



TREVOR | LAWRY ARCHITECTS

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CLIENT  
RAB PENSION TRUST

- TREVOR LAWRY ARCHITECTS
- Do not scale any drawing, use figures elsewhere only. Dimensions and levels to be obtained on site. Contractors must refer to the number of a drawing to identify the correct drawing and not the number of a drawing to identify the correct drawing.
  - Notes are for general information.
  - This drawing is to be used in connection with the proposed development and is not to be used for any other purpose without the written consent of Trevor Lawry Architects.
  - This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or for any purpose without the written consent of Trevor Lawry Architects.
  - The drawings shown on this drawing are based on the information provided to us by the client and are not to be used for any other purpose without the written consent of Trevor Lawry Architects.
  - Nothing is to be construed as an offer of insurance.
  - TLA is approved as a developer and not a contractor.

PROPOSED

PROPOSAL NOTES:

NO	DATE	DESCRIPTION	BY	CHKD
1		PRELIMINARY SUBMITTED TO RAB PENSION TRUST	RJ	RE
2		PRELIMINARY SUBMITTED TO ARCHITECTURAL PANEL	RJ	RE
3		PRELIMINARY SUBMITTED TO ARCHITECTURAL PANEL	RJ	RE
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9 PHENE STREET  
LONDON SW3 5NY

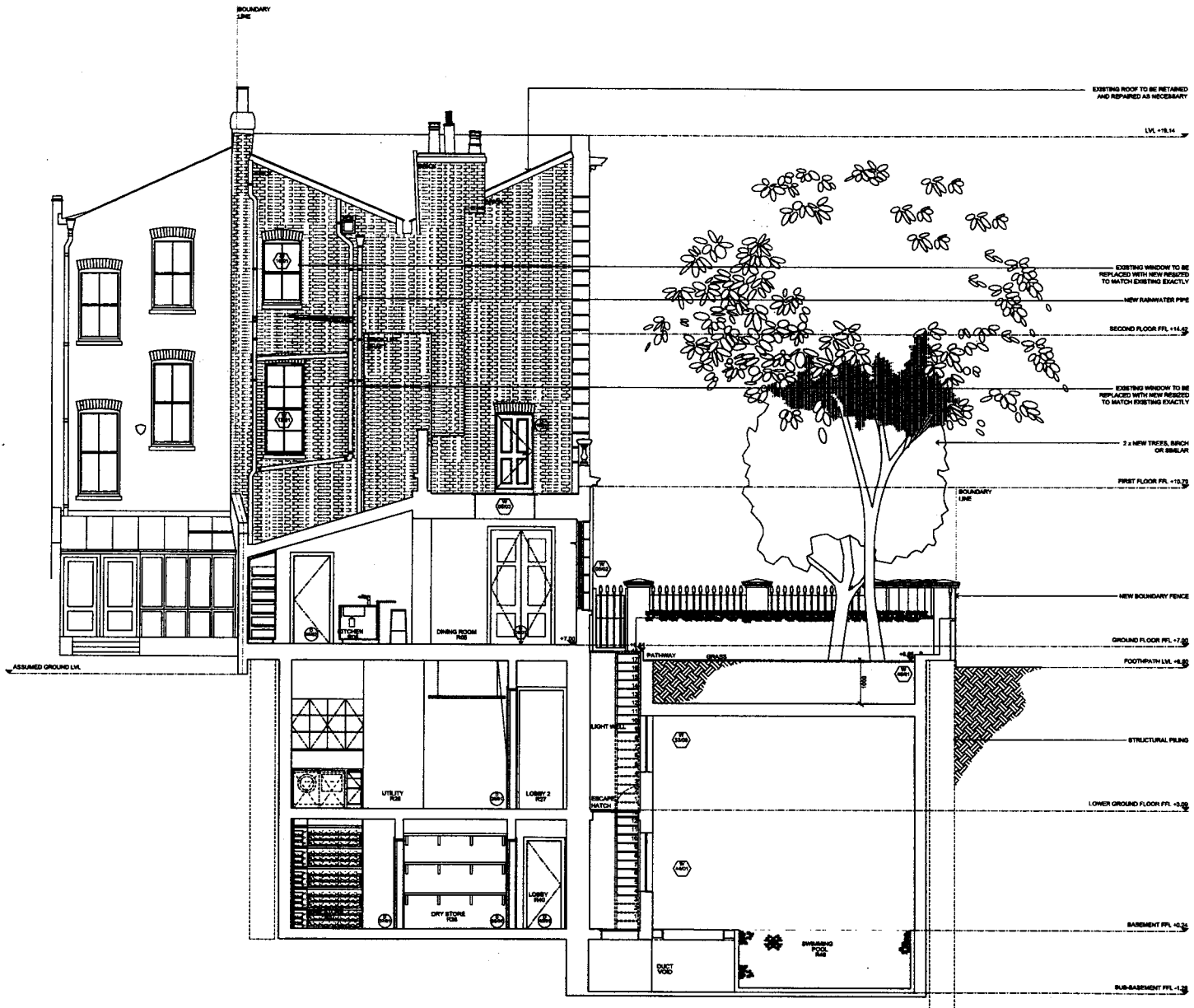
PROPOSED SECTION CC

DATE	PLANNING	DESIGNED BY	RJ
SCALE	1:50 @ A1 & 1:100 @ A3	ISSUED BY	RJ
DATE	FEBRUARY 2012	DATE	
PROJECT NO.	822 (21)	NO.	003

PROPOSED SECTION CC - SCALE 1:50 @ A1 & 1:100 @ A3



EXISTING WINDOWS





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CLIENT RAB PENSION TRUST

- TREVOR LAMB ARCHITECTS
1. Do not make any alterations, nor figure dimensions until all dimensions and levels in the drawing are checked and approved by the client and the contractor under the supervision of the architect.
  2. Issues only for approved drawings.
  3. The drawing is to be used in connection with construction drawings and specifications before proceeding with work. All dimensions and levels in the drawing have been prepared with best and accurate building regulations and statutory compliance.
  4. The drawing is copyright and with consent of TLA and any use for other than the intended use is prohibited without the prior written consent of TLA.
  5. The main contractor shall be responsible for all necessary applications under the CDM regulations.
  6. The alterations shown on this drawing have been based on the measurements provided by an independent survey company.
  7. Details to be provided by main contractor for TLA approval.
  8. TLA to approve all drawings and only prior to construction.

