



TREVOR | LAWRY ARCHITECTS

genuine house  
89 Inneshall Road  
London SE5 8DU  
design@trevorlawry.co.uk  
www.trevorlawry.co.uk  
T +44(0)20 7737 6161  
F +44(0)20 7326 0348

CLIENT  
RAB PENSION TRUST

- TREVOR LAWRY ARCHITECTS
- Do not scale any drawing, use figures dimensioned on drawings and do not scale drawings on site. Contractors must refer to the number of a drawing to identify the correct drawing and not the number of a drawing to identify the correct drawing.
  - Revised drawings for previous iterations.
  - This drawing is to be used in accordance with the contract documents and specifications. It is not to be used for any other purpose without the written consent of Trevor Lawry Architects.
  - This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or for any other purpose without the written consent of Trevor Lawry Architects.
  - The drawings shown on this drawing are based on the information provided to us by the client and are not to be used for any other purpose without the written consent of Trevor Lawry Architects.
  - Nothing is to be construed as an offer of insurance or any other financial product.
  - TLA is approved as a contractor for RAB Pension Trust.

PROPOSED

PROPOSAL NOTES:

NO	DATE	DESCRIPTION	BY	CHKD
1		PROPOSED SECTION CC		

9 PHENE STREET  
LONDON SW3 5NY

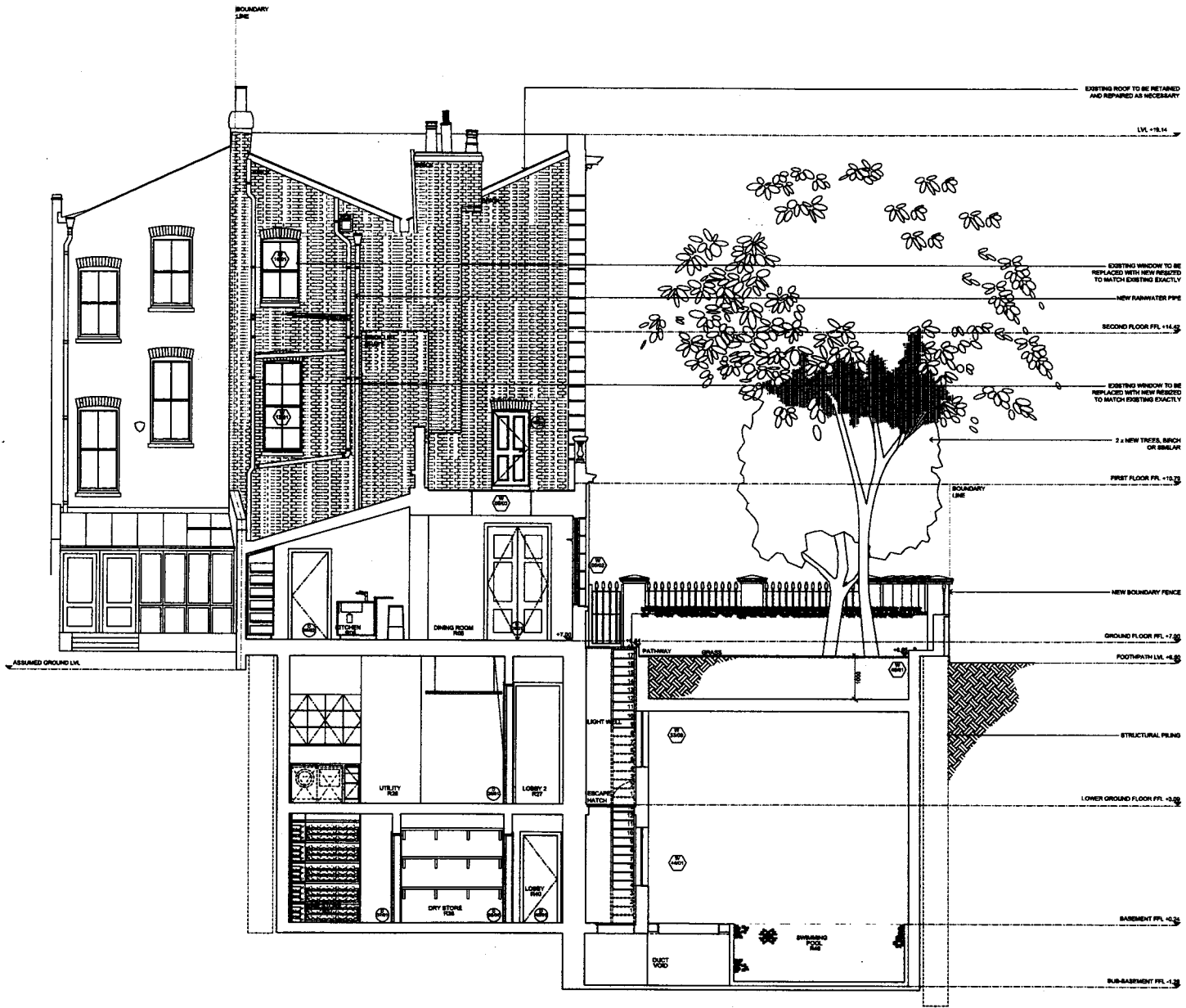
PROPOSED SECTION CC

DATE	PLANNING	DESIGNED BY	RJ
SCALE	1:50 @ A1 & 1:100 @ A3	DRAWN BY	RY
DATE	FEBRUARY 2012	ISSUED BY	RY
PROJECT NO	822 (21)	DATE	003 177

PROPOSED SECTION CC - SCALE 1:50 @ A1 & 1:100 @ A3



EXISTING WINDOWS





TREVOR LAMB ARCHITECTS

genesis house  
99 knatchbull road  
London SE15 5QU  
design@trevorlamb.co.uk  
www.trevorlamb.co.uk  
T +44(0)20 7337 6181  
F +44(0)20 7326 0348

CLIENT RAB PENSION TRUST

TREVOR LAMB ARCHITECTS

1. Do not make any alterations, nor figure dimensions, until all dimensions and levels in this drawing are checked and approved by the contractor under supervision of the architect.
2. Issues only for approved details.
3. The drawing is to be used in connection with construction drawings and specifications before proceeding with work. It is not to be used for any other purpose without the written consent of the architect.
4. The drawing is copyright and with consent of TLA and may not be copied, altered or reproduced in any way or printed in a third party without the written consent of TLA.
5. The main contractor shall be responsible for compliance with any statutory regulations under the CDM regulations.
6. The alterations shown on this drawing have been based on the measurements provided by an independent surveyor.
7. Details to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and only prior to construction.

PROPOSED

Scale lines

PL PLANNING ISSUE RJ 1/20

NEW DATE Description Date CDD

9 PHENE STREET LONDON SW3 5NY

TITLE PROPOSED SECTION DD

STATUS PLANNING REVISION RJ

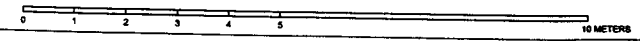
SCALE 1:50 @ A1 & 1:100 @ A3 DRAWING BY RW

DATE DECEMBER 2011 CHECKED BY

PROJECT 822 (21) 004

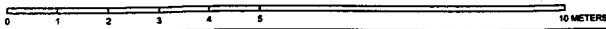


PROPOSED SECTION DD - SCALE 1:50 @ A1 & 1:100 @ A3





PROPOSED SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3



TREVOR | LAYOFF ARCHITECTS

genova house  
 99 lewisham road  
 london SE13 6QU  
 design@trevorlayoff.co.uk  
 www.trevorlayoff.co.uk  
 T +44(0)20 7737 6181  
 F +44(0)20 7328 0348

CLIENT  
 RAB PENSION TRUST

- TREVOR LAYOFF ARCHITECTS LTD
1. Do not scale off this drawing, use printed dimensions only. All dimensions are fixed to be in metric unless otherwise stated and there shall be no tolerance in the use of any dimensional technology.
  2. Issues only for projects indicated.
  3. This drawing is to be used in accordance with conditions, drawings and specifications.
  4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or form in a third party without written consent.
  5. The work undertaken should be consistent with the statutory regulations under the CDM regulations.
  6. The dimensions shown on this drawing have been taken as the measurements provided by an independent survey company.

