



TREVOR | LAWRY ARCHITECTS

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CLIENT
RAB PENSION TRUST

- TREVOR LAWRY ARCHITECTS
- Do not scale all drawings, use figures wherever applicable and dimensions and levels as shown on site. Consultant errors and omissions shall be the responsibility of the client. Consultant shall not be liable for any errors or omissions on the part of the client or any other party.
 - Noted only for purposes indicated.
 - This drawing is to be used in accordance with the contract documents and specifications. It is not to be used for any other purpose without the written consent of the architect.
 - This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or for any purpose without the written consent of the architect.
 - The architect shall be responsible for the design and construction of the building in accordance with the contract documents and specifications.
 - Nothing is to be construed as an approval or endorsement by the architect of any other party's work.
 - TLA is approved as a contractor for RAB approval.

PROPOSED

PROPOSAL NOTES:

NO.	DATE	DESCRIPTION	BY	CHKD
1		PRELIMINARY SUBMITTED TO RAB PLANNING	RJ	RE
2		PRELIMINARY SUBMITTED TO ARCHITECTURAL PANEL	RJ	RE
3		PRELIMINARY SUBMITTED TO RAB PLANNING	RJ	RE
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9 PHENE STREET
LONDON SW3 5NY

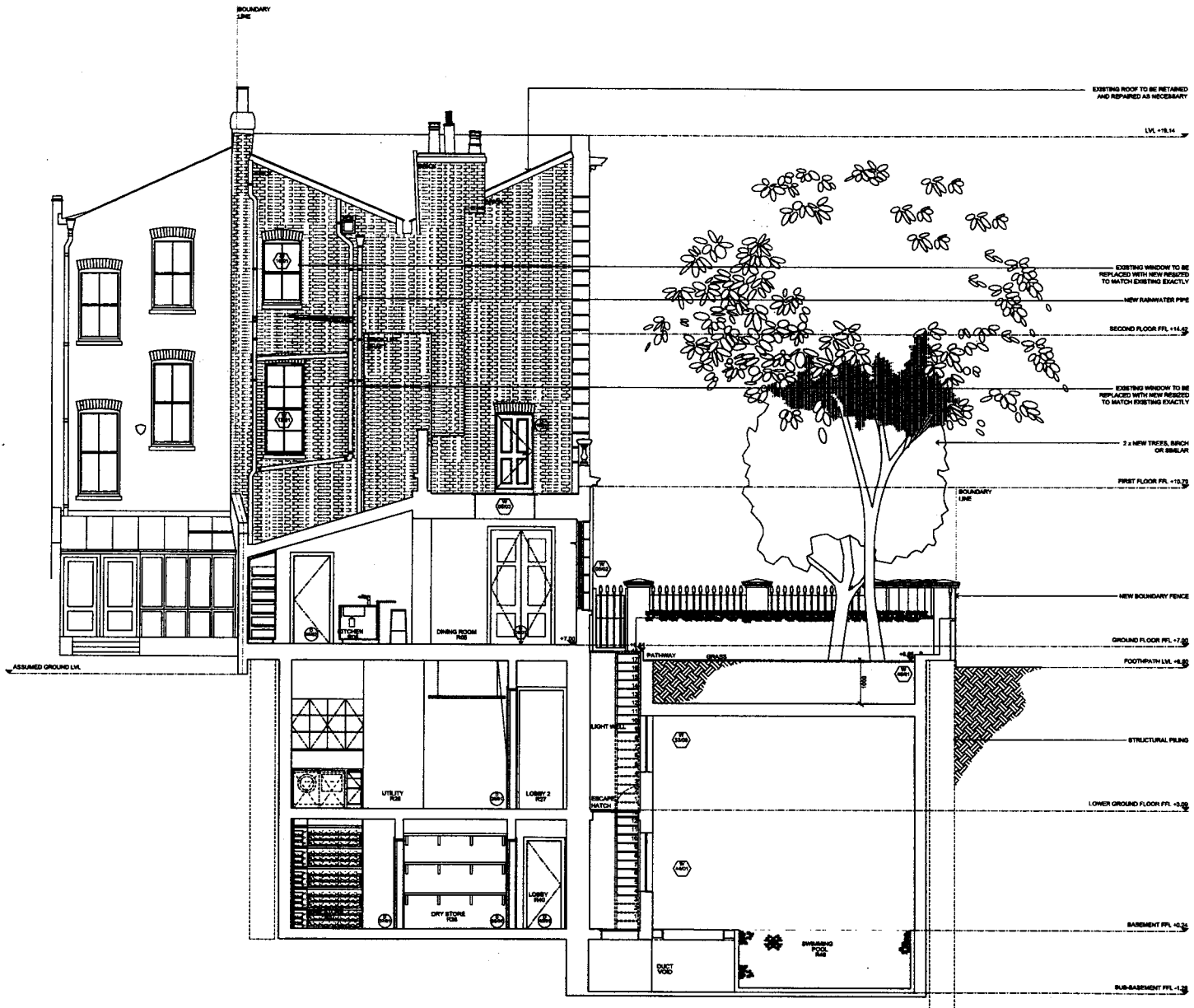
PROPOSED SECTION CC

DATE	PLANNING	DESIGNED BY	RJ
SCALE	1:50 @ A1 & 1:100 @ A3	DRAWN BY	RJ
DATE	FEBRUARY 2012	CHECKED BY	RJ
PROJECT NO.	822 (21)	DATE	003 07