PROPOSED

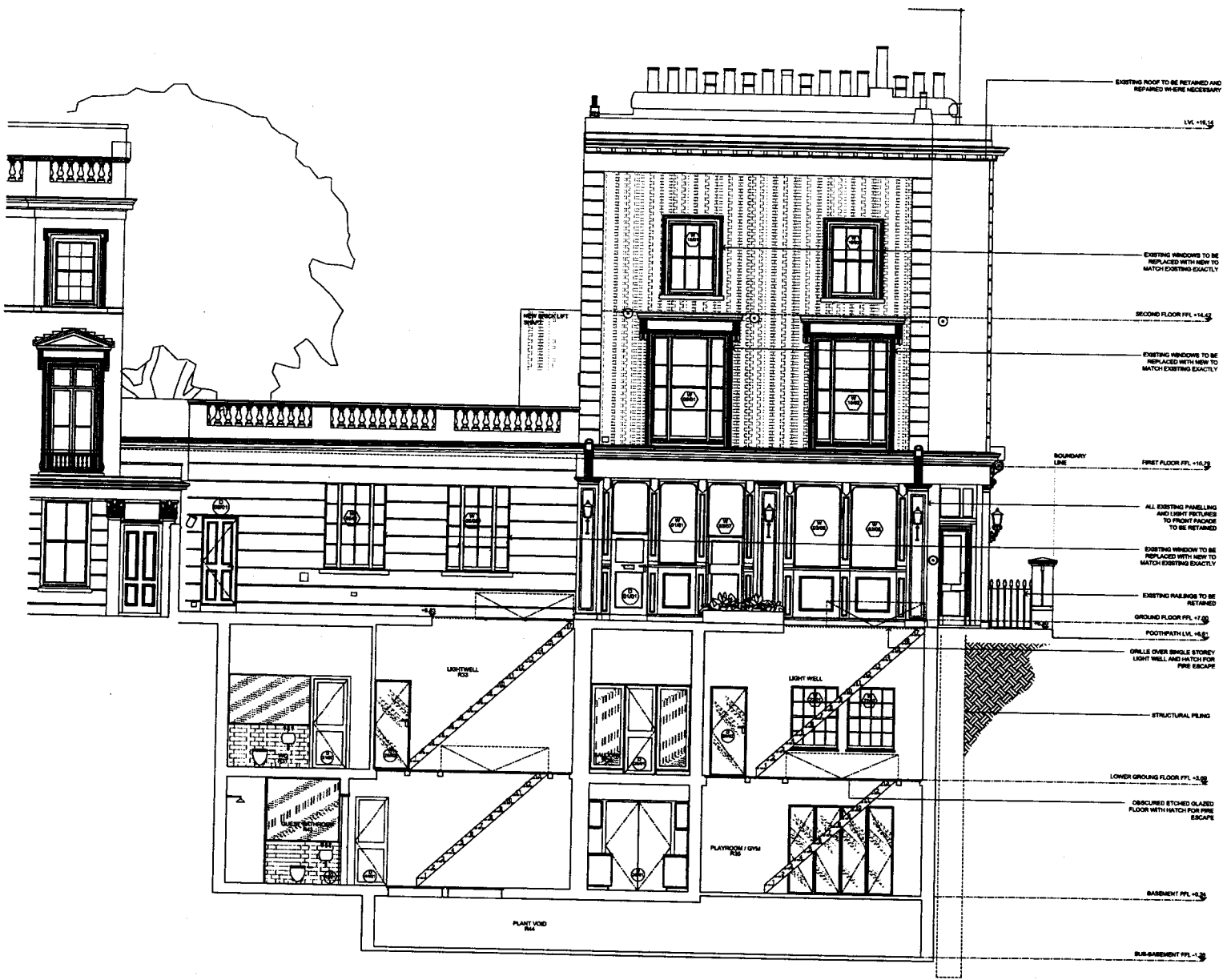
Scale: 1:50 @ A1 & 1:100 @ A3

NO.	DATE	DESCRIPTION	BY	CHKD
PL	12/12/11	PLANNING ISSUE	RJ	DM
PL	12/12/11	PLANNING ISSUE	RJ	DM

9 RHENE STREET  
LONDON SW3 5NY

PROPOSED SECTION DD

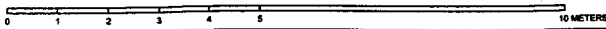
STATUS	PLANNING	ISSUED BY	RJ
SCALE	1:50 @ A1 & 1:100 @ A3	DATE	12/12/11
DATE	DECEMBER 2011	NO.	004
PROJECT	822 (21)	REV	004



PROPOSED SECTION DD - SCALE 1:50 @ A1 & 1:100 @ A3



PROPOSED SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3



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- TREVOR LACEY ARCHITECTS LTD
1. Do not scale off this drawing, use printed dimensions only. All dimensions are to be in metric unless otherwise stated and these shall not be used in any other country.
  2. Issues only for projects indicated.
  3. This drawing is to be used in accordance with the conditions of sale and specifications.
  4. This drawing is the property of TLA and may not be copied, altered or reproduced in any way or form in a third party without our written consent.
  5. The work undertaken should be in accordance with the statutory regulations under the CDM regulations.
  6. The dimensions shown on this drawing have been taken as the measurements provided by an independent survey company.

EXISTING



SPECIFIC NOTES:

NO	DATE	PLANNING ISSUE	BY	APP

9 PHENE STREET  
 LONDON SW3 5NY

TITLE  
 PROPOSED  
 SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY
SCALE	1:50 @ A1	DESIGNED BY
DATE	DECEMBER 2011	DATE
PROJECT	822 (21)	REV





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CLIENT  
RAB PENSION TRUST

- TREVOR LAMB ARCHITECTS
- Do not scale off this drawing, use figures dimension only. All dimensions and levels to be checked on site. Contractor under subcontractor's liability to comply with all relevant regulations and standards in the UK.
  - Issued only for project indicated.
  - The drawing is to be used in conjunction with contract documents and specifications unless otherwise stated. All materials and workmanship to be in accordance with the contract documents and specifications unless otherwise stated.
  - This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or stored in a data base without our written consent.
  - The main contractor shall be responsible for the statutory obligations under the CDM regulations.
  - The drawings shown on this drawing have been issued as the necessary means to be used by an independent surveyor.
  - Approval to be provided by each contractor for RLA approval.
  - TLA is responsible for design and shall plan to coordinate.

PROPOSED

Scale: 1:50 @ A1 & 1:100 @ A3



EXISTING ROOF TO BE RETAINED

LVL. +10.5

EXISTING WINDOW TO BE REPLACED WITH NEW TO MATCH EXISTING EXACTLY

NEW BRICK LIFT SHAFT

SECOND FLOOR FFL +14.5

EXISTING WINDOW TO BE REPLACED WITH NEW TO MATCH EXISTING EXACTLY

BOUNDARY LINE

FIRST FLOOR FFL +12.75

EXISTING FRONTAGE TO BE RETAINED

ALL EXISTING PANELLING AND LIGHT FIXTURES TO FRONT FACADE TO BE RETAINED  
ALL WINDOWS TO BE REPLACED WITH NEW TO MATCH EXISTING EXACTLY

NEW RAILINGS WITH CAST IRON DETAIL TO MATCH EXISTING AT NUMBER 8 PHENE STREET

GROUND FLOOR FFL +7.0

FOOTPATH LVL. +6.5

PROPOSED SOUTH WEST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3

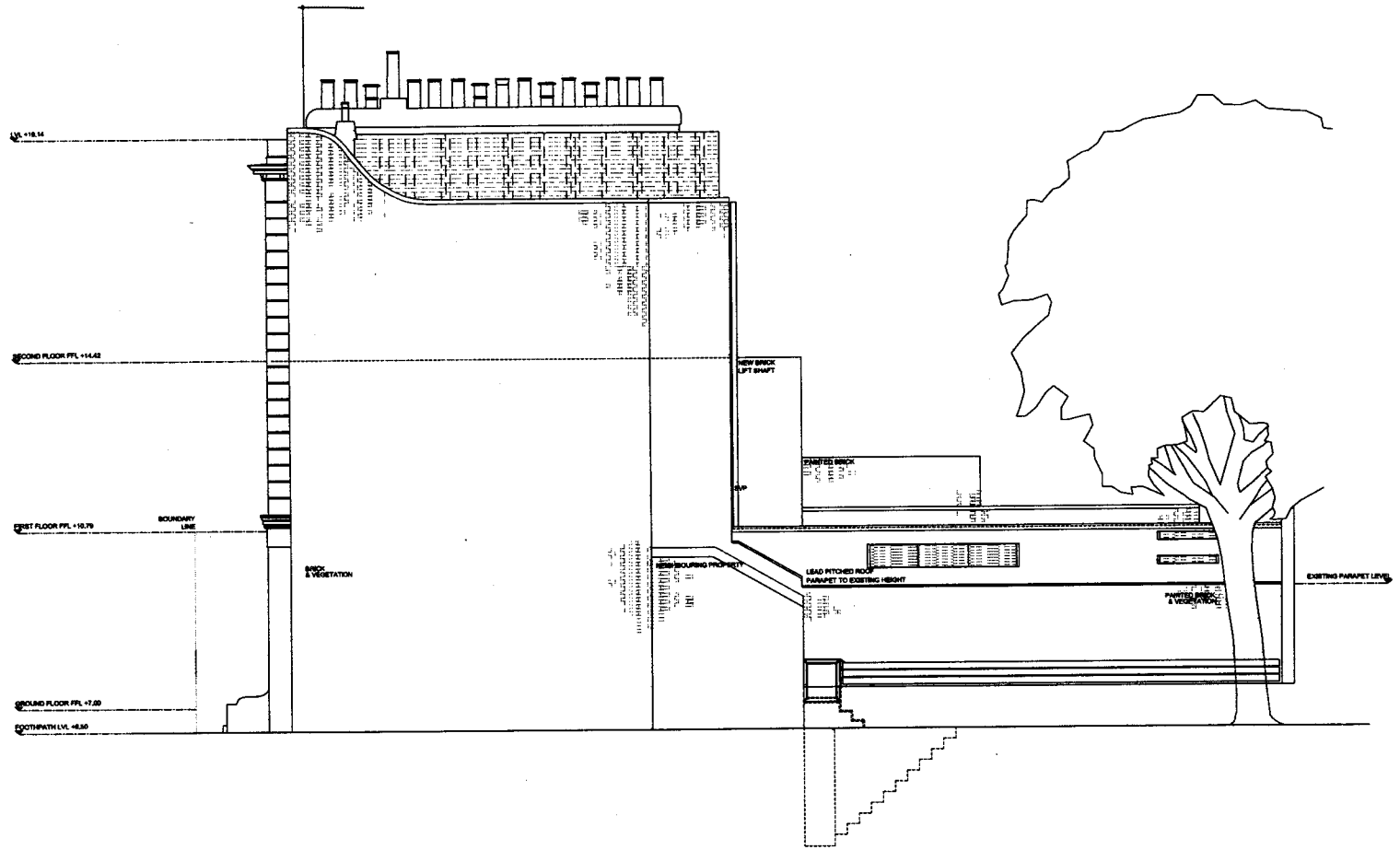


REV.	DATE	DESCRIPTION	BY	CHKD.