EXISTING



SPECIFIC NOTES:

NO	DATE	PLANNING ISSUE	BY	APP

9 PHENE STREET  
 LONDON SW3 5NY

TITLE  
 PROPOSED  
 SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY
SCALE	1:50 @ A1	DESIGNED BY
DATE	DECEMBER 2011	DATE
PROJECT	822 (21)	REV





TREVOR LAMPY ARCHITECTS

GENEVA HOUSE  
88 BRACKHILL ROAD  
LONDON SE16 5QU  
design@trevorlumpy.co.uk  
www.trevorlumpy.co.uk  
T +44(0)20 7737 6181  
F +44(0)20 7326 0348

CLIENT  
RAB PENSION TRUST

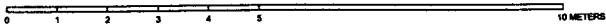
- TREVOR LAMPY ARCHITECTS
- Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on site. Contractor under subcontractor liability is subject to approval of architect and architect's representative in the UK.
  - Issued only for purposes indicated.
  - The drawing is to be used in conjunction with contract documents and specifications unless otherwise stated. It is the contractor's responsibility to ensure compliance with local and national building regulations and standards.
  - This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or stored in a data base without our written consent.
  - The architect shall be consulted with the necessary urgency under the contract conditions.
  - The drawings shown on this drawing have been issued as the necessary means by an independent surveyor.
  - Approval to be provided by each contractor for RLA approval.
  - TLA is aware of all drawings and will plan to be updated.

PROPOSED

Scale: 1:50 @ A1 & 1:100 @ A3



PROPOSED SOUTH WEST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3

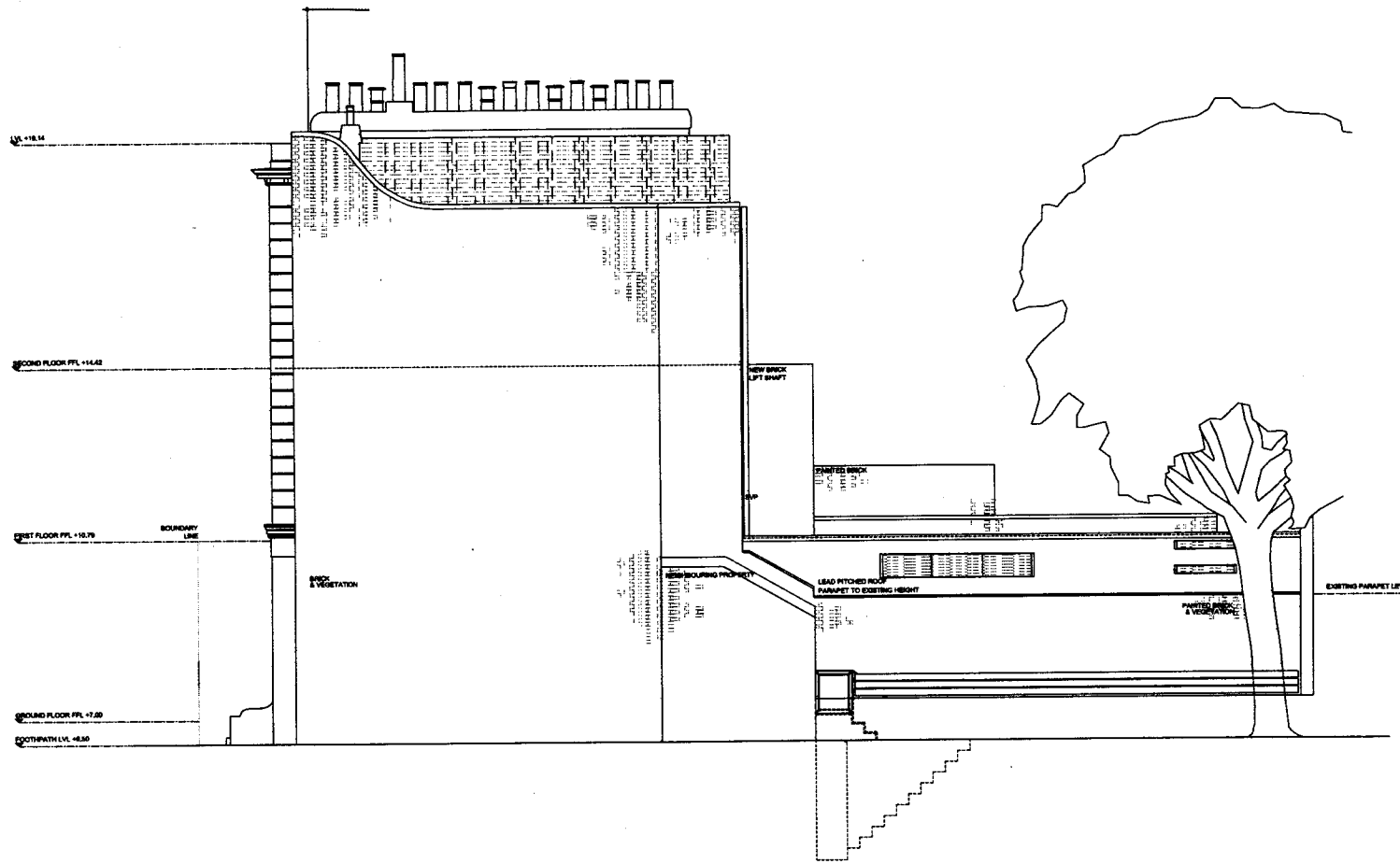


NO.	DATE	PLANNING ISSUE	BY	CHKD

9 PHENE STREET  
LONDON SW3 5NY

PROPOSED SOUTH WEST ELEVATION

STATUS	PLANNING	DESIGNED BY	RLJ
SCALE	1:50 @ A1 & 1:100 @ A3	DATE	DECEMBER 2011
PROJECT NO.	622	REV	(21)



**TREVOR | LANSKY ARCHITECTS**  
 general house  
 90 bratchell road  
 london SW3 5QU  
 design@trevorlansky.co.uk  
 www.trevorlansky.co.uk  
 T +44(0)20 7737 8181  
 F +44(0)20 7328 0348

CLIENT  
**RAB PENSON TRUST**

- TREVOR | LANSKY ARCHITECTS
1. Do not scale off this drawing, use digital dimensions only. All dimensions and levels to be checked on site. Customer and/or subcontractor number's subject to a separate issue of correspondence and variations to IFLA.
  2. Accuracy only for purposes indicated.
  3. This drawing is to be used in conjunction with appropriate drawings and specifications before proceeding with any work. All workmanship to be in accordance with current regulations with local and statutory building regulations and fire safety standards.
  4. This drawing is copyright and sale priority of TLA and may not be copied, altered or reproduced in any way or format by a third party without our written consent.
  5. The main contractor should be consulted with the necessary obligations under the CDM regulations.
  6. The dimensions shown on this drawing have been taken as the measurements provided by an independent surveyor.
  7. Samples to be provided by each contractor for TLA approval.
  8. TLA to approve all drawings and make plan to the location.

**PROPOSED**

Revised Issue:

NO	DATE	DESCRIPTION	BY	CHK
01		ISSUED FOR PERMITTING		
02		ISSUED FOR PERMITTING		
03		ISSUED FOR PERMITTING		
04		ISSUED FOR PERMITTING		
05		ISSUED FOR PERMITTING		
06		ISSUED FOR PERMITTING		
07		ISSUED FOR PERMITTING		
08		ISSUED FOR PERMITTING		
09		ISSUED FOR PERMITTING		
10		ISSUED FOR PERMITTING		
11		ISSUED FOR PERMITTING		
12		ISSUED FOR PERMITTING		
13		ISSUED FOR PERMITTING		
14		ISSUED FOR PERMITTING		
15		ISSUED FOR PERMITTING		
16		ISSUED FOR PERMITTING		
17		ISSUED FOR PERMITTING		
18		ISSUED FOR PERMITTING		
19		ISSUED FOR PERMITTING		
20		ISSUED FOR PERMITTING		

**9 PENE STREET  
 LONDON SW3 5NY**

**PROPOSED NORTH EAST  
 ELEVATION**

SCALE: 1:50 @ A1 & 1:100 @ A3

DATE: FEBRUARY 2012

PROJECT: 822 (21)

007

PROPOSED NORTH EAST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3





PROPOSED SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3

TREVOR LAMPP ARCHITECTS

GENERAL HOUSE  
99 KINGSBURY ROAD  
LONDON SE5 8QU  
design@trevorlamm.co.uk  
www.trevorlamm.co.uk  
T +44(0)20 7737 8181  
F +44(0)20 7326 0340

CLIENT  
RAB PENSION TRUST

- TREVOR LAMPP ARCHITECTS LTD
1. Do not scale of this drawing, and specify dimensions only. All dimensions and levels to be checked on site and Trevor Lampp Architects to be notified of any discrepancies immediately.
  2. Issued only for purpose indicated.
  3. The drawing is to be used in conjunction with conditions, charges and specifications.
  4. This drawing is copyright of T.L.A. and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be consulted with the architect's obligations under the CDM regulations.
  6. The boundaries shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES:

REV	DATE	DESCRIPTION	OWN	CHK
PS	19/01/12	PLANNING ISSUE		

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
PROPOSED  
SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY
SCALE	1:50 @ A1 & 1:100 @ A3	CHK'D BY
DATE	JUNE 2011	REV
PROJECT	822 (20)	012 PS