PROPOSED SECTION CC - SCALE 1:50 @ A1 & 1:100 @ A3



EXISTING WINDOWS





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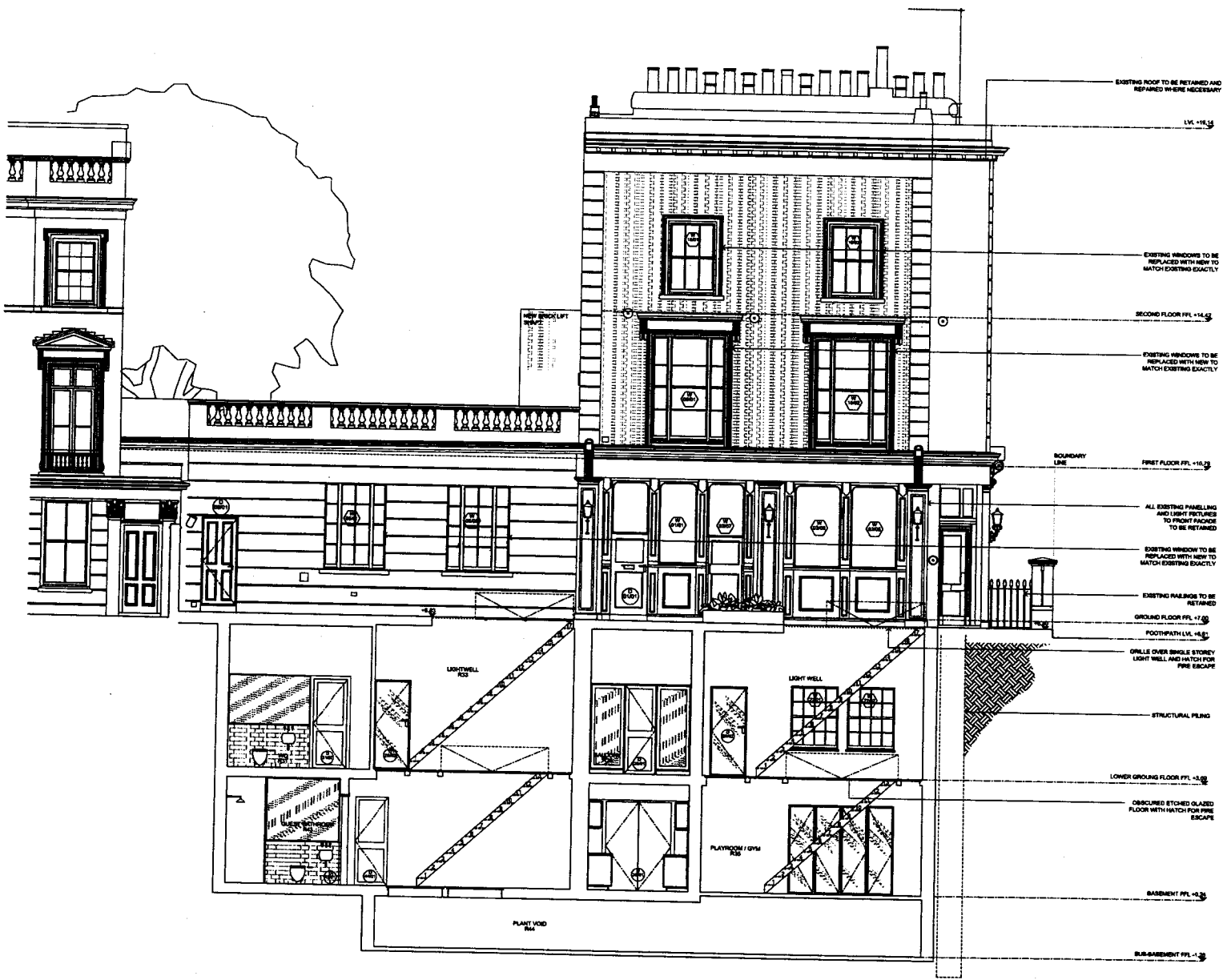
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1. Do not make any alterations, nor figure dimensions, until all dimensions and levels in this drawing are checked and confirmed by the contractor under supervision of the architect to ensure compliance with local and national building regulations and statutory requirements.
2. Issues only for approved tender.
3. The drawing is to be used in connection with construction drawings and specifications before proceeding with work. All dimensions and levels in this drawing are subject to confirmation by the contractor under supervision of the architect to ensure compliance with local and national building regulations and statutory requirements.
4. The drawing is copyright and with consent of TLA and any use or reproduction without the written consent of TLA is prohibited.
5. The architect shall be responsible for all necessary applications under the CDM regulations.
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PROPOSED

Scale: 1:50 @ A1 & 1:100 @ A3



PROPOSED SECTION DD - SCALE 1:50 @ A1 & 1:100 @ A3

NO.	DATE	DESCRIPTION	BY	CHKD

9 RHENE STREET
LONDON SW3 5NY

PROPOSED SECTION DD

STATUS	PLANNING	ISSUED BY	RJ
SCALE	1:50 @ A1 & 1:100 @ A3	DATE	DECEMBER 2011
DATE	DECEMBER 2011	PROJECT NO.	004
PROJECT NO.	822 (21)	REV	004



PROPOSED SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3



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1. Do not scale off this drawing, use printed dimensions only. All dimensions are to be in metric unless otherwise stated. These notes are to be read in conjunction with the drawings.
 2. Issues only for projects indicated.
 3. This drawing is to be used in conjunction with the contract documents and specifications.
 4. This drawing is the property of TLA and may not be copied, altered or reproduced in any way or form in a third party without our written consent.
 5. The work undertaken should be in accordance with the statutory regulations under the CDM regulations.
 6. The drawings shown on this drawing have been taken as the requirements provided for an independent survey company.

EXISTING



SPECIFIC NOTES:

NO	DATE	PLANNING ISSUE	BY	APP

9 PHENE STREET
 LONDON SW3 5NY

TITLE
 PROPOSED
 SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY
SCALE	1:50 @ A1	DESIGNED BY RLJ
DATE	DECEMBER 2011	CHECKED BY LW
PROJECT	822 (21)	DATE 005



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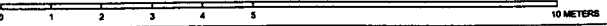
- TREVOR LAMPY ARCHITECTS
- Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on site. Contractor under subcontractor liability is subject to a general report of errors/omissions and omissions in R/A.
 - Issued only for parties indicated.
 - The drawing is to be used in conjunction with contract documents and specifications unless otherwise stated. All work shall be carried out in accordance with the contract documents and specifications and shall be subject to the supervision and control of the architect.
 - This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or stored in a data base without our written consent.
 - The work indicated should be undertaken with the necessary attention to the listed specifications.
 - The dimensions shown on this drawing have been based on the measurements provided by an independent surveyor.
 - Approval to be provided by each contractor for R/A approval.
 - TLA is responsible for drawings and shall plan to coordinate.