9 PHENE STREET  
LONDON SW3 5NY

PROPOSED SOUTH WEST ELEVATION

STATUS	PLANNING	DESIGNED BY	RL
SCALE	1:50 @ A1 & 1:100 @ A3	DATE	DECEMBER 2011
PROJECT NO.	622	REV.	(21)



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 T +44(0)20 7737 8181  
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1. Do not scale off this drawing, and if you do, you do so at your own risk. All dimensions and levels to be checked on site. Customer and/or subcontractor liability is not to be accepted in any way for any errors or omissions.
  2. This drawing is to be used in conjunction with appropriate drawings and specifications before proceeding with any work. It is the responsibility of the contractor to ensure compliance with local and statutory building regulations and fire safety standards.
  3. This drawing is to be used in conjunction with all relevant planning and building regulations. It is the responsibility of the contractor to ensure compliance with all relevant regulations.
  4. This drawing is to be used in conjunction with all relevant planning and building regulations. It is the responsibility of the contractor to ensure compliance with all relevant regulations.
  5. The drawings shown on this drawing have been based on the measurements provided by an independent surveyor.
  6. This drawing is to be used in conjunction with all relevant planning and building regulations. It is the responsibility of the contractor to ensure compliance with all relevant regulations.
  7. This drawing is to be used in conjunction with all relevant planning and building regulations. It is the responsibility of the contractor to ensure compliance with all relevant regulations.

**PROPOSED**

Notes:

PT	PLANNING	REMITTED TO NEPC PLANNING	RJ	REV
PT	PLANNING	REMITTED TO NEPC PLANNING	RJ	REV
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PT	PLANNING	REMITTED TO NEPC PLANNING	RJ	REV

9 PHENE STREET  
 LONDON SW3 5NY

**PROPOSED NORTH EAST ELEVATION**

DATE: FEBRUARY 2012

PROJECT: 822 (21)

SCALE: 1:50 @ A1 & 1:100 @ A3

DATE: FEBRUARY 2012

PROJECT: 822 (21)

PROPOSED NORTH EAST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3





PROPOSED SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3

TREVOR LAMPP ARCHITECTS

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- TREVOR LAMPP ARCHITECTS LTD
1. Do not scale of this drawing, and specify dimensions only. All dimensions and levels to be checked on site and Trevor Lamm Architects to be notified of any discrepancies immediately.
  2. Issued only for purpose indicated.
  3. The drawing is to be used in conjunction with contract conditions and specifications.
  4. This drawing is copyright of T.L.A. and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be consulted with the architect's obligation under the CDM regulations.
  6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES:

REV	DATE	DESCRIPTION	OWN	CHK
PS	19/01/12	PLANNING ISSUE		

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
PROPOSED  
SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY
SCALE	1:50 @ A1 & 1:100 @ A3	CHK'D BY
DATE	JUNE 2011	REV
PROJECT	822 (20)	012 PS



TREVOR | LAWRY ARCHITECTS

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1. Do not scale off this drawing, all spatial dimensions only. All dimensions are given to the finished work. The Contractor under Administration is obliged to comply with local and statutory building regulations and building standards.
  2. Materials only to be specified.
  3. The drawing is to be used in conjunction with associated drawings and specifications before proceeding with work. All workmanship is to be in accordance with current practice with local and statutory building regulations and building standards.
  4. This drawing is copyright and the property of TLA and shall not be copied, altered or reproduced in any way or stored in a CAD system without the written consent.
  5. The main contractor should be consulted for the necessary obligations under the CDM regulations.
  6. The drawings are not to be displayed in any form without the written consent of the Architect.
  7. Services to be provided by main contractor for TLA approval.
  8. TLA to approve all drawings and notes prior to construction.

PROPOSED

SPECIFIC NOTES



LEVEL +18.31  
SECOND FLOOR EQL +18.28  
SECOND FLOOR EQL +16.42  
FIRST FLOOR EQL +14.16  
FIRST FLOOR EQL +10.78  
TERRACE FLOOR EQL +6.88  
GROUND FLOOR EQL +6.24  
GROUND FLOOR EQL +7.20  
BASEMENT FLOOR EQL +4.26

LM +18.31  
SECOND FLOOR EQL +18.78  
SECOND FLOOR EQL +14.14  
FIRST FLOOR EQL +4.77  
TERRACE FLOOR EQL +10.88  
GROUND FLOOR EQL +10.72  
GROUND FLOOR EQL +7.14  
BASEMENT FLOOR EQL +4.26

PROPOSED SECTION C - 1:50 @ A1 & 1:100 @ A3



NO	DATE	PLANNING	REV	REV
1	08/07/11	PLANNING	1	1
<b>PHENE ARMS LONDON SW3 5NY</b>				
<b>TITLE PROPOSED SECTION C</b>				
STATUS	PLANNING	DESIGNED BY	THD	
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW	
DATE	JULY 2011	DATE	008	PS
COURT NO.	822 (20)	NO.	008	PS

CLIENT

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1. On no scale of this drawing, with Special dimensions only. All dimensions and levels to be checked on site and these levels to be used as the basis of any construction immediately.
2. Issued only for purpose indicated.
3. This drawing is to be read in conjunction with consultation drawings and specifications.
4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The sub-contractor shall be concerned with the obligations outlined under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC HOTEL



9 PHENE ST

PS	18/11/12	PLANNING ISSUE		RJ	KW
REV	DATE	DESCRIPTION	[DWG]	CHK	

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
PROPOSED  
SOUTH WEST ELEVATION

STATUS	PLANNING	DRAWN BY	ME1
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	LM
DATE	JULY 2011	DATE	
PROJECT	822	(20)	011

PROPOSED SOUTH WEST ELEVATION - 1:50 @ A1 & 1:100 @ A3





PP/11/3352 / WVA.

# No 9 PHENE STREET, LONDON SW3 5NY

## SITE PLAN

**TREVOR LAMPP ARCHITECTS**  
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 99 knatchbull road  
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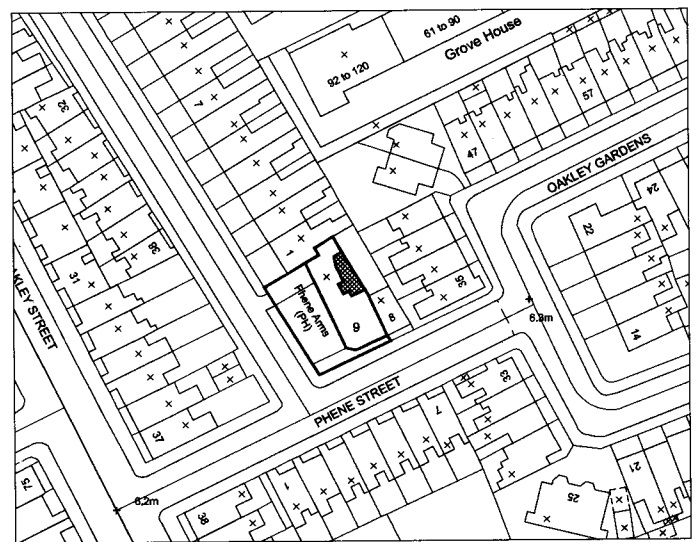
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**RAB PENSION TRUST**

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- Do not scale off this drawing, use figured dimensions only. All dimensions and levels to be checked on site and Trevor Lamm Architects to be notified of any discrepancies immediately.
  - Issued only for the purposes indicated.
  - This drawing is to be read in conjunction with consultation drawings and specifications.
  - This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or used as a free plan without our written consent.
  - The main contractor should be conversant with the statutory obligations under the CDM regulations.
  - The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES



*reduced size copy*

**PROPOSED** **EXISTING**

- |                                   |                                   |
|-----------------------------------|-----------------------------------|
| 822 (20) 001 GROUND FLOOR PLAN    | 822 (00) 001 SITE PLAN            |
| 822 (20) 002 FIRST FLOOR PLAN     | 822 (02) 001 GROUND FLOOR PLAN    |
| 822 (20) 003 SECOND FLOOR PLAN    | 822 (02) 002 FIRST FLOOR PLAN     |
| 822 (20) 004 ROOF PLAN            | 822 (02) 003 SECOND FLOOR PLAN    |
| 822 (20) 005 LOWER GROUND FLOOR   | 822 (02) 005 ROOF PLAN            |
| 822 (20) 006 BASEMENT PLAN        | 822 (02) 006 BASEMENT PLAN        |
| 822 (20) 007 SUB-BASEMENT PLAN    |                                   |
| 822 (21) 002 SECTION B            | 822 (02) 008 SECTION B            |
| 822 (21) 003 SECTION C            | 822 (02) 009 SECTION C            |
| 822 (21) 004 SECTION D            | 822 (02) 011 SOUTH WEST ELEVATION |
| 822 (21) 005 SOUTH EAST ELEVATION | 822 (02) 012 SOUTH EAST ELEVATION |