TREVOR LAMB ARCHITECTS

geneva house  
99 bracknell road  
london SW5 5DU  
design@trevorlamb.co.uk  
www.trevorlamb.co.uk  
T +44(0)20 7337 6181  
F +44(0)20 7326 0348

CLEAR RAB PENSION TRUST

- TREVOR LAMB ARCHITECTS
1. Do not make any alterations, additions or deletions to the drawings or specifications without the written approval of the Architect. The Contractor shall be responsible for ensuring compliance with local and statutory building regulations and fire safety standards.
  2. Materials to be used in construction shall conform with the specifications and standards set out in the drawings and specifications. The Contractor shall be responsible for ensuring compliance with local and statutory building regulations and fire safety standards.
  3. The drawings to be used in construction shall conform with the specifications and standards set out in the drawings and specifications. The Contractor shall be responsible for ensuring compliance with local and statutory building regulations and fire safety standards.
  4. The drawings to be used in construction shall conform with the specifications and standards set out in the drawings and specifications. The Contractor shall be responsible for ensuring compliance with local and statutory building regulations and fire safety standards.
  5. The drawings to be used in construction shall conform with the specifications and standards set out in the drawings and specifications. The Contractor shall be responsible for ensuring compliance with local and statutory building regulations and fire safety standards.
  6. The drawings to be used in construction shall conform with the specifications and standards set out in the drawings and specifications. The Contractor shall be responsible for ensuring compliance with local and statutory building regulations and fire safety standards.
  7. The drawings to be used in construction shall conform with the specifications and standards set out in the drawings and specifications. The Contractor shall be responsible for ensuring compliance with local and statutory building regulations and fire safety standards.
  8. The drawings to be used in construction shall conform with the specifications and standards set out in the drawings and specifications. The Contractor shall be responsible for ensuring compliance with local and statutory building regulations and fire safety standards.

PROPOSED

SPECIFIC NOTES



PROPOSED SECTION C - 1:50 @ A1 & 1:100 @ A3



NO	DATE	PLANNING	REV
01	01/07/11	PLANNING	01
02	01/07/11	PLANNING	02
03	01/07/11	PLANNING	03
04	01/07/11	PLANNING	04
05	01/07/11	PLANNING	05
06	01/07/11	PLANNING	06
07	01/07/11	PLANNING	07
08	01/07/11	PLANNING	08
09	01/07/11	PLANNING	09
10	01/07/11	PLANNING	10
11	01/07/11	PLANNING	11
12	01/07/11	PLANNING	12
13	01/07/11	PLANNING	13
14	01/07/11	PLANNING	14
15	01/07/11	PLANNING	15
16	01/07/11	PLANNING	16
17	01/07/11	PLANNING	17
18	01/07/11	PLANNING	18
19	01/07/11	PLANNING	19
20	01/07/11	PLANNING	20

PHENE ARMS  
LONDON SW3 5NY

PROPOSED SECTION C  
SCALE 1:50 @ A1 & 1:100 @ A3  
DATE JULY 2011  
DRAWN BY THD  
CHECKED BY RW  
DATE 008  
NO. 822 (20)

CLIENT

RAB PENSION TRUST

TREVOR LANSBY ARCHITECTS LTD

1. On no scale of this drawing, with Special dimensions only. All dimensions and levels to be checked on site and these levels to be used as the basis of any construction immediately.
2. Issued only for purpose indicated.
3. This drawing is to be read in conjunction with consultation drawings and specifications.
4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The sub-contractor shall be concerned with the obligations undertaken under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC HOTEL



9 PHENE ST

PROPOSED SOUTH WEST ELEVATION - 1:50 @ A1 & 1:100 @ A3

0 1 2 3 4 5 10 METERS

PS	18/11/12	PLANNING ISSUE		RJ	KW
REV	DATE	DESCRIPTION	[DWG]	CHK	

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
PROPOSED  
SOUTH WEST ELEVATION

STATUS  
PLANNING

SCALE  
1:50 @ A1 & 1:100 @ A3

DATE  
JULY 2011

PROJECT  
822 (20)

REV  
011  
PS



PP/11/3352 / WVA.

# No 9 PHENE STREET, LONDON SW3 5NY

## SITE PLAN

**TREVOR LAMPP ARCHITECTS**  
 geneva house  
 99 knatchbull road  
 london SE5 8QU  
 design@trevorlamm.co.uk  
 www.trevorlamm.co.uk  
 T +44(0)20 7737 6181  
 F +44(0)20 7326 0349

CLIENT  
**RAB PENSION TRUST**

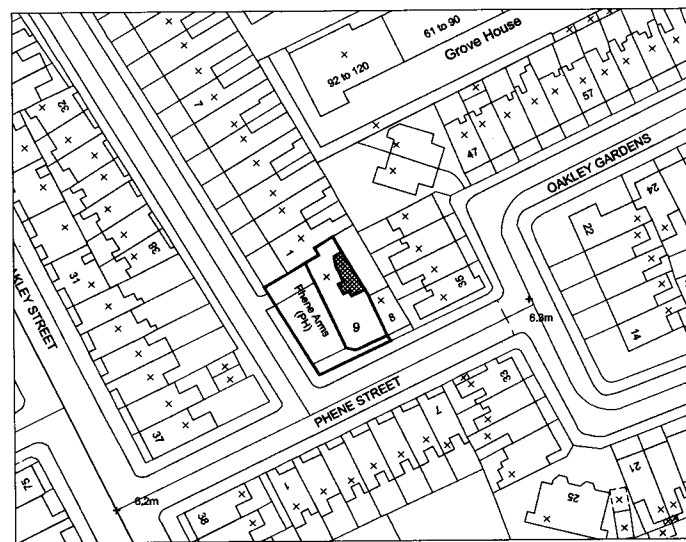
- TREVOR LAMPP ARCHITECTS LTD
- Do not scale off this drawing, use figured dimensions only. All dimensions and levels to be checked on site and Trevor Lamm Architects to be notified of any discrepancies immediately.
  - Issued only for the purposes indicated.
  - This drawing is to be read in conjunction with consultation drawings and specifications.
  - This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or used as a free plan without our written consent.
  - The main contractor should be conversant with the statutory obligations under the CDM regulations.
  - The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES

*reduced size copy*



PROPOSED EXISTING

- |  |  |
|--|--|
| <p>822 (20) 001 GROUND FLOOR PLAN<br/>         822 (20) 002 FIRST FLOOR PLAN<br/>         822 (20) 003 SECOND FLOOR PLAN<br/>         822 (20) 004 ROOF PLAN<br/>         822 (20) 005 LOWER GROUND FLOOR<br/>         822 (20) 006 BASEMENT PLAN<br/>         822 (20) 007 SUB-BASEMENT PLAN</p> <p>822 (21) 002 SECTION B<br/>         822 (21) 003 SECTION C<br/>         822 (21) 004 SECTION D<br/>         822 (21) 005 SOUTH EAST ELEVATION</p> | <p>822 (00) 001 SITE PLAN</p> <p>822 (02) 001 GROUND FLOOR PLAN<br/>         822 (02) 002 FIRST FLOOR PLAN<br/>         822 (02) 003 SECOND FLOOR PLAN</p> <p>822 (02) 005 ROOF PLAN<br/>         822 (02) 006 BASEMENT PLAN</p> <p>822 (02) 008 SECTION B<br/>         822 (02) 009 SECTION C<br/>         822 (02) 011 SOUTH WEST ELEVATION<br/>         822 (02) 012 SOUTH EAST ELEVATION</p> |
|--|--|



SITE PLAN - 1:500 @ A1

NO.	TO/SL/CO	PLANNING	DATE	DESCRIPTION	BY	CHKD	APPD
ADDRESS <b>9 PHENE STREET          LONDON SW3 5NY</b>							
TITLE <b>SITE PLAN</b>							
STATUS	PLANNING	DRAWN BY	MH				
SCALE	1:500@A1	CHECKED BY	REV				
DATE	JULY 2011						
PROJECT NO.	822 (00)						