PROPOSED

Scale: 1:50 @ A1 & 1:100 @ A3



PROPOSED SOUTH WEST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3



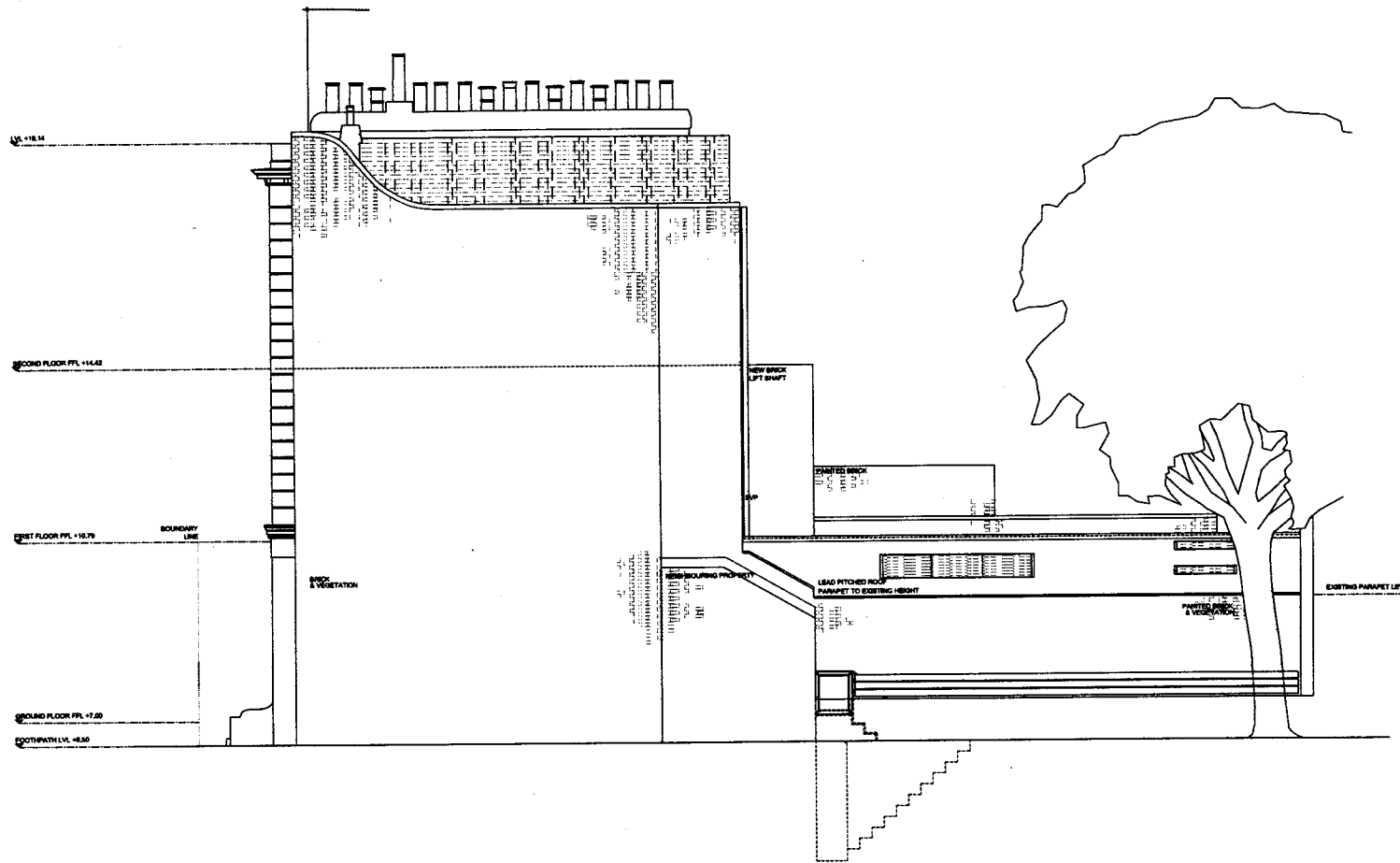
NO.	DATE	PLANNING ISSUE	BY	CHKD

PROJECT NO. 622 (21)

9 PENE STREET LONDON SW3 5NY

PROPOSED SOUTH WEST ELEVATION

STATUS	PLANNING	DESIGNED BY	RLJ
SCALE	1:50 @ A1 & 1:100 @ A3	DRAWN BY	
DATE	DECEMBER 2011	CHECKED BY	
PROJECT NO.	622 (21)	DATE	008



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1. Do not scale off this drawing, and ignore dimensions only. All dimensions and levels to be checked on site. Customer and/or subcontractor number's subject to a separate issue of correspondence and variations to IFLA.
 2. Accuracy only for purposes indicated.
 3. This drawing is to be used in conjunction with appropriate drawings and specifications before proceeding with any work. All workmanship to be in accordance with current regulations with local and statutory building regulations and fire safety standards.
 4. This drawing is copyright and sale/purchase of IFLA and may not be copied, altered or reproduced in any way or format by a third party without our written consent.
 5. The main contractor should be consulted with the necessary obligations under the CDM regulations.
 6. The dimensions shown on this drawing have been taken as the measurements provided by an independent surveyor.
 7. Examples to be provided by each contractor for IFLA approval.
 8. IFLA to approve all drawings and make prior to the location.

PROPOSED

Revised Issue:

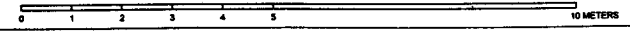
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9 PHENE STREET
 LONDON SW3 5NY

TITLE
PROPOSED NORTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY	RL
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RL
DATE	FEBRUARY 2012	DATE	07
PROJECT	822 (21)	PROJECT	007

PROPOSED NORTH EAST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3





PROPOSED SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3

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- TREVOR LAMPP ARCHITECTS LTD
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 2. Issued only for purpose indicated.
 3. The drawing is to be used in conjunction with conditions, contract and specifications.
 4. This drawing is copyright of T.L.A. and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The main contractor should be consulted with the architect's obligation under the CDM regulations.
 6. The boundaries shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES:

REV	DATE	DESCRIPTION	OWN	CHK
PS	19/01/12	PLANNING ISSUE		

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
PROPOSED
SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY
SCALE	1:50 @ A1 & 1:100 @ A3	CHK'D BY
DATE	JUNE 2011	REV
PROJECT	822 (20)	012 PS



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1. Do not make any alterations, additions or omissions to the drawings or specifications without the written consent of the Architect. The Architect is not responsible for any errors or omissions in the drawings or specifications.
 2. The drawings are to be used for construction only. They are not to be used for any other purpose without the written consent of the Architect.
 3. The drawings are to be used in conjunction with the contract documents and specifications. The Architect is not responsible for any errors or omissions in the contract documents or specifications.
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PROPOSED

SPECIFIC NOTES



PROPOSED SECTION C - 1:50 @ A1 & 1:100 @ A3



NO	DATE	PLANNING	REV
001	01/07/11	PLANNING	THD
002	01/07/11	DESCRIPTION	RW
PHENE ARMS LONDON SW3 5NY			
TITLE PROPOSED SECTION C			
SCALE	DATE	DESIGNED BY	DRAWN BY
1:50 @ A1 & 1:100 @ A3	JULY 2011	RW	PS
NO	DATE	DESCRIPTION	REV
001	01/07/11	PLANNING	THD
002	01/07/11	DESCRIPTION	RW

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1. On no scale of this drawing, with Special dimensions only. All dimensions and levels to be checked on site and these levels are to be used as the basis of any construction immediately.
2. Issued only for purpose indicated.
3. This drawing is to be read in conjunction with consultation drawings and specifications.
4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The sub-contractor shall be concerned with the obligations undertaken under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES



9 PHENE ST

PS	18/11/12	PLANNING ISSUE		RJ	KW
REV	DATE	DESCRIPTION	[DWG]	CHK	

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
PROPOSED
SOUTH WEST ELEVATION

STATUS	PLANNING	DRAWN BY	ME1
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	LM
DATE	JULY 2011	REV	
PROJECT	822 (20)	011	PS

PP/11/3352/WEV A.

