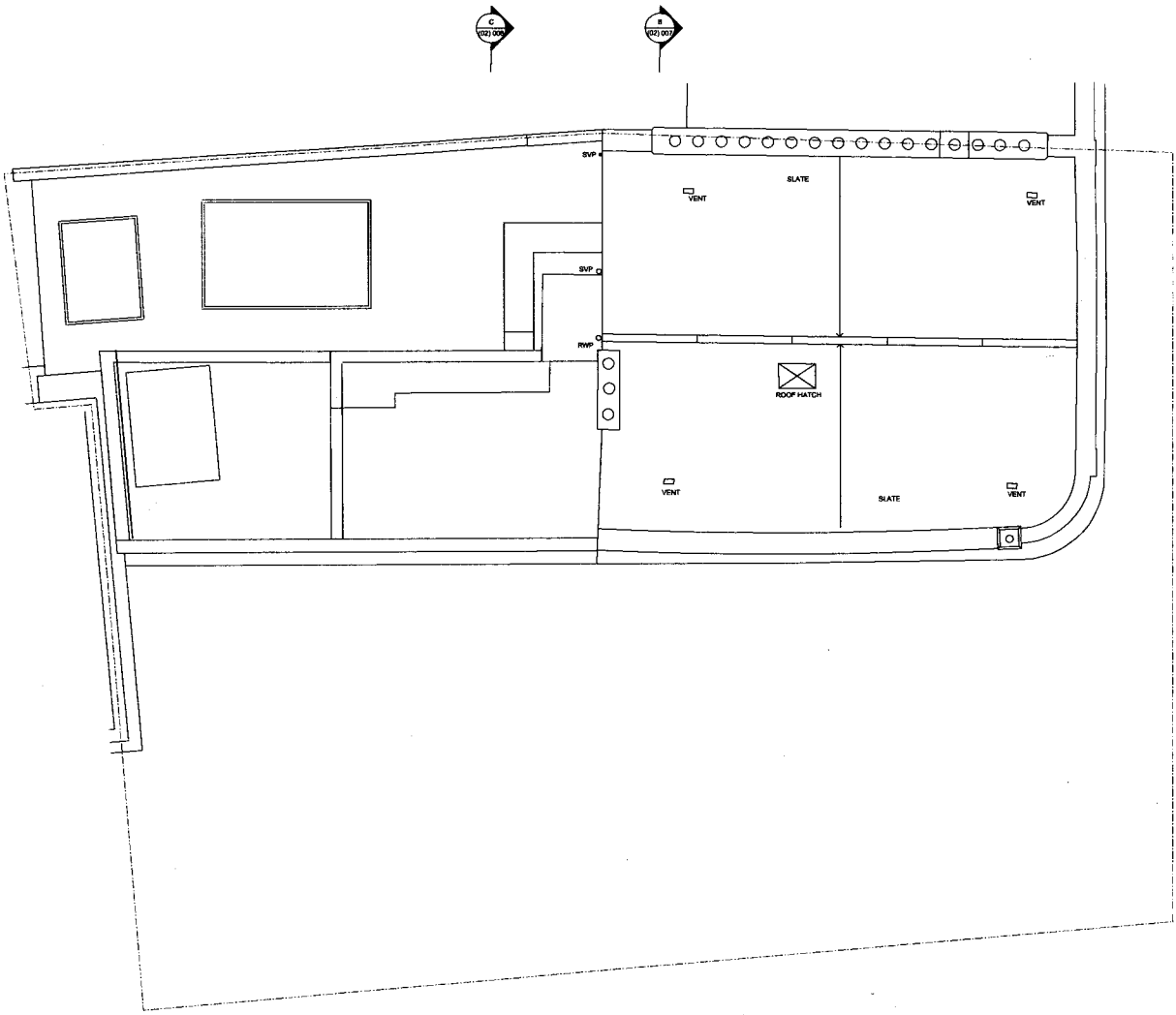
SPECIFIC NOTES:

PS	19.24.12	PLANNING ISSUE	RJ	RW
REV	DATE	DESCRIPTION	DRW	CHK

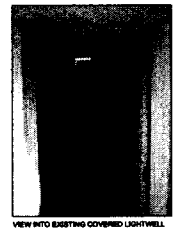
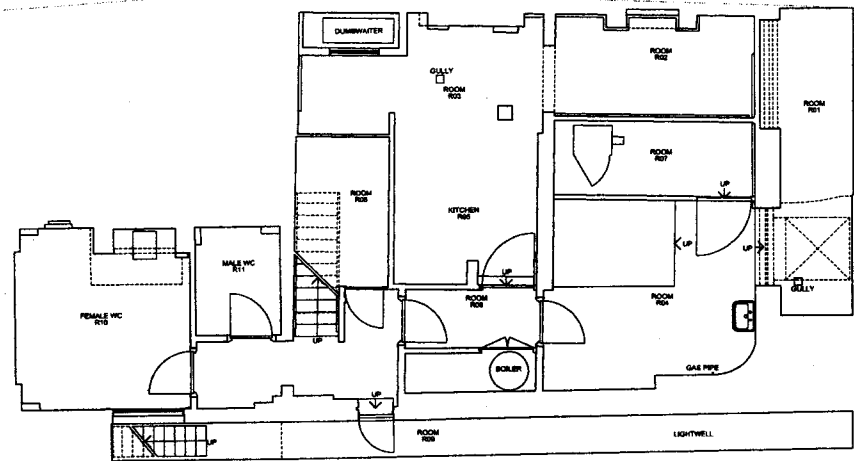
ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

EXISTING ROOF PLAN

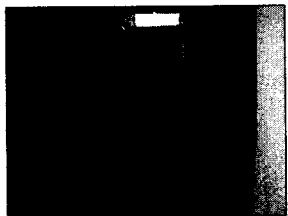
STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50@A1 & 1:100@A3	CHECKED BY	RW
DATE	JUNE 2011	DWG NO	005
PROJECT NO	022 (02)	REV	PS



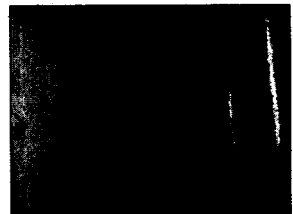
EXISTING ROOF PLAN - 1:50 @ A1 & 1:100 @ A3



VIEW INTO EXISTING COVERED LIGHTWELL



VIEW TOWARDS STAIRS IN FRONT LIGHTWELL



VIEW INTO FRONT LIGHTWELL



**TREVOR LAWRY ARCHITECTS**  
 remove houses  
 89 bransford road  
 london SE5 8QU  
 tlawry@trevorlawry.co.uk  
 www.trevorlawry.co.uk  
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 F +44(0)20 7326 0340

CLIENT  
**RAB PENSION TRUST**

- TREVOR LAWRY ARCHITECTS
- Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on the Computer Aided Drafting/Modelling (CAD) system to provide a record of all dimensions and elevations in TLA.
  - Issued only for purposes indicated.
  - The drawings are to be used in conjunction with construction drawings and specifications before commencing any work. All construction shall be in accordance with current building regulations and statutory building regulations and building standards.
  - The drawings are copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  - The work described should be approved with the necessary authorities under the CDM regulations.
  - The dimensions shown on this drawing have been taken as the measurements provided by the subcontractor before enquiry.
  - Changes to be indicated by mark number for TLA approval.
  - TLA is not responsible for design and shall prior to construction.

**EXISTING**

SPECIFIC NOTES:

NO.	DATE	PLANNING SCALE	BY	CHKD

9 PHENE STREET  
LONDON SW3 5NY

**EXISTING BASEMENT FLOOR PLAN**

SCALE	DATE	NO.	REV.
1:50 @ A1 & 1:100 @ A3	JUNE 2011	006	PS





TREVOR LAMB ARCHITECTS

greville house  
89 knatchbull road  
london SE20 9QU  
design@tlambstudio.co.uk  
www.tlambstudio.co.uk  
T +44(0)20 7337 8181  
F +44(0)20 7326 0349