NO	TO	BY	DATE	DESCRIPTION	CHKD	APPD

ADDRESS  
**9 PHENE STREET  
 LONDON SW3 5NY**

TITLE	
STATUS	PLANNING
SCALE	1:500@A1
DATE	JULY 2011
PROJECT NO	822 (00) 001



SITE PLAN - 1:500 @ A1

*All received 19/01/11*



EXISTING TREE TO ADJACENT PROPERTY

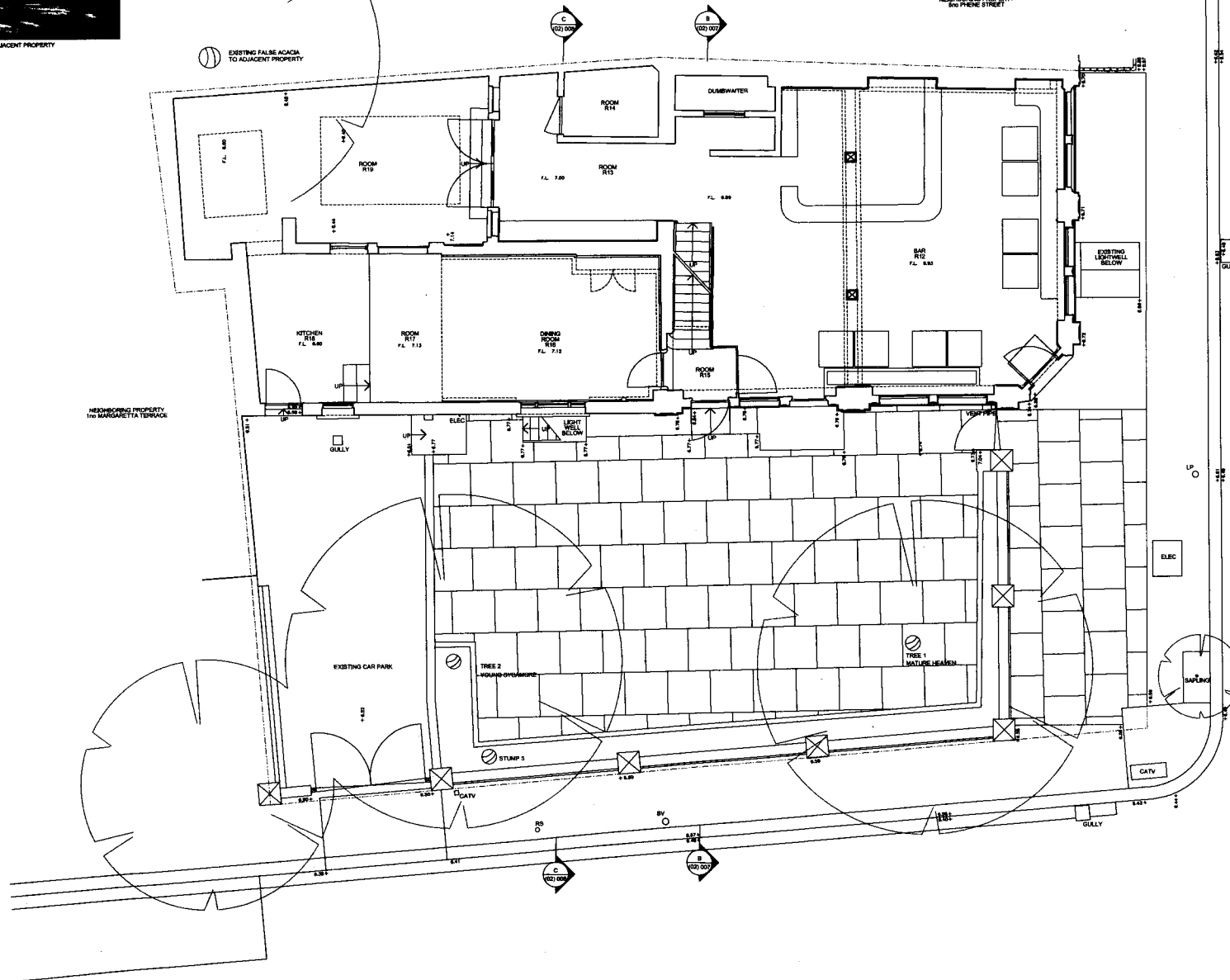
EXISTING FALSE ACACIA TO ADJACENT PROPERTY

NEIGHBORING PROPERTY 99 PHENE STREET

NEIGHBORING PROPERTY THE MARGARETTA TERRACE



EXISTING COVERED LIGHTWELL



TREVOR | LAFFY ARCHITECTS

geneva house  
99 Southchurch Road  
London SE5 8QU  
www.trevorstudio.co.uk  
T +44(0)20 7737 8181  
F +44(0)20 7328 6349

CLIENT

RAB PENSION TRUST

TREVOR LAFFY ARCHITECTS

1. Do not scale off the drawing, use figures dimensions only. All dimensions are to be checked on site. Contractor's measurements should be subject to primary record of all areas, elevations and sections by TLA.
2. Issues only for purposes indicated.
3. The drawing is to be used in conjunction with construction drawings and specifications before proceeding with work. All consultants involved to be referred to to ensure compliance with local and statutory building regulations and BS/EN/AS standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The work undertaken should be in accordance with the statutory obligations under the CDM regulations.
6. The drawings shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and notes prior to construction.

EXISTING

SPECIFIC NOTES:

PS 15.01.12	PLANNING ISSUE	RJ	DM
REV	DATE	DESCRIPTION	OWNR

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING GROUND  
FLOOR PLAN

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A1	CHECKED BY	KW
DATE	JUNE 2011	DRW	REV
PROJECT NO.	822 (02)	001	015



EXISTING GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAFFEY ARCHITECTS

genova house  
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F +44(0)20 7328 0349

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RAB PENSION TRUST

- TREVOR LAFFEY ARCHITECTS
1. Do not scale off this drawing, all figures are indicated. Only all dimensions and levels to be checked on site. Contractors are responsible for any omissions or errors. It is the responsibility of the contractor to verify that all dimensions and levels are correct.
  2. Issues only for purpose indicated.
  3. The drawing is to be read in conjunction with all other drawings and specifications. It is the responsibility of the contractor to ensure that all work is carried out in accordance with the specifications and drawings.
  4. The drawing is complete and in accordance with the contract. It is the responsibility of the contractor to ensure that all work is carried out in accordance with the specifications and drawings.
  5. The contractor should be consulted with the architect regarding any variations to the contract.
  6. The drawings shown on this drawing have been based on the measurements provided by an independent survey company.
  7. Samples to be provided by each contractor for TLA approval.
  8. TLA to approve all drawings and not prior to construction.

EXISTING

SPECIFIC NOTES

REV	DATE	DESCRIPTION	BY	CHK

PROJECT NO. 822 (02)

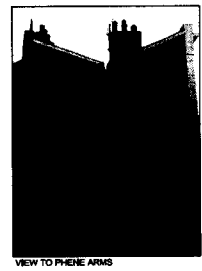
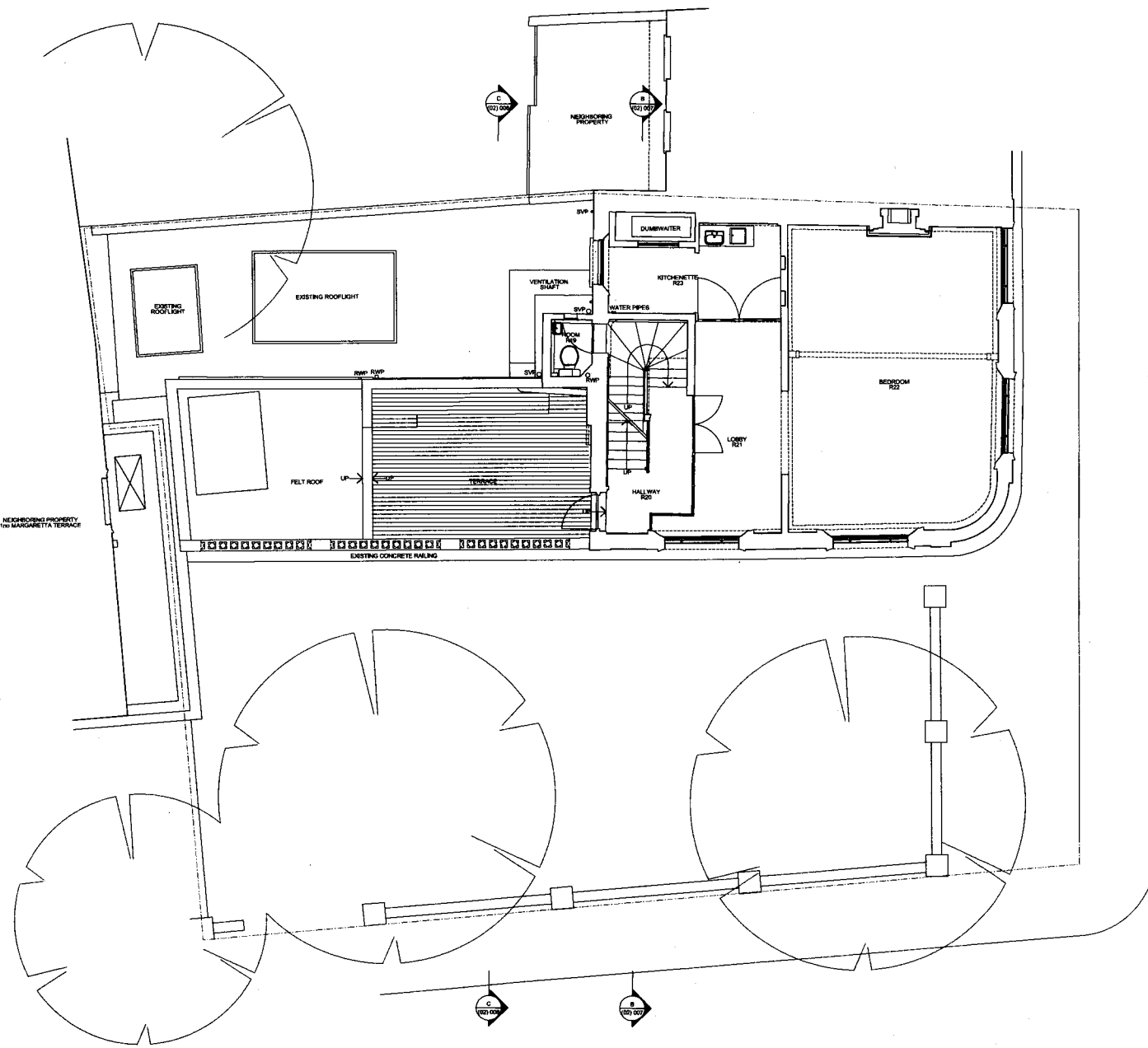
ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING FIRST FLOOR PLAN