No 9 PHENE STREET, LONDON SW3 5NY

SITE PLAN

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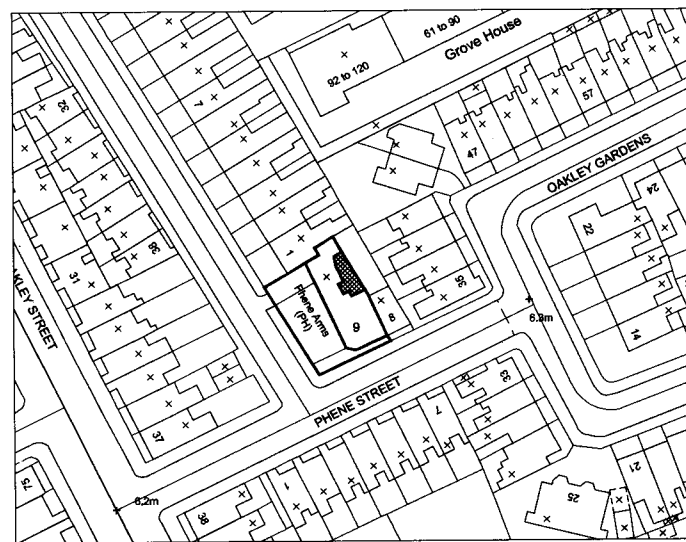
- TREVOR LAMPP ARCHITECTS LTD
- Do not scale off this drawing, use figured dimensions only. All dimensions and levels to be checked on site and Trevor Lamm Architects to be notified of any discrepancies immediately.
 - Issued only for the purposes indicated.
 - This drawing is to be read in conjunction with consultation drawings and specifications.
 - This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or used as a free plan without our written consent.
 - The main contractor should be conversant with the statutory obligations under the CDM regulations.
 - The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES

reduced size copy



PROPOSED

EXISTING

- 822 (20) 001 GROUND FLOOR PLAN
- 822 (20) 002 FIRST FLOOR PLAN
- 822 (20) 003 SECOND FLOOR PLAN
- 822 (20) 004 ROOF PLAN
- 822 (20) 005 LOWER GROUND FLOOR
- 822 (20) 006 BASEMENT PLAN
- 822 (20) 007 SUB-BASEMENT PLAN

- 822 (21) 002 SECTION B
- 822 (21) 003 SECTION C
- 822 (21) 004 SECTION D
- 822 (21) 005 SOUTH EAST ELEVATION

822 (00) 001 SITE PLAN

- 822 (02) 001 GROUND FLOOR PLAN
- 822 (02) 002 FIRST FLOOR PLAN
- 822 (02) 003 SECOND FLOOR PLAN
- 822 (02) 005 ROOF PLAN
- 822 (02) 006 BASEMENT PLAN
- 822 (02) 008 SECTION B
- 822 (02) 009 SECTION C
- 822 (02) 011 SOUTH WEST ELEVATION
- 822 (02) 012 SOUTH EAST ELEVATION



SITE PLAN - 1:500 @ A1

REV	NO	DATE	DESCRIPTION	BY	CHK
ADDRESS					
9 PHENE STREET LONDON SW3 5NY					
TITLE					
SITE PLAN					
STATUS	PLANNING	DRAWN BY	MH		
SCALE	1:500@A1	CHECKED BY	REV		
DATE	JULY 2011				
PROJECT NO	822 (00)				

All received 19/01/11



EXISTING TREE TO ADJACENT PROPERTY

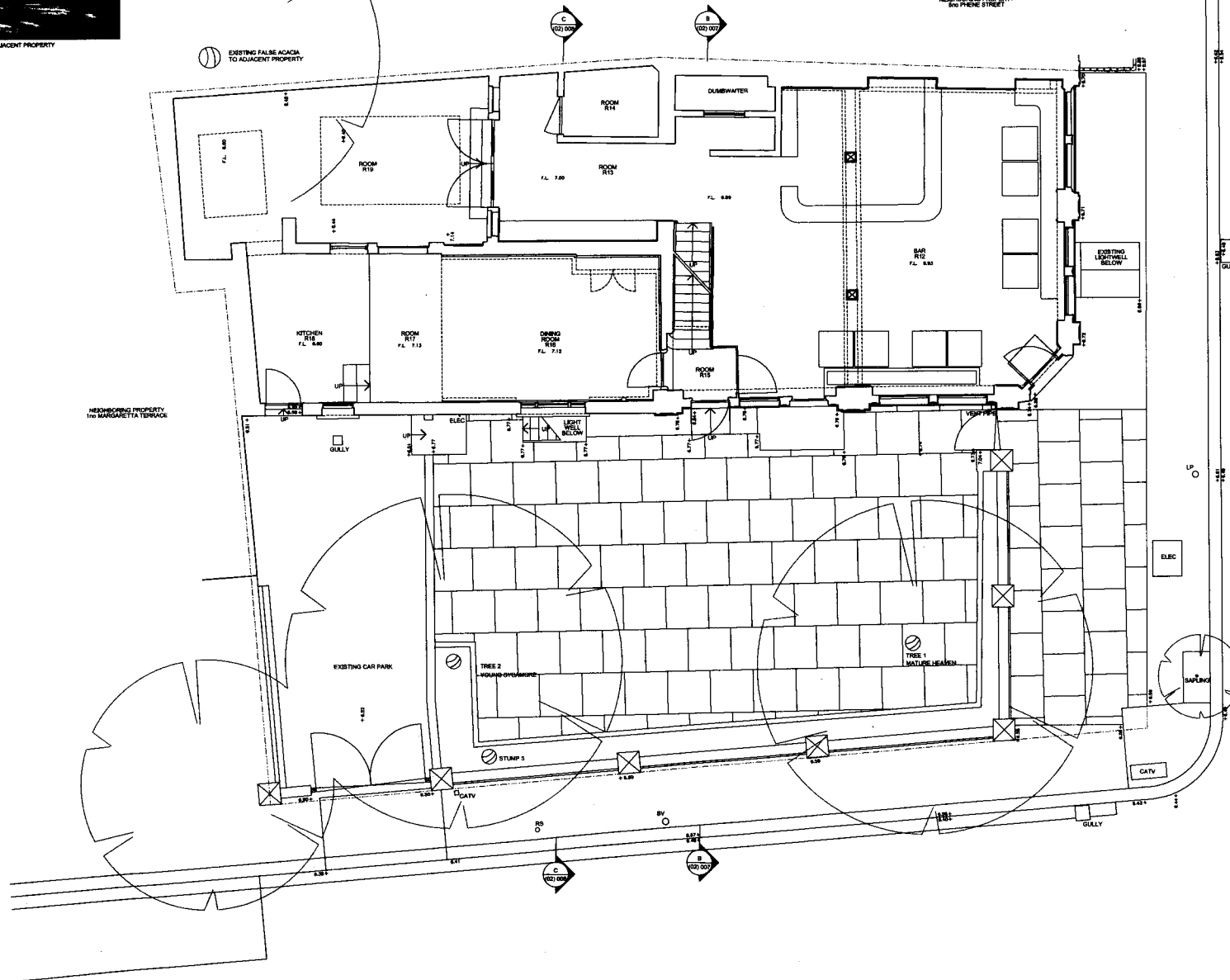
EXISTING FALSE ACACIA TO ADJACENT PROPERTY