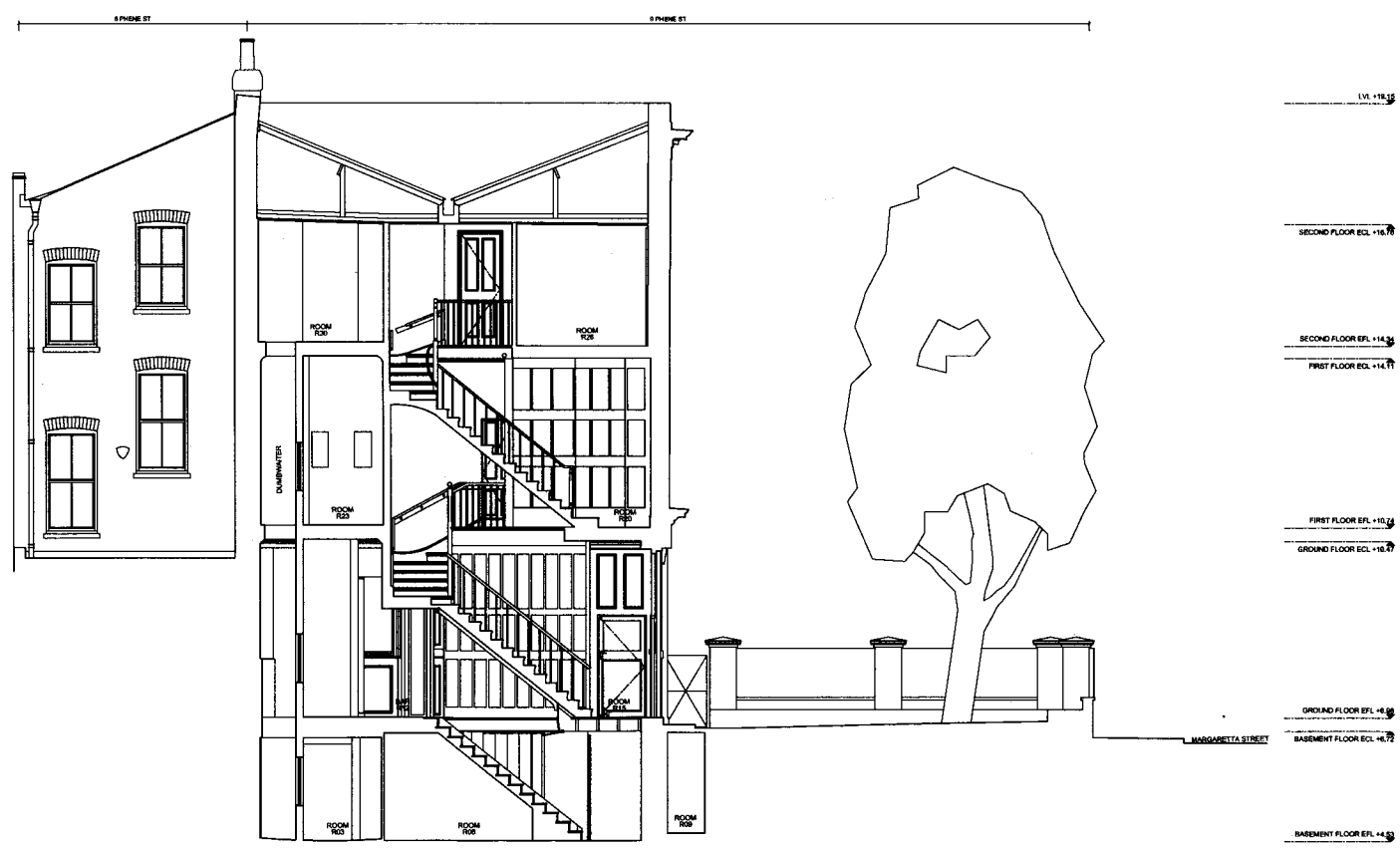
CLIENT  
RAB PENSION TRUST

TREVOR LAMB ARCHITECTS

1. Do not scale off this drawing, use digital dimensions only. All dimensions and levels to be checked on site. Contractor and other subcontractors are obliged to promptly report all errors, omissions and omissions to TLA.
2. Based only for purposes indicated.
3. The drawing is to be used in conjunction with: conditions of contract and specifications before proceeding with work. All structural information is to be checked to ensure compliance with local and industry building regulations and Building Act standards.
4. This drawing is copyright and sale property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be conversant with the statutory obligations under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and notes prior to construction.