STATUS  
PLANNING

SCALE  
1:50 @ A1 & 1:100 @ A3

DATE  
JUNE 2011



NEIGHBOURING PROPERTY  
120 MARGARETTA TERRACE



EXISTING FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAMB ARCHITECTS

generative house  
59 leachfield road  
london SE5 8QU  
design@trevorlamb.co.uk  
www.trevorlamb.co.uk  
T +44(0)20 7737 8181  
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CLIENT  
RAB PENSION TRUST

TREVOR LAMB ARCHITECTS

1. Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on site. Contractor's error and/or omission is not subject to liability. Report all errors, discrepancies and omissions to TLA.
2. Issued only for purpose indicated.
3. This drawing is to be used in conjunction with consultants drawings and specifications forming part of the contract. All consultants information to be referred to, to ensure compliance with local and statutory building regulations and other relevant standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be conversant with the necessary regulations under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and note prior to construction.

EXISTING

EXISTING NOTES

REV	DATE	DESCRIPTION	BY	CHK

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING SECOND  
FLOOR PLAN

STATUS  
PLANNING

SCALE  
1:50 @ A1 & 1:100 @ A3

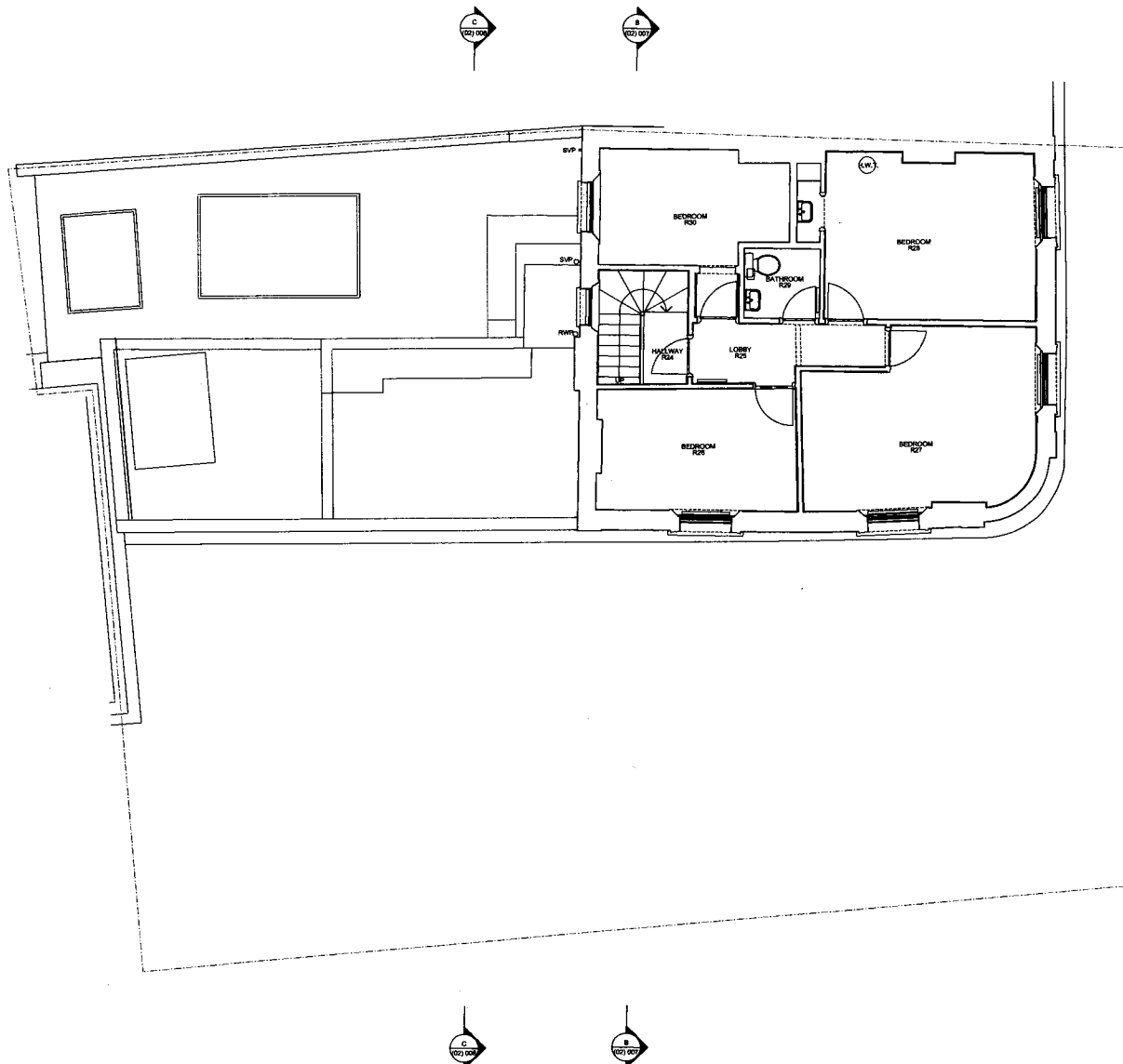
DATE  
JULY 2011

PROJECT NO.  
822 (02)

003

REV

PS



EXISTING SECOND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAFFEY ARCHITECTS

garners house  
99 hatchedwell road  
london SW5 9QU  
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T +44(0)20 7737 6161  
F +44(0)20 7326 0349

CLIENT  
RAB PENSION TRUST

TREVOR LAFFEY ARCHITECTS

1. Do not scale off this drawing, use figures wherever only. All dimensions and levels to be checked on site. Contractor under instruction is subject to provide report all survey discrepancies and variations to TLA.
2. Issued only for purpose indicated.
3. The drawing is to be used in conjunction with consultants drawings and specifications, being proceeding with works. All consultants information to be referred to, to ensure compliance with local and national building regulations and BRE/BS/UK standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be consulted with the necessary authorities under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Services to be provided by main contractor by TLA approval.
8. TLA to approve all drawings and notes prior to construction.