*All received 19/01/11*



EXISTING TREE TO ADJACENT PROPERTY

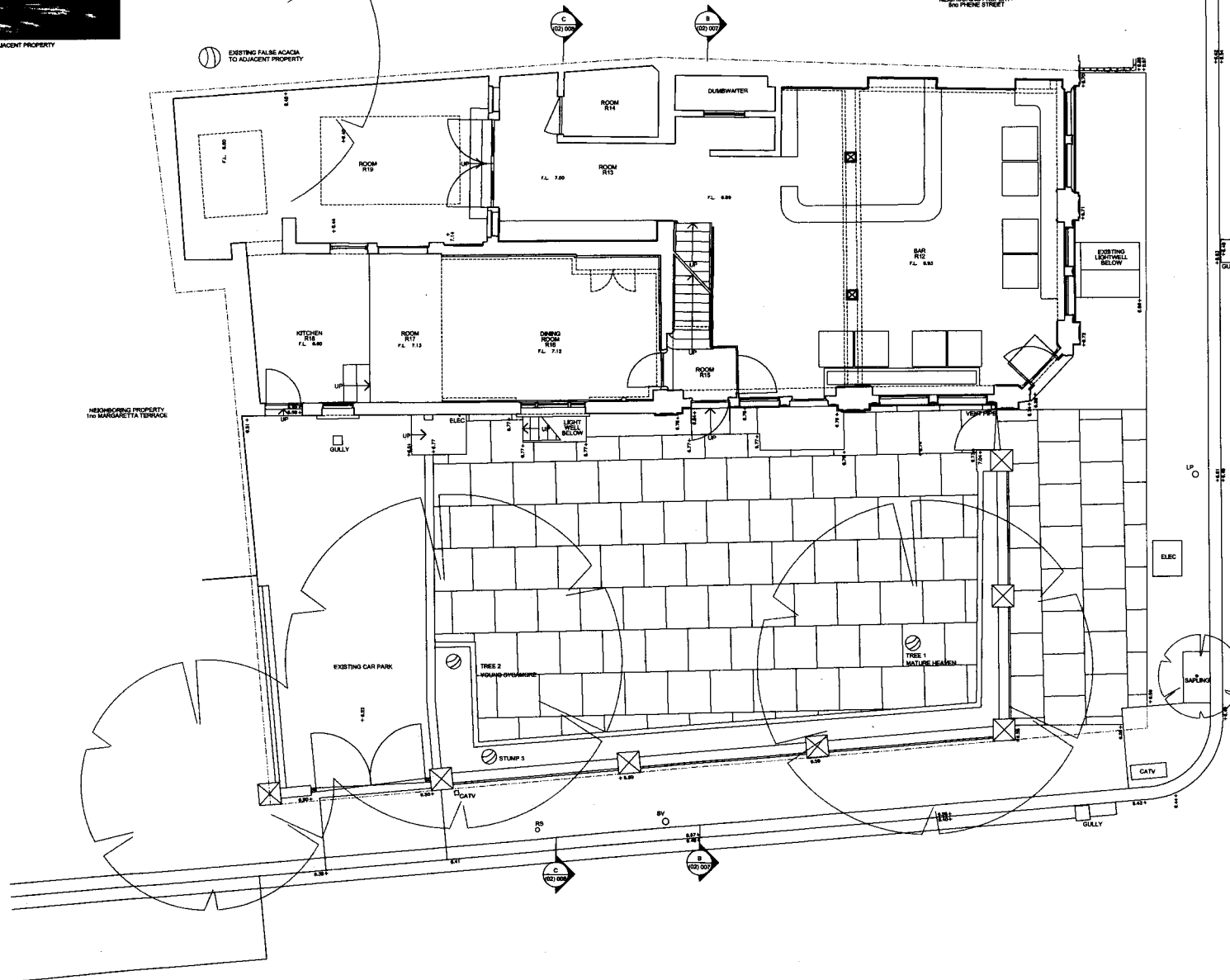
EXISTING FALSE ACACIA TO ADJACENT PROPERTY

NEIGHBORING PROPERTY 99 PHENE STREET

NEIGHBORING PROPERTY THE MARGARETTA TERRACE



EXISTING COVERED LIGHTWELL



TREVOR | LAFFY ARCHITECTS

geneva house  
99 Southchurch Road  
London SE5 8QU  
www.trevorstudio.co.uk  
T +44(0)20 7737 8181  
F +44(0)20 7328 6349

CLIENT

RAB PENSION TRUST

TREVOR LAFFY ARCHITECTS

1. Do not scale off the drawing, use figures dimensions only. All dimensions are to be checked on site. Contractor's measurements should be subject to primary record of all areas, elevations and sections by TLA.
2. Issues only for purposes indicated.
3. The drawing is to be used in conjunction with construction drawings and specifications before proceeding with work. All consultants involved to be referred to to ensure compliance with local and statutory building regulations and BS/EN/AS standards.
4. This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The work undertaken should be in accordance with the statutory obligations under the CDM regulations.
6. The drawings shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and notes prior to construction.

EXISTING

SPECIFIC NOTES:

PS 15.01.12	PLANNING ISSUE	RJ	DM
REV	DATE	DESCRIPTION	OWN

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING GROUND  
FLOOR PLAN

STATUS	PLANNING	ISSUED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A1	CHECKED BY	KW
DATE	JUNE 2011	OWN	REV
PROJECT NO.	822 (02)	001	015



EXISTING GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR | LAFFEY ARCHITECTS

genova house  
99 BRISTOL ROAD  
LONDON SE25 8QU  
design@trevorlaffey.co.uk  
www.trevorlaffey.co.uk  
T +44(0)20 7737 6181  
F +44(0)20 7328 0349

CLIENT  
RAB PENSION TRUST

TREVOR LAFFEY ARCHITECTS

1. Do not scale off this drawing, all figures are approximate. Only all dimensions and levels to be checked on site. Contractors are responsible for any omissions or errors. It is the responsibility of the contractor to verify all dimensions and levels on site.
2. Based only for purpose indicated.
3. The drawing is to be used in conjunction with consultants drawings and specifications unless otherwise stated. It is the responsibility of the contractor to ensure that all work is carried out in accordance with the relevant building regulations and all relevant standards.
4. This drawing is complete and with priority of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be consulted with the relevant authorities under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and not prior to construction.

EXISTING

SPECIFIC NOTES

REV	DATE	DESCRIPTION	BY	CHK

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING FIRST  
FLOOR PLAN

STATUS  
PLANNING

SCALE  
1:50 @ A1 & 1:100 @ A3

DATE  
JUNE 2011

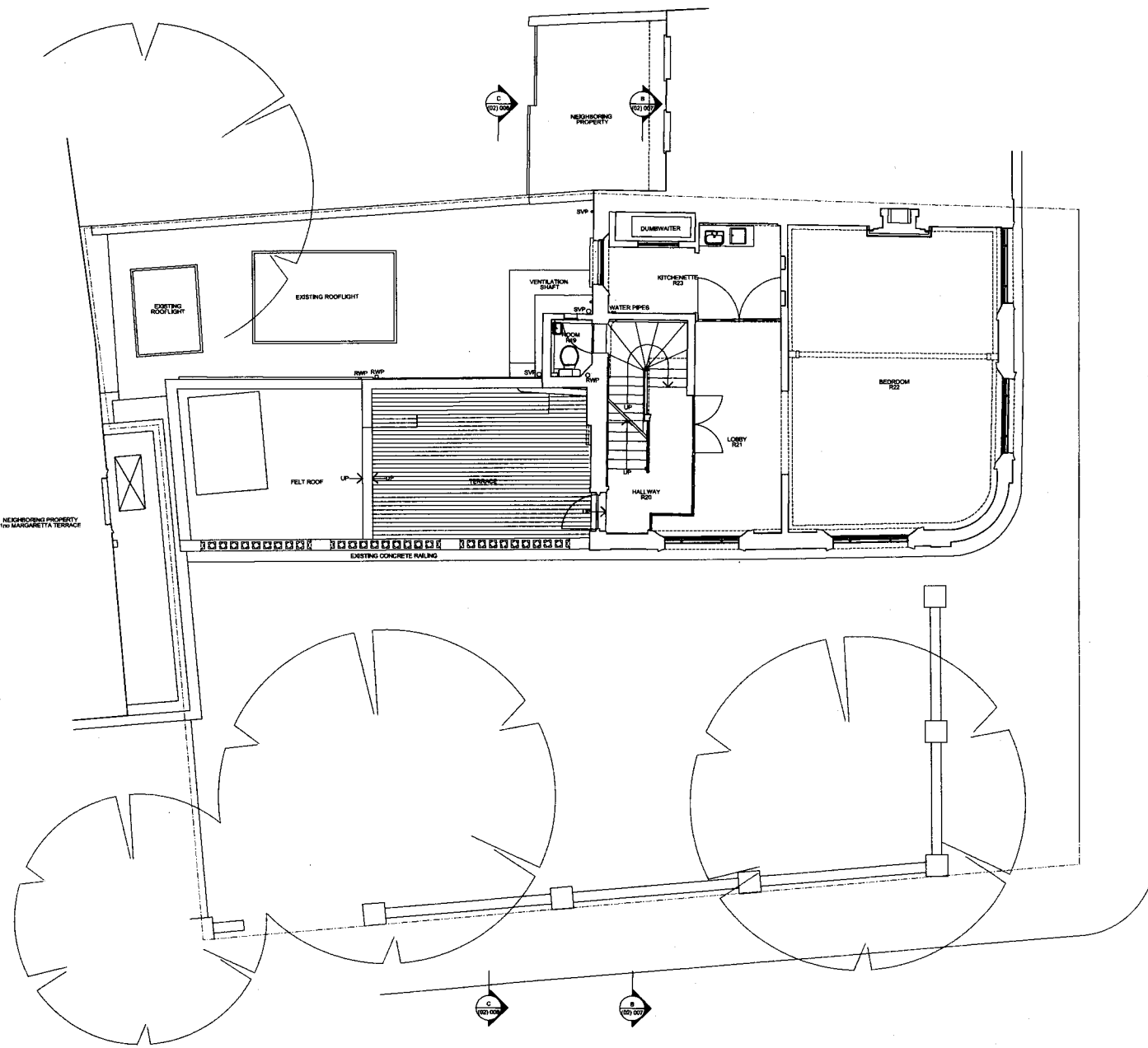
PROJECT NO.  
822 (02)