EXISTING

EXISTING HOTEL



+19.31  
 SECOND FLOOR ECL +18.80  
 SECOND FLOOR EFL +18.42  
 FIRST FLOOR ECL +18.15  
 FIRST FLOOR EFL +10.79  
 GROUND FLOOR ECL +10.51  
 GROUND FLOOR EFL +0.99  
 BASEMENT FLOOR ECL +0.58  
 BASEMENT FLOOR EFL +0.55

LVL +18.35  
 SECOND FLOOR ECL +16.70  
 SECOND FLOOR EFL +14.33  
 FIRST FLOOR ECL +14.11  
 FIRST FLOOR EFL +10.73  
 GROUND FLOOR ECL +10.57  
 GROUND FLOOR EFL +0.59  
 BASEMENT FLOOR ECL +0.57  
 BASEMENT FLOOR EFL +0.53

EXISTING SECTION B - 1:50 @ A1 & 1:100 @ A3

PS 10/11/12	PLANNING BOLA	RJ	DM
REV	DATE	DESCRIPTION	OWN/CHK
ADDRESS 9 PHENE STREET LONDON SW3 6NY			
TITLE EXISTING SECTION B			
STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50@A1 & 1:100@A3	CHECKED BY	RW
DATE	JUNE 2011	DATE	
PROJECT NO.	822 (02)	007	PS

CLIENT  
**RAB PENSION TRUST**

TREVOR | LANIFF ARCHITECTS

1. Do not scale this drawing, any figures dimensioned only. All dimensions and levels are for information only. Construction errors responsibility remains subject to generally accept all errors, discrepancies and omissions to TLA.
2. Issues only for purpose indicated.
3. The drawing is to be read in conjunction with consultants drawings and specifications before proceeding with work. All construction proposed to be referred to by general contractor will show and identify existing regulations and BS/EN standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a 3rd party without our written consent.
5. The main contractor should be consulted with the architect's obligations under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Issued to be provided for main contractor for TLA approval.
8. TLA to approve all drawings and notes prior to construction.

**EXISTING**

SPECIFIC NOTES:



PS	19.01.12	PLANNING BOOK	AL	JW
REV	DATE	DESCRIPTION	DATE	CHK

ADDRESS  
**PHENE ARMS  
 LONDON SW3 5NY**

**EXISTING SECTION C**

STATUS	PLANNING	DOCUMENT	THD
SCALE	1:50 @ A1 & 1:100 @ A3	CREATED BY	KW
DATE	JULY 2011	CHK	REV
PROJECT	522	(02)	008 PS

EXISTING SECTION C - 1:50 @ A1 & 1:100 @ A3





EXISTING SOUTH WEST ELEVATION - 1:50 @ A1 & 1:100 @ A3

**TREVOR | LAMFY ARCHITECTS**  
 gemma house  
 88 marshfield road  
 london SE5 8GU  
 www.trevalamfy.co.uk  
 design@trevalamfy.co.uk  
 T +44(0)20 7737 8181  
 F +44(0)20 7326 0348

CLIENT  
**RAB PENSION TRUST**

- TREVOR LAMFY ARCHITECTS, LTD
1. Do not scale off this drawing, use formal dimensions only. All dimensions and levels to be checked on site and these shall be taken to be correct in the event of any discrepancies.
  2. Intend only for purposes indicated.
  3. This drawing is to be read in conjunction with any conditions, drawings and specifications.
  4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The sub-contractor shall be responsible for compliance with the statutory regulations under the CDM regulations.
  6. The drawings shown on this drawing shall have been based on the measurements provided by an independent survey company.