EXISTING

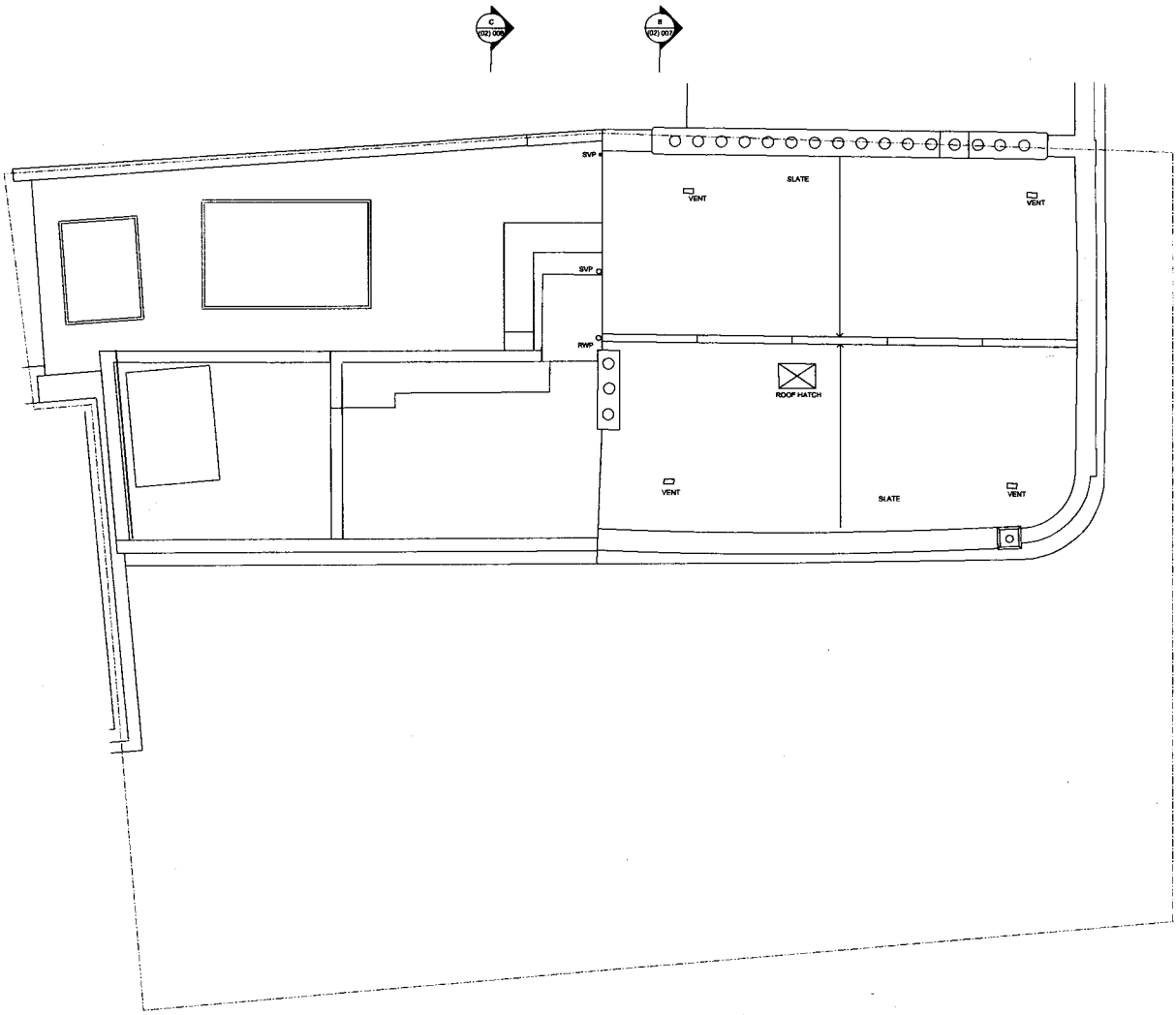
SPECIFIC NOTES:

PS	19.24.12	PLANNING ISSUE	RJ	RW
REV	DATE	DESCRIPTION	DRW	CHK

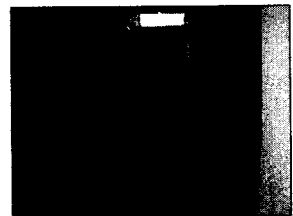
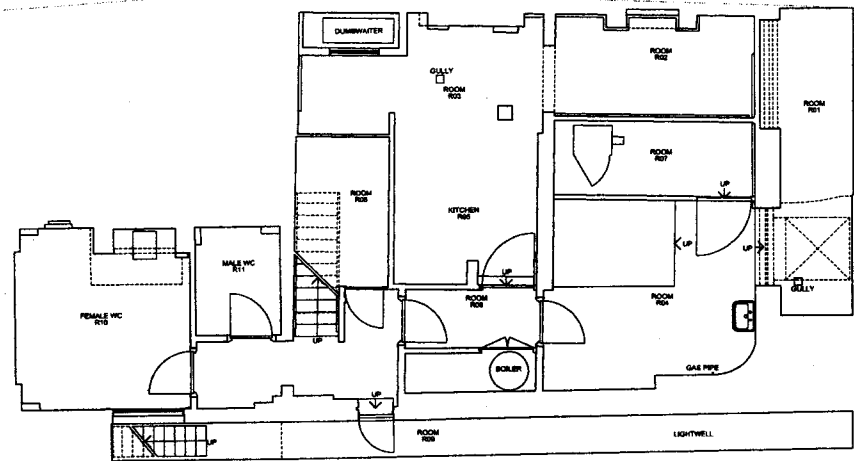
ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

TITLE  
EXISTING ROOF PLAN

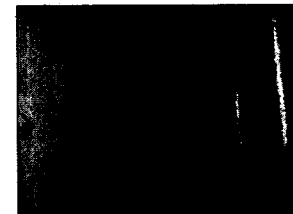
STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50@A1 & 1:100@A3	CHECKED BY	RW
DATE	JUNE 2011	DWG	REV
PROJECT NO.	022 (02)	005	PS



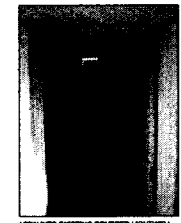
EXISTING ROOF PLAN - 1:50 @ A1 & 1:100 @ A3



VIEW TOWARDS STAIRS IN FRONT LIGHTWELL



VIEW INTO FRONT LIGHTWELL



VIEW INTO EXISTING COVERED LIGHTWELL



**TREVOR LAWRY ARCHITECTS**  
 remove house  
 89 bransford road  
 london SE5 8QU  
 tlaw@trevorlawry.co.uk  
 www.trevorlawry.co.uk  
 T +44(0)20 7737 6181  
 F +44(0)20 7326 0340

- CLIENT  
**RAB PENSION TRUST**
- TREVOR LAWRY ARCHITECTS
- Do not scale off this drawing, use figure dimensions only. All alterations and details to be checked on the Computer Aided Submittal System to be subject to general report of main dimensions and volumes in TLA.
  - Issued only for program indicated.
  - The drawings are to be used in conjunction with construction drawings and specifications before commencing any work. All construction shall be in accordance with current conditions of local and statutory building regulations and applicable standards.
  - The drawings are copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  - The main contractor should be responsible for any and all necessary applications under the CDM regulations.
  - The dimensions shown on this drawing have been taken as the measurements provided by the Subcontractor before enquiry.
  - Services to be provided by each contractor for TLA approval.
  - TLA is not responsible for design and will prior to construction.

**EXISTING**

SPECIFIC NOTES:

NO.	DATE	PLANNING SCALE	BY	CHK
REV	DATE	DESCRIPTION	BY	CHK
PROJECT				
9 PHENE STREET LONDON SW3 5NY				
TITLE				
EXISTING BASEMENT FLOOR PLAN				
STATUS	PLANNING	DESIGNED BY	THD	
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW	
DATE	JUNE 2011	NO.	006	REV
PROJECT NO.	822 (02)	NO.	006	REV



EXISTING BASEMENT FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAMB ARCHITECTS

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CLIENT  
RAB PENSION TRUST

- TREVOR LAMB ARCHITECTS
1. Do not scale off this drawing, use digital dimensions only. All dimensions and levels to be checked on site. Contractor and other subcontractors are obliged to promptly report all errors, omissions and omissions to TLA.
  2. Based only for purpose indicated.
  3. The drawing is to be used in conjunction with: conditions of contract and specifications before proceeding with work. All structural information is to be checked to ensure compliance with local and industry building regulations and Building Act standards.
  4. This drawing is copyright and sale property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be conversant with the statutory obligations under the CDM regulations.
  6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
  7. Samples to be provided by main contractor for TLA approval.
  8. TLA to approve all drawings and notes prior to construction.