DESIGNED BY  
THD

CHECKED BY  
KW

DRAWN BY  
DWD

REV  
002



VIEW TO ADJOINING PROPERTY



VIEW TO PHENE ARMS

NEIGHBOURING PROPERTY  
120 MARGARETTA TERRACE



EXISTING FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAMB ARCHITECTS

generative house  
59 leachfield road  
london SE5 8QU  
design@trevorlamb.com  
www.trevorlamb.com  
T +44(0)20 7737 8181  
F +44(0)20 7328 0349

CLIENT  
RAB PENSION TRUST

TREVOR LAMB ARCHITECTS

1. Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on site. Contractor's error and/or omission is not subject to liability. Report all errors, discrepancies and omissions to TLA.
2. Issued only for purpose indicated.
3. This drawing is to be used in conjunction with consultants drawings and specifications forming part of the contract. All consultants information to be referred to, to ensure compliance with local and statutory building regulations and other relevant standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be conversant with the necessary regulations under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and note prior to construction.

EXISTING

EXISTING NOTES

REV	DATE	DESCRIPTION	BY	CHK

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING SECOND  
FLOOR PLAN

STATUS  
PLANNING

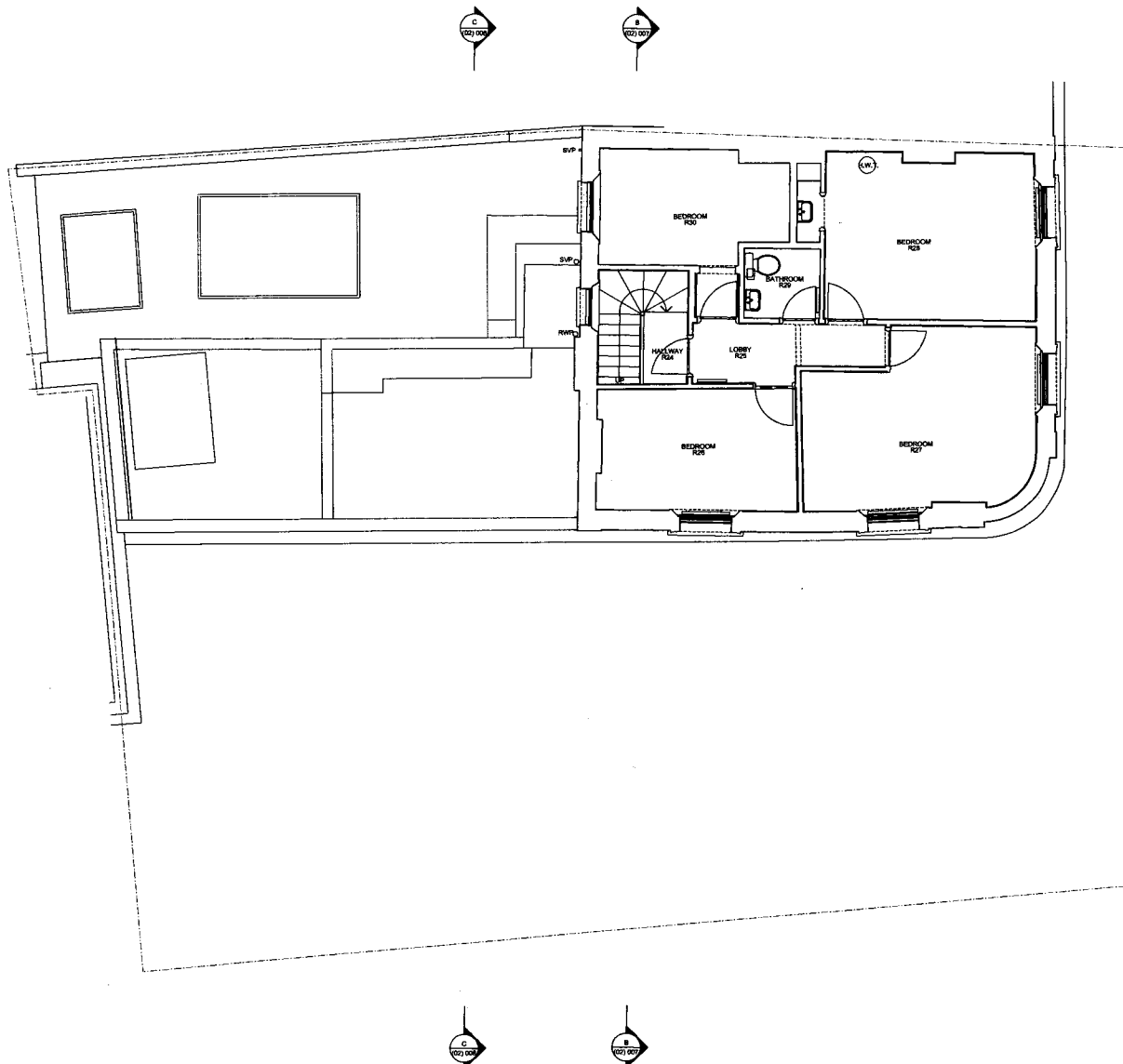
SCALE  
1:50 @ A1 & 1:100 @ A3

DATE  
JULY 2011

PROJECT NO.  
822 (02)

003

PS



EXISTING SECOND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAFFEY ARCHITECTS

garners house  
99 hatchedwell road  
london SE5 8QU  
design@trevorlaffey.co.uk  
www.trevorlaffey.co.uk  
T +44(0)20 7737 6161  
F +44(0)20 7326 0349

CLIENT  
RAB PENSION TRUST

TREVOR LAFFEY ARCHITECTS

1. Do not scale off this drawing, use figures wherever only. All dimensions and levels to be checked on site. Contractor under instruction is subject to provide report all survey discrepancies and variations to TLA.
2. Issued only for purpose indicated.
3. The drawing is to be used in conjunction with consultants drawings and specifications, being proceeding with works. All consultants information to be referred to, to ensure compliance with local and national building regulations and BRE/BS/UK standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be consulted with the necessary authorities under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Services to be provided by main contractor by TLA approval.
8. TLA to approve all drawings and notes prior to construction.