EXISTING



SPECIFIC NOTES

NO.	REVISION	PLANNING REFERENCE	DATE	DESCRIPTION	BY	CHKD

ADDRESS  
**9 PHENE STREET  
 LONDON SW3 5NY**

TITLE  
**EXISTING  
 SOUTH WEST ELEVATION**

STATUS	PLANNING	DESIGNED BY	MM
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RLW
DATE	JULY 2011	PROJECT NO.	822 (02)

011 P5



TREVOR | LASHBY ARCHITECTS

genera house  
99 Ainslie Court Road  
London SE5 8DU  
design@seebarko.co.uk  
www.seebarko.co.uk  
T +44(0)20 7737 6181  
F +44(0)20 7326 0349

CLIENT  
RAB PENSION TRUST

- TREVOR LASHBY ARCHITECTS LTD
1. Do not make of this drawing, and typed drawings or drawings, all dimensions and levels to be checked on site and Trevor Lashby Architects to be notified of any discrepancies immediately.
  2. Issued only for purpose indicated.
  3. The drawing is to be used in conjunction with consultants drawings and specifications.
  4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be conversant with the statutory obligations under the CDM regulations.
  6. The dimensional errors on this drawing have been based on the measurements provided by an independent survey company.

EXISTING

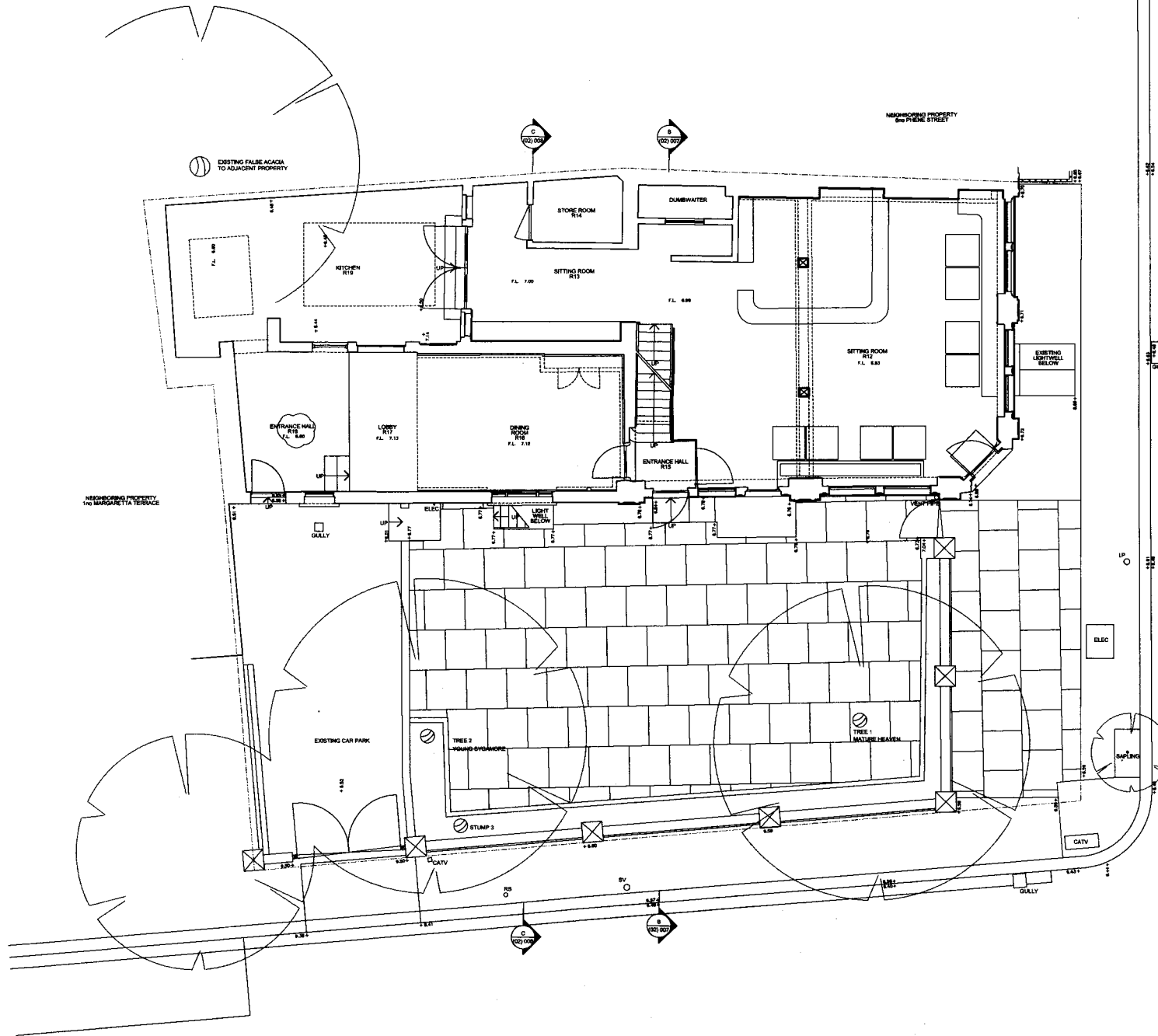


SPECIFIC NOTES:



EXISTING SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3

PL	18.01.12	PLANNING	DALE	RJ	JM
REV	DATE	DESCRIPTION		OWN	CHK
ADDRESS 9 PHENE STREET LONDON SW3 5NY					
TITLE EXISTING SOUTH EAST ELEVATION					
STATUS	PLANNING	COUNTRY			
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	KW		
DATE	JUNE 2011	OWN	REV		
PROJECT	822	(02)	012	PS	



PROPOSED GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

**TREVOR LAFF ARCHITECTS**  
 geneva house  
 99 leathwell road  
 london SE25 8QU  
 design@tastudio.co.uk  
 www.tastudio.co.uk  
 T +44(0)20 7737 6181  
 F +44(0)20 7326 0349

- CLIENT: **RAB PENSION TRUST**
- TREVOR LAFF ARCHITECTS
1. Do not make of this drawing, nor reproduce it, without the written consent of the architect. All dimensions and levels to be checked on site. The architect and subcontractors accept no liability for any errors or omissions in this drawing.
  2. Noted only for purposes indicated.
  3. The drawing is to be used in conjunction with complete drawings and specifications before proceeding with work. All contractors are to be referred to the architect for any queries and to ensure that they are fully aware of the architect's requirements and instructions.
  4. This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without the architect's consent.
  5. The architect shall be responsible for the accuracy of the information shown on this drawing.
  6. The dimensions shown on this drawing have been taken from the measurements provided by an independent survey company.
  7. Samples to be provided by main contractor for TLA approval.
  8. TLA to approve all drawings and notes prior to construction.