EXISTING

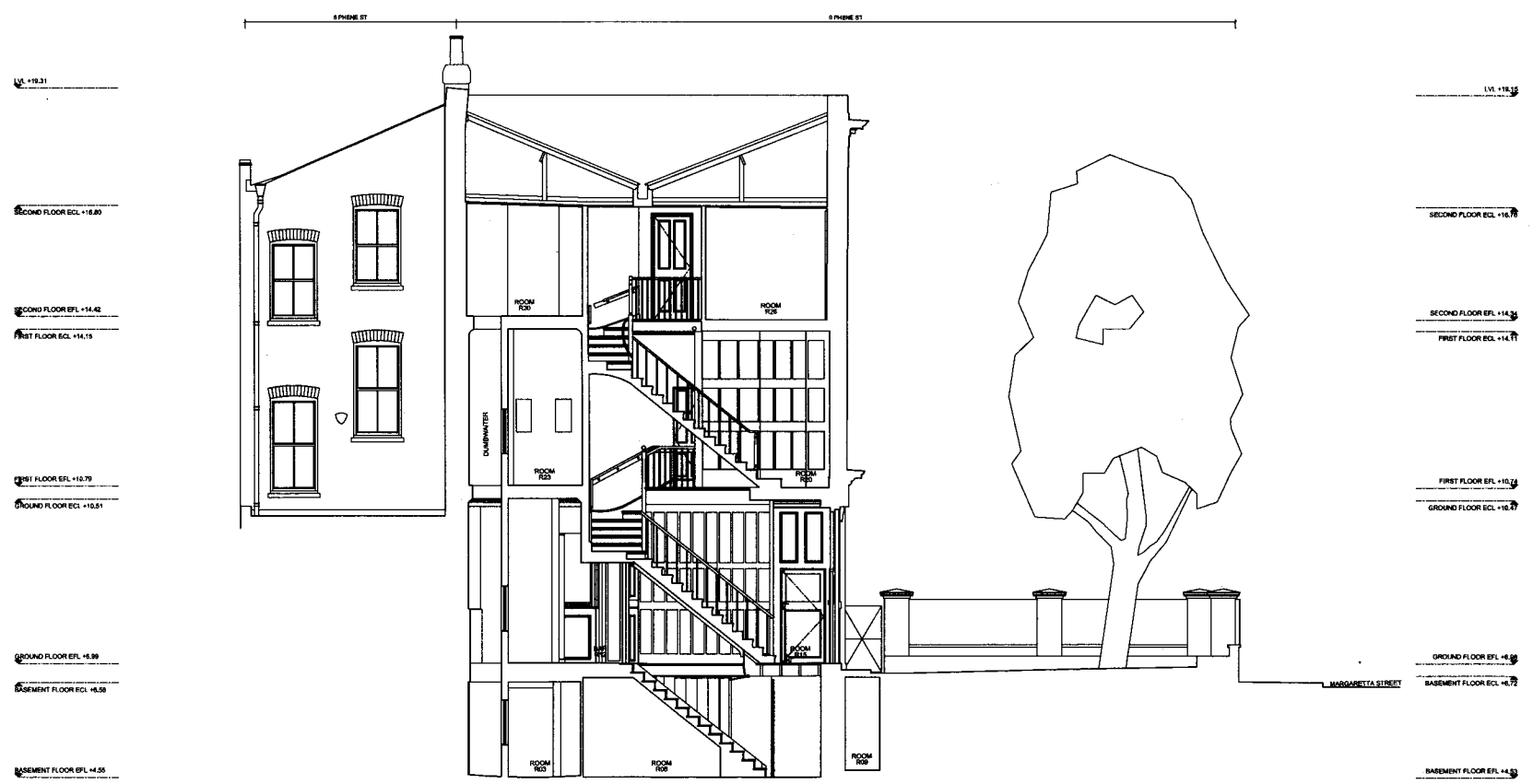
EXISTING HOTEL

PS	16.01.12	PLANNING B004	RJ	DM
REV	DATE	DESCRIPTION	DMW	CHG

ADDRESS  
9 PHENE STREET  
LONDON SW3 5NY

EXISTING SECTION B

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW
DATE	JUNE 2011	DATE	
PROJECT NO.	822 (02)	NO.	007



EXISTING SECTION B - 1:50 @ A1 & 1:100 @ A3

CLIENT  
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TREVOR | LANIFF ARCHITECTS

1. Do not scale off this drawing, and do not reproduce any part of this drawing without the written consent of the architect.
2. The drawing is to be used in connection with the contract for the design of the building and is not to be used for any other purpose without the written consent of the architect.
3. The drawing is to be used in connection with the contract for the design of the building and is not to be used for any other purpose without the written consent of the architect.
4. The drawing is to be used in connection with the contract for the design of the building and is not to be used for any other purpose without the written consent of the architect.
5. The drawing is to be used in connection with the contract for the design of the building and is not to be used for any other purpose without the written consent of the architect.
6. The drawing is to be used in connection with the contract for the design of the building and is not to be used for any other purpose without the written consent of the architect.
7. The drawing is to be used in connection with the contract for the design of the building and is not to be used for any other purpose without the written consent of the architect.
8. The drawing is to be used in connection with the contract for the design of the building and is not to be used for any other purpose without the written consent of the architect.

**EXISTING**

SPECIFIC NOTES:



EXISTING SECTION C - 1:50 @ A1 & 1:100 @ A3

PS	19.01.12	PLANNING BOOK	AL	JW
REV	DATE	DESCRIPTION	DATE	CHK
ADDRESS				
PHENE ARMS LONDON SW3 5NY				
TITLE				
EXISTING SECTION C				
STATUS	PLANNING	DOCUMENT	THD	
SCALE	1:50 @ A1 & 1:100 @ A3	CREATED BY	RW	
DATE	JULY 2011	CHK	REV	PS
PROJECT NO.	522	(02)	008	PS





EXISTING SOUTH WEST ELEVATION - 1:50 @ A1 & 1:100 @ A3

**TREVOR | LAMFY ARCHITECTS**  
 gemma house  
 88 marshfield road  
 london SE5 8GU  
 www.trevalamfy.co.uk  
 design@trevalamfy.co.uk  
 T +44(0)20 7737 8181  
 F +44(0)20 7326 0348

CLIENT  
**RAB PENSION TRUST**

- TREVOR LAMFY ARCHITECTS, LTD
1. Do not scale off this drawing, use formal dimensions only. All dimensions and levels to be checked on site and these shall be taken to be correct for all purposes.
  2. Intend only for purposes indicated.
  3. This drawing is to be read in conjunction with any conditions, drawings and specifications.
  4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The sub-contractor shall be responsible for compliance with the statutory regulations under the CDM regulations.
  6. The drawings shown on this drawing shall have been based on the measurements provided by an independent survey company.

EXISTING



SPECIFIC NOTES

NO.	REVISION	PLANNING REFERENCE	DATE	DESCRIPTION	BY	CHKD
ADDRESS <b>9 PHENE STREET          LONDON SW3 5NY</b>						
TITLE <b>EXISTING          SOUTH WEST ELEVATION</b>						
STATUS	PLANNING	DESIGNED BY	MVA			
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW			
DATE	JULY 2011	PROJECT NO.	822	(02)	REV	P5



TREVOR LACEY ARCHITECTS

genera house  
99 KINGSBURY ROAD  
LONDON SE5 8QU  
design@seehouse.co.uk  
www.seehouse.co.uk  
T +44(0)20 7737 6181  
F +44(0)20 7326 0349

CLIENT: RAB PENSION TRUST

- TREVOR LACEY ARCHITECTS LTD
1. Do not make of this drawing, and typed drawings or its dimensions and text to be changed or altered without the written consent of Trevor Lacey Architects to be notified of any discrepancies immediately.
  2. Issued only for purpose indicated.
  3. The drawing is to be used in conjunction with consultants drawings and specifications.
  4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be conversant with the statutory obligations under the CDM regulations.
  6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

EXISTING

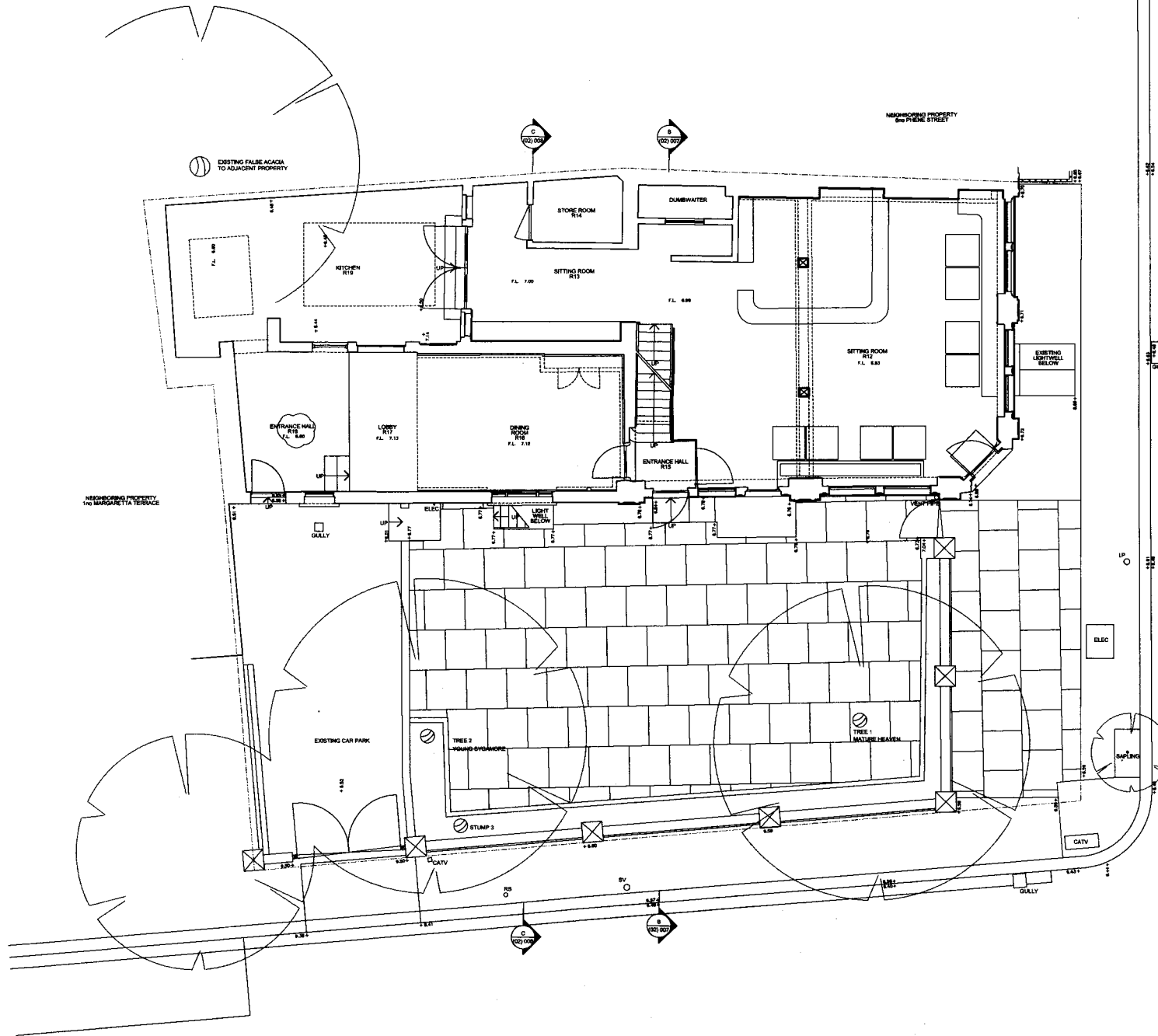


SPECIFIC NOTES:



EXISTING SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3

PL	18.01.12	PLANNING	DALE	RJ	JM
REV	DATE	DESCRIPTION		OWN	CHK
ADDRESS					
9 PHENE STREET LONDON SW3 5NY					
TITLE					
EXISTING SOUTH EAST ELEVATION					
STATUS	PLANNING	COUNTRY			
SCALE	1:50 @ A1 & 1:100 @ A3	DRAWN BY	KW		
DATE	JUNE 2011	CHK	REV		
PROJECT	822	(02)	012	PS	



PROPOSED GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

**TREVOR LAFF ARCHITECTS**  
 geneva house  
 99 leathwell road  
 london SE15 6QU  
 design@tastudio.co.uk  
 www.tastudio.co.uk  
 T +44(0)20 7737 6181  
 F +44(0)20 7326 0349

- CLIENT: **RAB PENSION TRUST**
- TREVOR LAFF ARCHITECTS
1. Do not make of this drawing, nor reproduce it, without the written consent of the architect. All dimensions and levels to be checked on site. The architect and subcontractors accept no liability for any errors or omissions in this drawing.
  2. Noted only for purposes indicated.
  3. The drawing is to be used in conjunction with complete drawings and specifications before proceeding with work. All conditions and details to be referred to in the contract documents and any amendments thereto. The architect and subcontractors accept no liability for any errors or omissions in this drawing.
  4. This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
  5. The main contractor should be consulted with the architect and subcontractors under the CDM regulations.
  6. The dimensions shown on this drawing have been taken from the measurements provided by an independent survey company.
  7. Samples to be provided by main contractor for TLA approval.
  8. TLA to approve all drawings and notes prior to construction.

**PROPOSED**

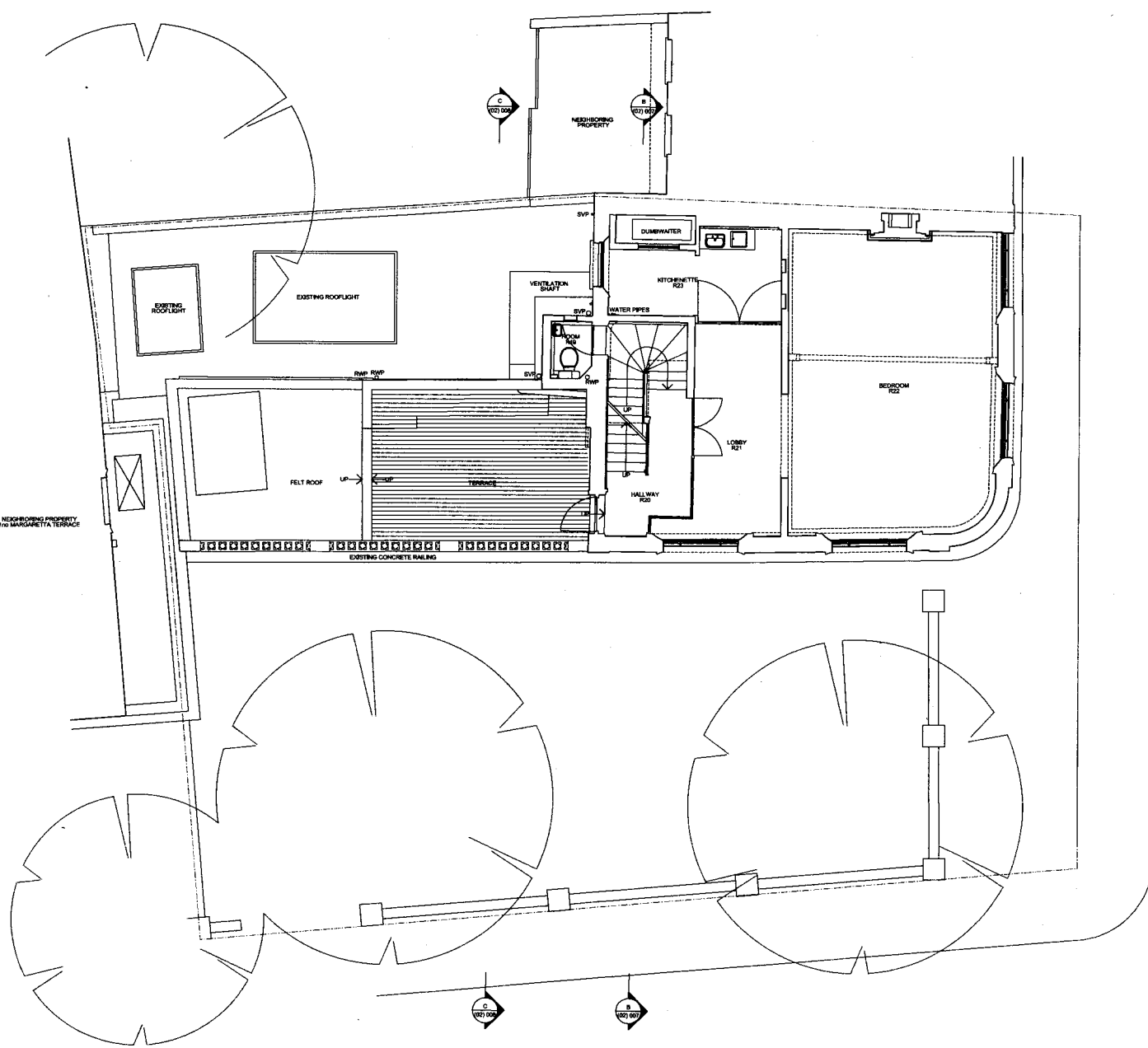
SPECIFIC NOTES

PS	TRAIL 12	PLANNING ISSUE	RJ	10/11
REV	DATE	DESCRIPTION	CHKD	CHKD

ADDRESS  
**9 PHENE STREET  
 LONDON SW3 5NY**

TITLE  
**PROPOSED GROUND  
 FLOOR PLAN**

STATUS	PLANNING	APPROVED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A1	CHECKED BY	KW
DATE	JUNE 2011	DATE	
PROJECT NO.	822 (20)	REV	001 PS



**TREVOR LAWFF ARCHITECTS**  
 geneva house  
 99 knight's hall road  
 london SE15 8QU  
 design@trevorlawff.co.uk  
 www.trevorlawff.co.uk  
 T +44(0)20 7737 8181  
 F +44(0)20 7326 0349

- CLIENT: **RAB PENSION TRUST**
- TREVOR LAWFF ARCHITECTS
- On the basis of this drawing, the Client acknowledges that it is responsible for obtaining all necessary permissions and consents for the proposed works. The Client shall be responsible for obtaining all necessary permissions and consents for the proposed works.
  - These drawings are for the Client's use only and are not to be used for any other purpose without the written consent of Trevor Lawff Architects.
  - The Client is to be held responsible for any errors, omissions, or inaccuracies in the drawings. Trevor Lawff Architects shall not be held responsible for any such errors, omissions, or inaccuracies.
  - The Client is to be held responsible for any changes to the drawings. Trevor Lawff Architects shall not be held responsible for any such changes.
  - The Client is to be held responsible for any costs incurred in connection with the proposed works. Trevor Lawff Architects shall not be held responsible for any such costs.
  - The drawings shown on this drawing have been based on the measurements provided by an independent survey company.
  - Drawings to be provided by the contractor for TLA approval.
  - TLA to approve all drawings and notes prior to construction.

**PROPOSED**

SPECIFIC NOTES:

PS	18.01.12	PLANNING BLUE	RJ	JK
REV	DATE	DESCRIPTION	DWG	CD
ADDRESS				
9 PHENE STREET LONDON SW3 5NY				
TITLE				
PROPOSED FIRST FLOOR PLAN				
EXTENT	PLANNING	DESIGNED BY	THD	
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW	
DATE	JUNE 2011	DWG	REV	PS
PROJECT	B22	(20)	002	



PROPOSED FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