EXISTING

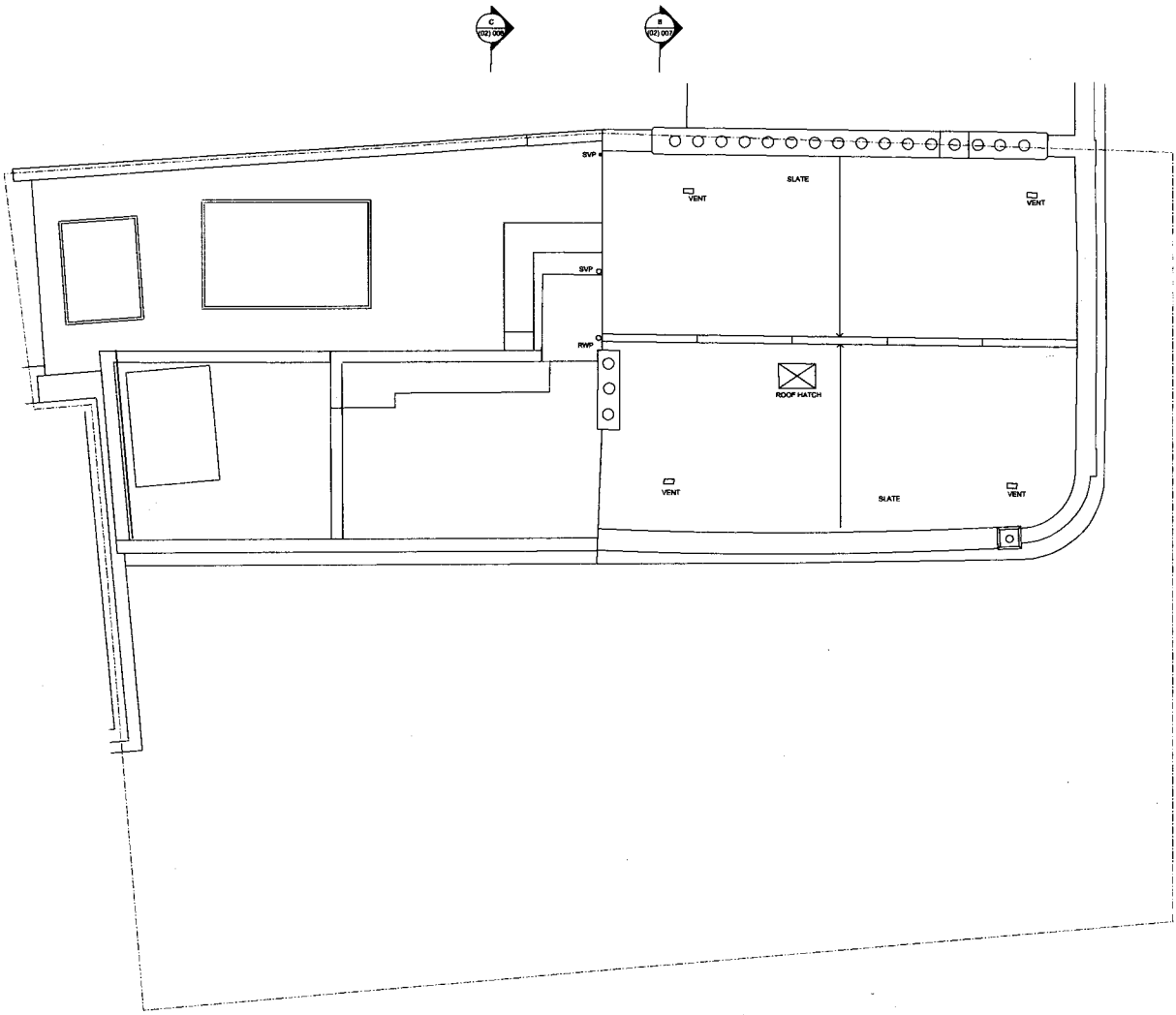
SPECIFIC NOTES:

PS	19/21/12	PLANNING ISSUE	RJ	RW
REV	DATE	DESCRIPTION	BY	CHK

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

EXISTING ROOF PLAN

STATUS	PLANNING	DRAWN BY	THD
SCALE	1:50@A1 & 1:100@A3	CHECKED BY	RW
DATE	JUNE 2011	DWG NO	005
PROJECT NO	022 (02)	REV	PS



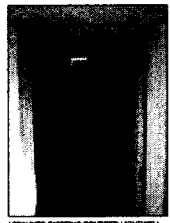
EXISTING ROOF PLAN - 1:50 @ A1 & 1:100 @ A3



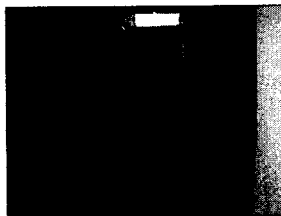
**TREVOR LAWRY ARCHITECTS**  
 partners houses  
 89 bransford road  
 london SE5 8QU  
 tlaw@trevorlawry.co.uk  
 www.trevorlawry.co.uk  
 T +44(0)20 7737 6181  
 F +44(0)20 7326 0340

CLIENT  
**RAB PENSION TRUST**

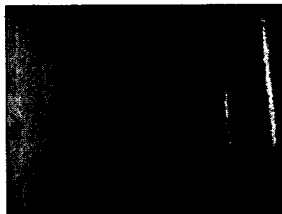
- TREVOR LAWRY ARCHITECTS
- Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on the Computer Aided Submittal System to be subject to periodic reports of non-compliance and resolution to TLA.
  - Issued only for purposes indicated.
  - The drawings are to be used in conjunction with construction drawings and specifications before commencing any work. All construction shall be in accordance with current construction site and statutory building regulations and applicable standards.
  - The drawings are copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  - The main contractor should be responsible for any and all necessary applications under the CDM regulations.
  - The dimensions shown on this drawing have been taken as the measurements provided by the Subcontractor before enquiry.
  - Sanctions to be provided by each contractor for TLA approval.
  - TLA is not responsible for design and will prior to construction.



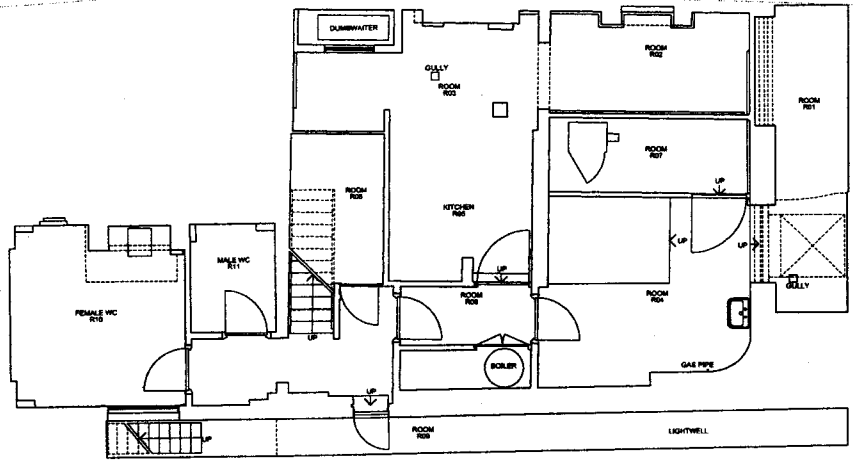
VIEW INTO EXISTING COVERED LIGHTWELL



VIEW TOWARDS STAIRS IN FRONT LIGHTWELL



VIEW INTO FRONT LIGHTWELL



**EXISTING**

SPECIFIC NOTES:

NO.	DATE	PLANNING ISSUE	BY	CHK

9 PHENE STREET  
 LONDON SW3 5NY

**EXISTING BASEMENT FLOOR PLAN**

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RLW
DATE	JUNE 2011	NO.	006
PROJECT NO.	822 (02)	REV.	PS



EXISTING BASEMENT FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAMB ARCHITECTS

greville house  
89 knatchbull road  
london SE20 9QU  
design@tlambstudio.co.uk  
www.tlambstudio.co.uk  
T +44(0)20 7337 8181  
F +44(0)20 7326 0349

CLIENT  
RAB PENSION TRUST

- TREVOR LAMB ARCHITECTS
1. Do not scale off this drawing, use digital dimensions only. All dimensions and levels to be checked on site. Contractor and other subcontractors are obliged to promptly report all errors, omissions and omissions to TLA.
  2. Based only for purpose indicated.
  3. The drawing is to be used in conjunction with: conditions of drawing and specification before proceeding with work. All structural information is to be checked to ensure compliance with local and industry building regulations and Building Act standards.
  4. This drawing is copyright and sale property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be conversant with the statutory obligations under the CDM regulations.
  6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
  7. Samples to be provided by main contractor for TLA approval.
  8. TLA to approve all drawings and notes prior to construction.