NEIGHBORING PROPERTY 99 PHENE STREET

NEIGHBORING PROPERTY THE MARGARETTA TERRACE



EXISTING COVERED LIGHTWELL



TREVOR | LAFFY ARCHITECTS

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London SE5 8QU
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F +44(0)20 7328 6349

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TREVOR LAFFY ARCHITECTS

1. Do not scale off the drawing, use figures dimensions only. All dimensions are to be checked on site. Contractor's measurements should be subject to primary record of all areas, elevations and sections by TLA.
2. Issues only for purposes indicated.
3. The drawing is to be used in conjunction with construction drawings and specifications before proceeding with work. All consultants involved in the scheme to ensure compliance with local and statutory building regulations and BS/EN/AS standards.
4. This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The work undertaken should be in accordance with the statutory obligations under the CDM regulations.
6. The drawings shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and notes prior to construction.

EXISTING

SPECIFIC NOTES:

PS 15.01.12	PLANNING ISSUE	RJ	DM
REV	DATE	DESCRIPTION	OWNR

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING GROUND
FLOOR PLAN

STATUS	PLANNING	ISSUED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A1	CHECKED BY	KW
DATE	JUNE 2011	DRW	REV
PROJECT NO.	822 (02)	001	015



EXISTING GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



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F +44(0)20 7328 0349

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TREVOR LAFFEY ARCHITECTS

1. Do not scale off this drawing, all figures dimensions only. All dimensions and levels to be checked on site. Contractors are responsible for any omissions to comply with all structural, fire and other regulations and standards in TLA.
2. Issues only for purpose indicated.
3. The drawing is to be read in conjunction with consultants drawings and specifications unless otherwise stated. All work is to comply with the relevant building regulations and British Standards.
4. This drawing is complete and with priority of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be consulted with the relevant authorities under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and not prior to construction.

EXISTING

SPECIFIC NOTES

REV	DATE	DESCRIPTION	BY	CHK

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING FIRST
FLOOR PLAN

STATUS
PLANNING

SCALE
1:50 @ A1 & 1:100 @ A3

DATE
JUNE 2011

PROJECT NO.
822 (02)

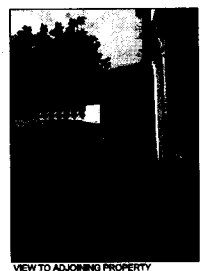
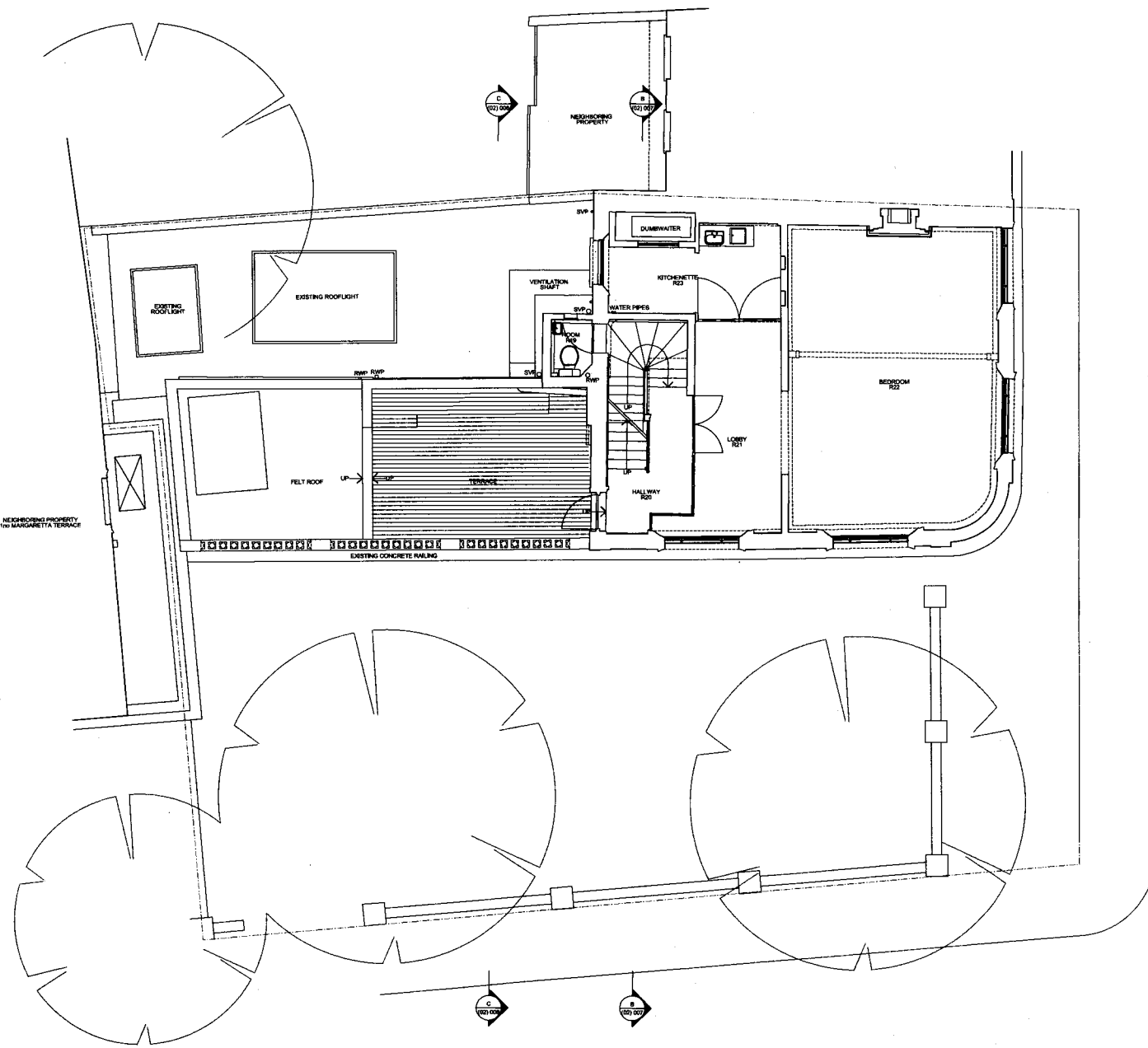
DESIGNED BY
THD

CHECKED BY
KW

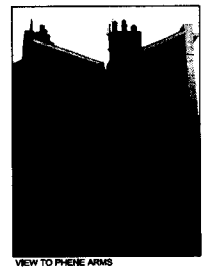
DRAWN BY
DWD

REV
002

PS



VIEW TO ADJOINING PROPERTY



VIEW TO PHENE ARMS

NEIGHBOURING PROPERTY
120 MARGARETTA TERRACE



EXISTING FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAMB ARCHITECTS

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2. Issued only for purposes indicated.
3. This drawing is to be used in conjunction with consultants drawings and specifications forming part of the contract. All consultants information to be referred to in structure compliance with local and statutory building regulations and other relevant standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed in a third party without our written consent.
5. The main contractor should be conversant with the necessary regulations under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and note prior to construction.