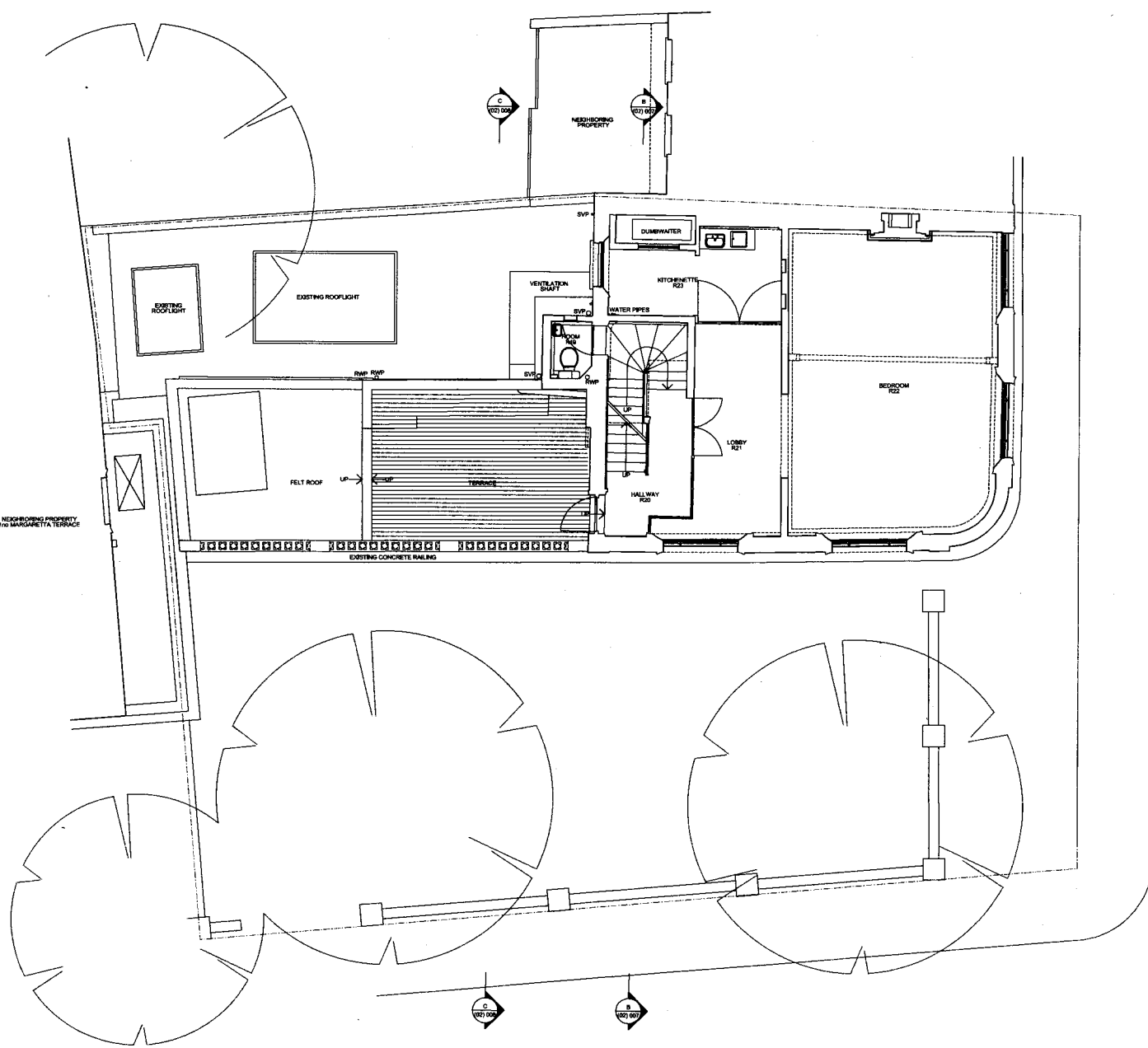
**PROPOSED**

SPECIFIC NOTES

PS	TRAIL 12	PLANNING ISSUE	RJ	10/11
REV	DATE	DESCRIPTION	CHKD	CHKD

ADDRESS  
**9 PHENE STREET  
 LONDON SW3 5NY**

TITLE <b>PROPOSED GROUND FLOOR PLAN</b>			
STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A1	CHECKED BY	KW
DATE	JUNE 2011	DATE	001
PROJECT NO.	822	REV	PS



**TREVOR LAWFF ARCHITECTS**  
 geneva house  
 99 knatchbull road  
 london SE15 8QU  
 design@trevorlawff.co.uk  
 www.trevorlawff.co.uk  
 T +44(0)20 7737 8181  
 F +44(0)20 7326 0349

- CLIENT: **RAB PENSION TRUST**
- TREVOR LAWFF ARCHITECTS
- On the basis of this drawing, the Client acknowledges that it is responsible for obtaining all necessary permissions and consents for the proposed works. The Client shall be responsible for obtaining all necessary permissions and consents for the proposed works.
  - These drawings are for the Client's use only and are not to be used for any other purpose without the written consent of Trevor Lawff Architects.
  - The Client is to be held responsible for any errors or omissions in the drawings and specifications. Trevor Lawff Architects shall not be held responsible for any such errors or omissions.
  - The Client is to be held responsible for any changes to the drawings and specifications. Trevor Lawff Architects shall not be held responsible for any such changes.
  - The Client is to be held responsible for any costs incurred in connection with the proposed works. Trevor Lawff Architects shall not be held responsible for any such costs.
  - The drawings shown on this drawing have been based on the measurements provided by an independent survey company.
  - Drawings to be provided by the contractor for TLA approval.
  - TLA to approve all drawings and notes prior to construction.

**PROPOSED**

SPECIFIC NOTES:

PS 18.01.12 PLANNING BLUE RJ JW  
 REV DATE DESCRIPTION DWG CD

ADDRESS  
**9 PHENE STREET  
 LONDON SW3 5NY**

TITLE  
**PROPOSED FIRST  
 FLOOR PLAN**

EXTENT  
 PLANNING DRAWING TMD

SCALE  
 1:50 @ A1 & 1:100 @ A3 CHECKED BY  
 KW

DATE  
 JUNE 2011 DMC REV  
 PS

PROJECT  
 R22 (20) 002



PROPOSED FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