EXISTING

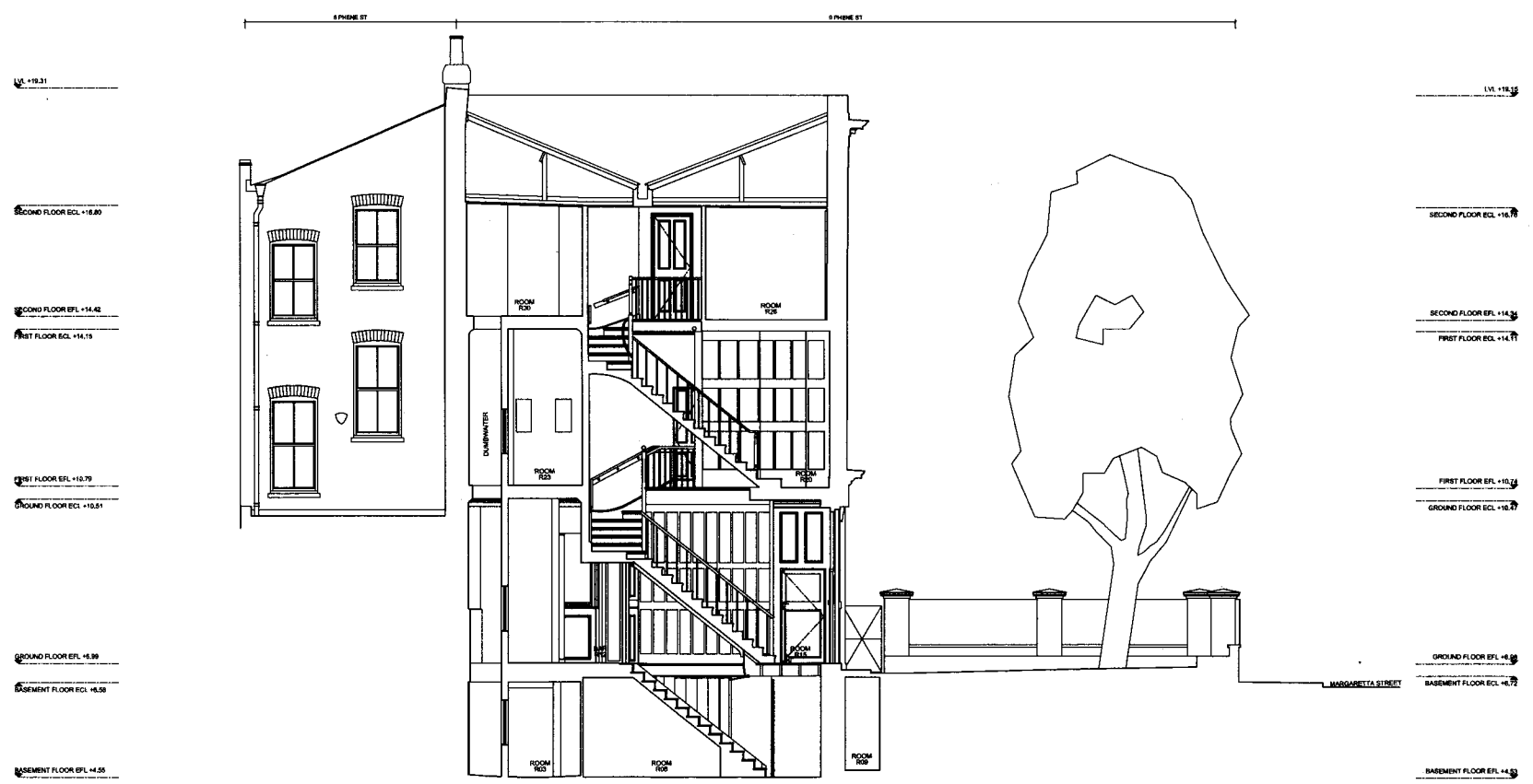
EXISTING HOTEL

PS	16.01.12	PLANNING BOLA	RJ	DM
REV	DATE	DESCRIPTION	DMW	DM

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING SECTION B

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW
DATE	JUNE 2011	DATE	
PROJECT NO.	822 (02)	REV	007



EXISTING SECTION B - 1:50 @ A1 & 1:100 @ A3

CLIENT  
**RAB PENSION TRUST**

TREVOR | LANIFF ARCHITECTS

1. Do not scale this drawing, any figures dimensioned only. All dimensions and levels are for information only. Construction errors responsibility remains subject to generally accept all errors, discrepancies and omissions to TLA.
2. Issues only for purpose indicated.
3. The drawing is to be read in conjunction with consultants drawings and specifications before proceeding with work. All construction proposed to be referred to by general contractor will show and identify existing regulations and BS/EN standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or placed to a third party without our written consent.
5. The main contractor should be consulted with the existing conditions under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Issued to be provided for main contractor for TLA approval.
8. TLA to approve all drawings and notes prior to construction.

**EXISTING**

SPECIFIC NOTES:



EXISTING SECTION C - 1:50 @ A1 & 1:100 @ A3

PS	19.01.12	PLANNING BOOK	AL	JW
REV	DATE	DESCRIPTION	DATE	CHK
ADDRESS				
PHENE ARMS LONDON SW3 5NY				
TITLE				
EXISTING SECTION C				
STATUS	PLANNING	DOCUMENT	THD	
SCALE	1:50 @ A1 & 1:100 @ A3	CREATED BY	RW	
DATE	JULY 2011	CHK	REV	PS
PROJECT NO.	522	(02)	008	PS





EXISTING SOUTH WEST ELEVATION - 1:50 @ A1 & 1:100 @ A3

**TREVOR | LAMFY ARCHITECTS**  
 gemma house  
 88 marshfield road  
 london SE5 8GU  
 www.trevalamfy.co.uk  
 t +44(0)20 7737 8181  
 f +44(0)20 7326 0348

CLIENT  
**RAB PENSION TRUST**

- TREVOR LAMFY ARCHITECTS, LTD
1. Do not scale off this drawing, use formal dimensions only. All dimensions and levels to be checked on site and these shall be used to be verified by any measurements on-site.
  2. Intend only for purposes indicated.
  3. This drawing is to be read in conjunction with any conditions, drawings and specifications.
  4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The sub-contractor shall be responsible for compliance with the statutory regulations under the CDM regulations.
  6. The drawings shown on this drawing shall have been based on the measurements provided by an independent surveying company.

EXISTING



SPECIFIC NOTES

NO.	REVISION	PLANNING REFERENCE	DATE	DESCRIPTION	BY	CHKD

ADDRESS  
**9 PHENE STREET  
 LONDON SW3 5NY**

TITLE  
**EXISTING  
 SOUTH WEST ELEVATION**

STATUS	PLANNING	DESIGNED BY	MM
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	TLW
DATE	JULY 2011	PROJECT NO.	822 (02)
			011 P5



TREVOR | LAFFEY ARCHITECTS

genera house  
99 Kewford Road  
London SE5 8DU  
design@seehouse.co.uk  
www.seehouse.co.uk  
T +44(0)20 7737 6181  
F +44(0)20 7326 0349

CLIENT: RAB PENSION TRUST

- TREVOR LAFFEY ARCHITECTS LTD
1. Do not make of this drawing, and typed drawings or its, all dimensions and levels to be checked on site and Trevor Laffey Architects to be notified of any discrepancies immediately.
  2. Issued only for purpose indicated.
  3. The drawing is to be used in conjunction with consultants drawings and specifications.
  4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be conversant with the statutory obligations under the CDM regulations.
  6. The dimensional errors on this drawing have been based on the measurements provided by an independent survey company.

EXISTING

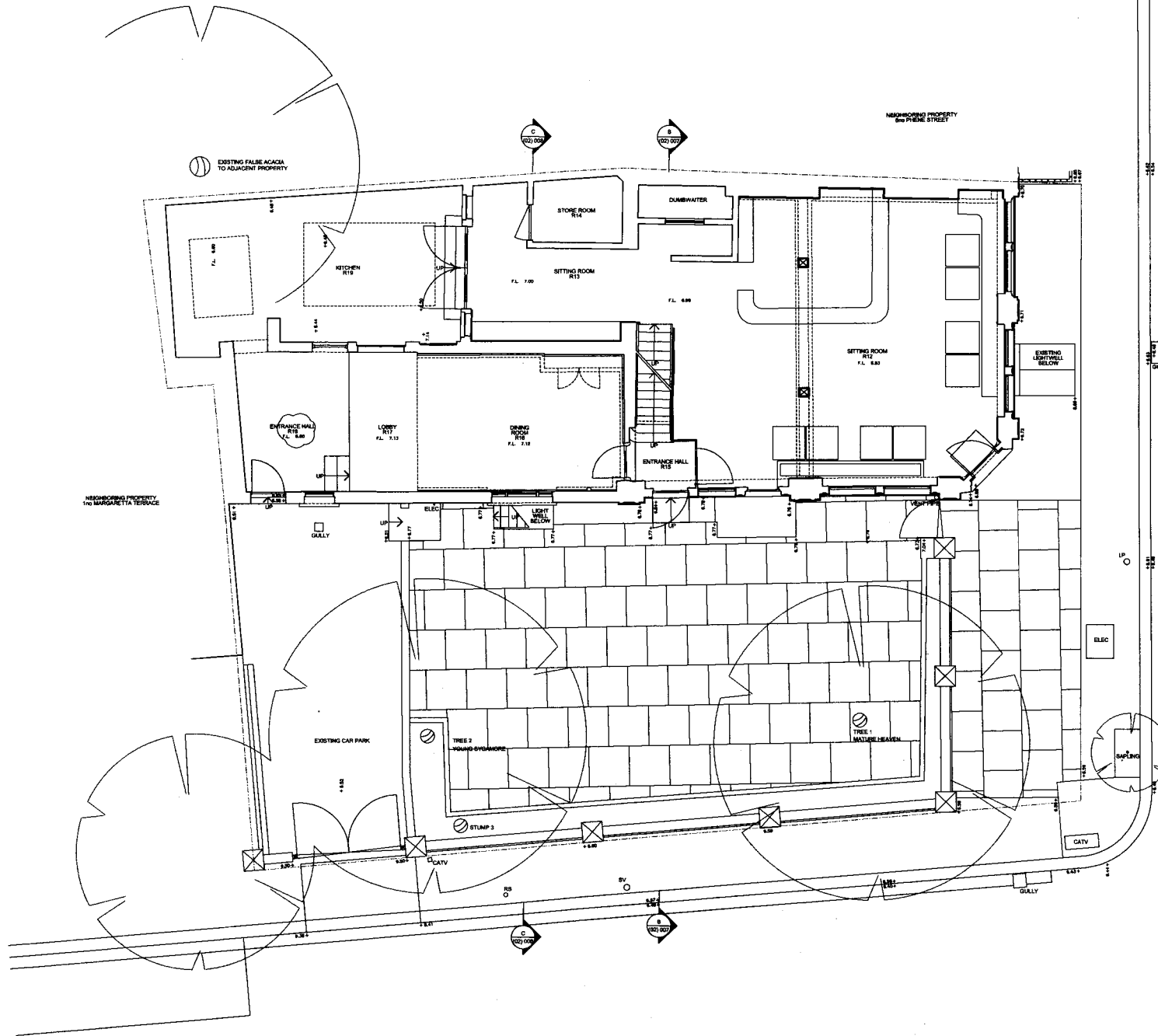


SPECIFIC NOTES:



EXISTING SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3

PL	18.01.12	PLANNING	DALE	RJ	JM
REV	DATE	DESCRIPTION		OWN	CHK
ADDRESS					
9 PHENE STREET LONDON SW3 5NY					
TITLE					
EXISTING SOUTH EAST ELEVATION					
STATUS	PLANNING	COUNTRY			
SCALE	1:50 @ A1 & 1:100 @ A3	DESIGNED BY	KW		
DATE	JUNE 2011	CHK	012	REV	PS
PROJECT	822	(02)			



PROPOSED GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

**TREVOR LAFF ARCHITECTS**  
 geneva house  
 99 Southwell Road  
 London SE5 8QU  
 design@tastudio.co.uk  
 www.tastudio.co.uk  
 T +44(0)20 7737 6181  
 F +44(0)20 7326 0349

- CLIENT: **RAB PENSION TRUST**
- TREVOR LAFF ARCHITECTS
1. Do not make of this drawing, nor reproduce it in any form, without the written consent of the architect. The architect shall not be held responsible for any errors or omissions in this drawing.
  2. Noted only for purposes indicated.
  3. The drawing is to be used in conjunction with complete drawings and specifications before proceeding with work. All dimensions and levels to be referred to in any contract shall be those and usually taking the highest and lowest of the drawings.
  4. This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be consulted with the architect's office under the CDM regulations.
  6. The dimensions shown on this drawing have been taken from the measurements provided by an independent survey company.
  7. Samples to be provided by main contractor for TLA approval.
  8. TLA to approve all drawings and notes prior to construction.

**PROPOSED**

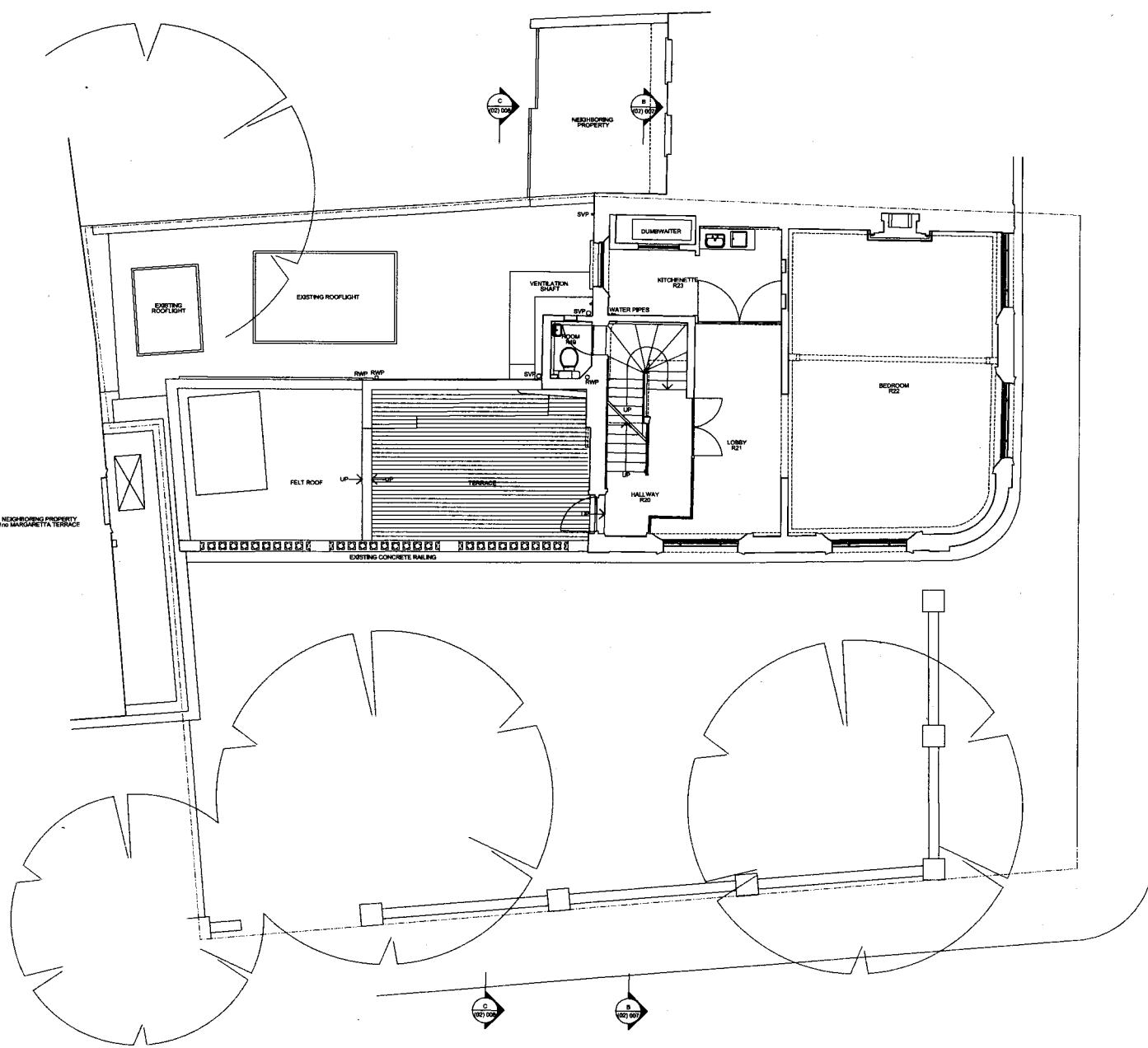
SPECIFIC NOTES:

PS	TRAIL 12	PLANNING ISSUE	RJ	10/11
REV	DATE	DESCRIPTION	CHKD	CHKD

ADDRESS:  
**9 PHENE STREET  
 LONDON SW3 5NY**

**PROPOSED GROUND FLOOR PLAN**

STATUS	PLANNING	APPROVED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A1	CHECKED BY	KW
DATE	JUNE 2011	DATE	
PROJECT NO.	822 (20)	REV	001 PS



**TREVOR LAWFF ARCHITECTS**  
 geneva house  
 99 knatchbull road  
 london SE5 8QU  
 design@trevorlawff.co.uk  
 www.trevorlawff.co.uk  
 T +44(0)20 7737 8181  
 F +44(0)20 7326 0349

- CLIENT: **RAB PENSION TRUST**
- TREVOR LAWFF ARCHITECTS
- On the basis of this drawing, the Client acknowledges that it is responsible for obtaining all necessary permissions and consents for the proposed works. The Client is responsible for ensuring that all necessary permissions and consents are obtained in a timely manner.
  - These drawings are for the Client's use only and are not to be used for any other purpose without the written consent of Trevor Lawff Architects.
  - The drawings are to be used in conjunction with the contract documents and specifications. Any amendments or variations must be agreed in writing by the Client and Trevor Lawff Architects.
  - This drawing is copyright and all rights reserved. It may not be copied, altered or reproduced in any way or used in any other project without the written consent of Trevor Lawff Architects.
  - The Client is responsible for ensuring that the drawings are used in accordance with the contract documents and specifications.
  - The drawings shown on this drawing have been based on the measurements provided by an independent survey company.
  - Drawings to be provided by the contractor for TLA approval.
  - TLA to approve all drawings and notes prior to construction.

**PROPOSED**

SPECIFIC NOTES:

PS	18.01.12	PLANNING BLUE	RJ	JM
REV	DATE	DESCRIPTION	DWG	CD
ADDRESS <b>9 PHENE STREET LONDON SW3 5NY</b>				
TITLE <b>PROPOSED FIRST FLOOR PLAN</b>				
EXTENT	PLANNING	DESIGNED BY	THD	
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW	
DATE	JUNE 2011	DWG	REV	PS
PROJECT	B22	(20)	002	



PROPOSED FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