EXISTING

EXISTING NOTES

REV DATE DESCRIPTION

REV DATE DESCRIPTION

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING SECOND
FLOOR PLAN

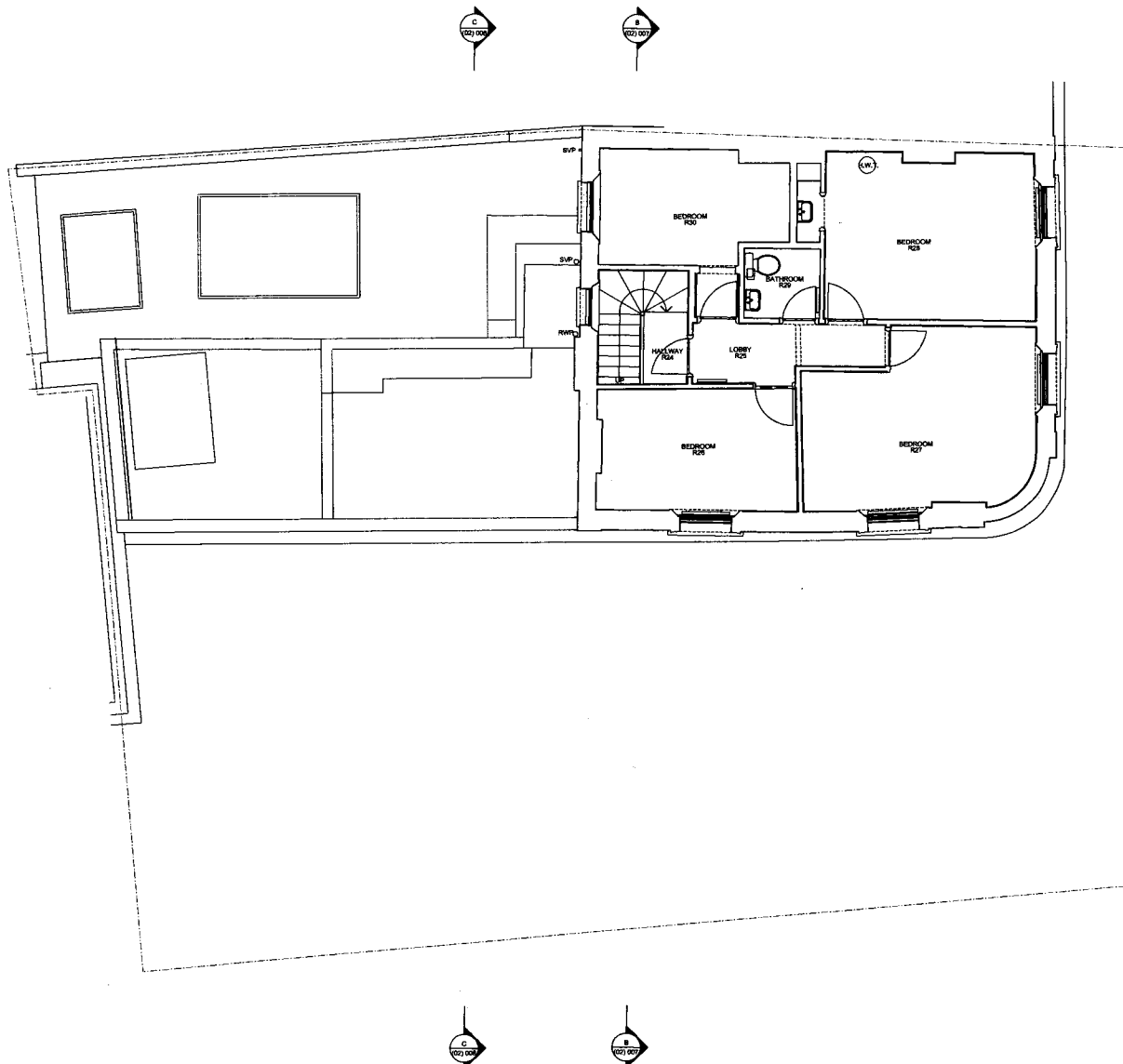
STATUS
PLANNING

SCALE
1:50 @ A1 & 1:100 @ A3

DATE
JULY 2011

PROJECT
B22 (02)

003



EXISTING SECOND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAFFEY ARCHITECTS

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london SE5 8QU
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2. Issued only for purpose indicated.
3. The drawing is to be used in conjunction with consultants drawings and specifications. Works proceeding with works. All consultants information to be referred to, to ensure compliance with local and national building regulations and BRE/BSI standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be consulted with the necessary authorities under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Services to be provided by main contractor by TLA approval.
8. TLA to approve all drawings and notes prior to construction.

EXISTING

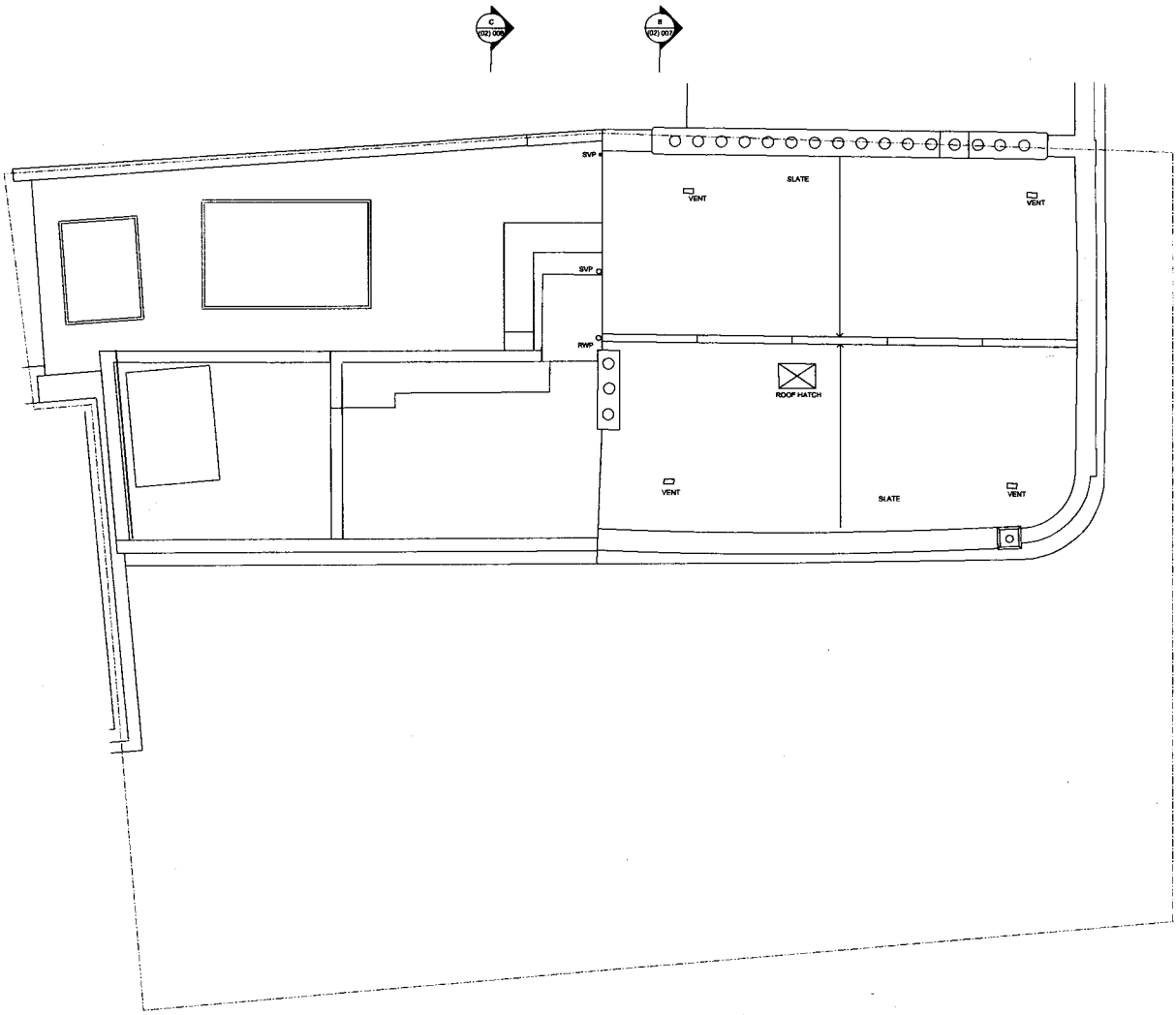
SPECIFIC NOTES:

PS	19/24/12	PLANNING ISSUE	RJ	RW
REV	DATE	DESCRIPTION	DRW	CHK

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

EXISTING ROOF PLAN

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50@A1 & 1:100@A3	CHECKED BY	RW
DATE	JUNE 2011	DWG NO	005
PROJECT NO	022 (02)	REV	PS



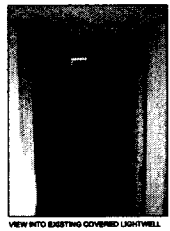
EXISTING ROOF PLAN - 1:50 @ A1 & 1:100 @ A3



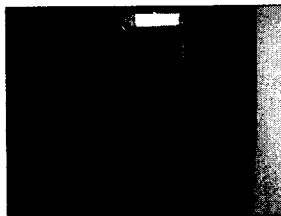
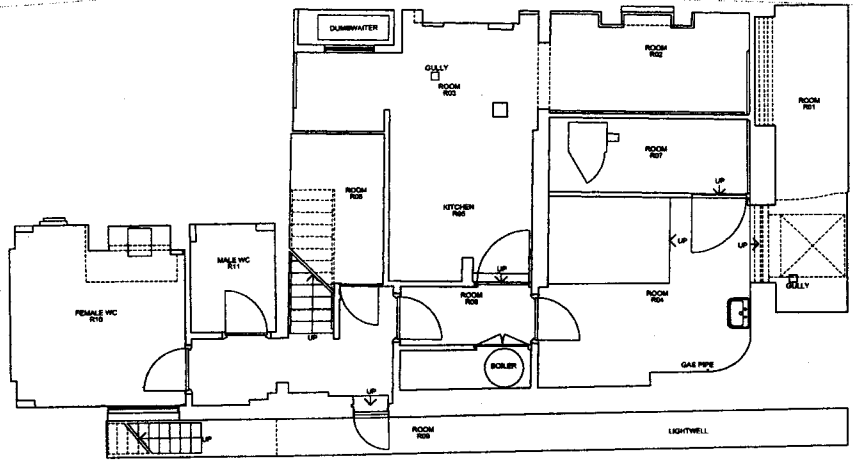
TREVOR LAWRY ARCHITECTS
 remove house
 89 bransford road
 london SE5 8QU
 tlaw@trevorlawry.co.uk
 www.trevorlawry.co.uk
 T +44(0)20 7737 6181
 F +44(0)20 7326 0340

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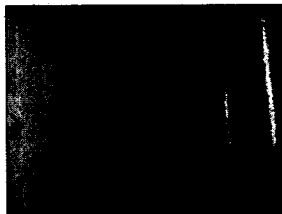
- TREVOR LAWRY ARCHITECTS
- Do not scale off this drawing, use figure dimensions only. All alterations and details to be checked on the Computer Aided Drafting (CAD) system to ensure compliance with local and statutory building regulations and technical standards.
 - Issued only for purposes indicated.
 - The drawings are to be used in conjunction with construction drawings and specifications before commencing work. No liability is accepted for any errors or omissions, whether or not they are caused by the client or any other party.
 - The drawings are copyright and any copying or reproduction in any way or for any purpose is prohibited without the written consent of Trevor Lawry Architects.
 - The work described should be approved in line with any relevant codes and standards.
 - The dimensions shown on this drawing have been taken as the measurements provided by the client or as otherwise stated.
 - Details to be provided by each contractor for TLA approval.
 - TLA is not responsible for design and construction.



VIEW INTO EXISTING COVERED LIGHTWELL



VIEW TOWARDS STAIRS IN FRONT LIGHTWELL



VIEW INTO FRONT LIGHTWELL

EXISTING

SPECIFIC NOTES:

NO.	DATE	PLANNING SCALE	BY	CHK

9 PHENE STREET
 LONDON SW3 5NY

EXISTING BASEMENT FLOOR PLAN

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RLW
DATE	JUNE 2011	NO.	006
PROJECT NO.	822 (02)	REV.	PS



EXISTING BASEMENT FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



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grevna house
89 knatchbull road
london SE20 9QU
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 2. Based only for purpose indicated.
 3. The drawing is to be used in conjunction with: conditions of contract and specifications before proceeding with work. All structural information is to be checked to ensure compliance with local and industry building regulations and Building Act standards.
 4. This drawing is copyright and sale property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The main contractor should be conversant with the statutory obligations under the CDM regulations.
 6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
 7. Samples to be provided by main contractor for TLA approval.
 8. TLA to approve all drawings and notes prior to construction.

EXISTING

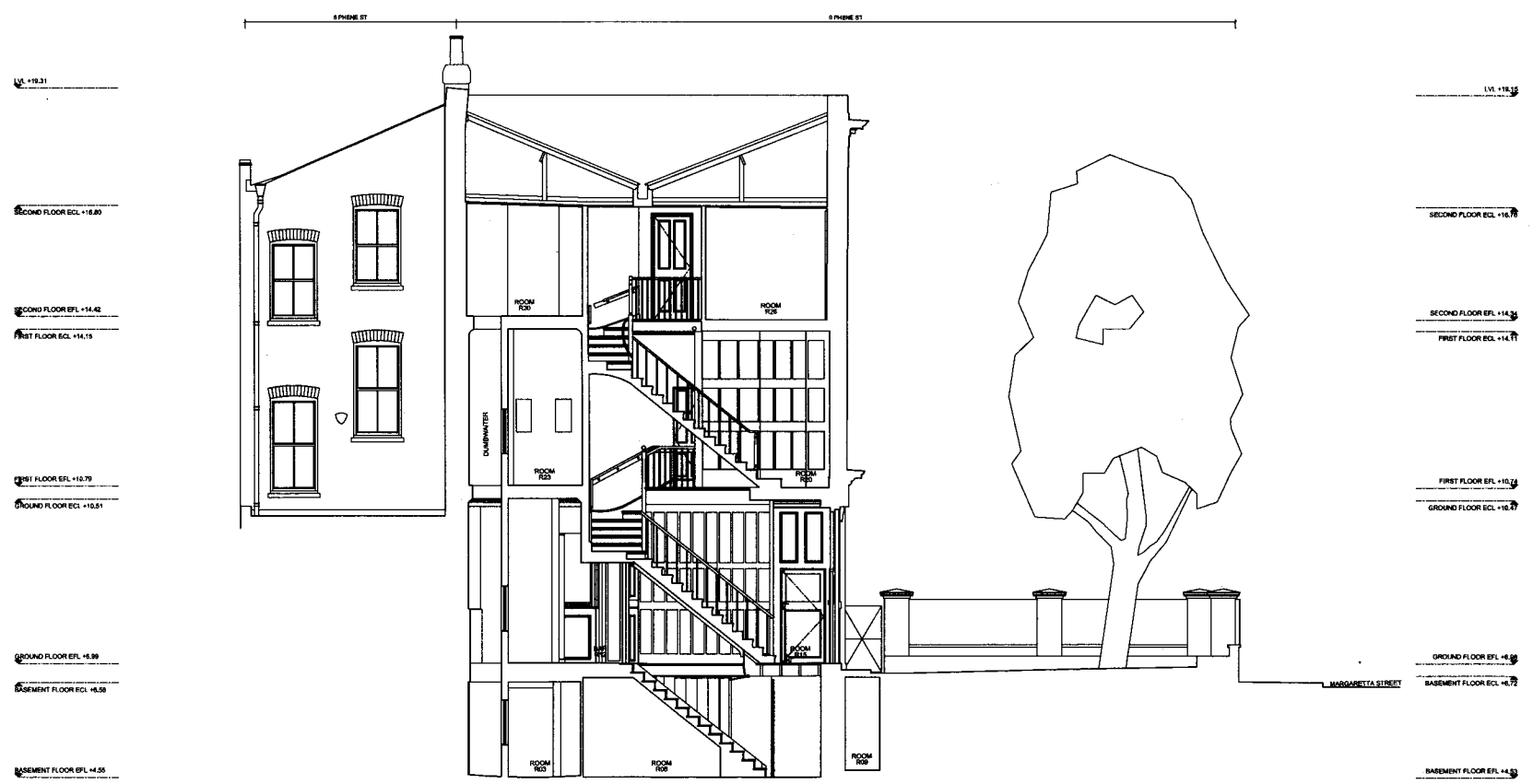
EXISTING HOTEL

PS	16.01.12	PLANNING REGS	RJ	DM
REV	DATE	DESCRIPTION	DM	CHK

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING SECTION B

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW
DATE	JUNE 2011	DATE	
PROJECT NO.	822 (02)	NO.	007



EXISTING SECTION B - 1:50 @ A1 & 1:100 @ A3

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2. Issues only for purpose indicated.
3. The drawing is to be read in conjunction with consultants drawings and specifications before proceeding with work. All construction proposed to be referred to by general contractor will show and identify existing regulations and BS/EN standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a 3rd party without our written consent.
5. The main contractor should be consulted with the existing conditions under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Issued to be provided for main contractor for TLA approval.
8. TLA to approve all drawings and notes prior to construction.

EXISTING

SPECIFIC NOTES:



EXISTING SECTION C - 1:50 @ A1 & 1:100 @ A3

PS	19.01.12	PLANNING BOOK	AL	JW
REV	DATE	DESCRIPTION	DATE	CHK
ADDRESS				
PHENE ARMS LONDON SW3 5NY				
TITLE				
EXISTING SECTION C				
STATUS	PLANNING	DOCUMENT	THD	
SCALE	1:50 @ A1 & 1:100 @ A3	CREATED BY	KW	
DATE	JULY 2011	CHK	REV	PS
PROJECT NO.	522	(02)	008	PS



EXISTING SOUTH WEST ELEVATION - 1:50 @ A1 & 1:100 @ A3

TREVOR | LAMFY ARCHITECTS
 gemma house
 88 marshfield road
 london SE5 8GU
 www.trevalamfy.co.uk
 design@trevalamfy.co.uk
 T +44(0)20 7737 8181
 F +44(0)20 7326 0348

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- TREVOR LAMFY ARCHITECTS, LTD
1. Do not scale off this drawing, use formal dimensions only. All dimensions and levels to be checked on site and these shall be taken to be correct unless otherwise indicated.
 2. Intended only for purposes indicated.
 3. This drawing is to be read in conjunction with any conditions, drawings and specifications.
 4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The sub-contractor shall be responsible for compliance with the statutory regulations under the CDM regulations.
 6. The dimensions shown on this drawing shall have been taken on the measurements provided by an independent survey company.

EXISTING



SPECIFIC NOTES

NO.	REVISION	PLANNING REFERENCE	DATE	DESCRIPTION	BY	CHKD

ADDRESS
**9 PHENE STREET
 LONDON SW3 5NY**

TITLE
**EXISTING
 SOUTH WEST ELEVATION**

STATUS	PLANNING	DESIGNED BY	ML
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RLW
DATE	JULY 2011	PROJECT NO.	822 (02)

011 P5



TREVOR | LAFFEY ARCHITECTS

genera house
99 Ainslie Court Road
London SE5 8DU
design@seehouse.co.uk
www.seehouse.co.uk
T +44(0)20 7737 6181
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 2. Issued only for purpose indicated.
 3. The drawing is to be used in conjunction with consultants drawings and specifications.
 4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The main contractor should be conversant with the statutory obligations under the CDM regulations.
 6. The dimensional errors on this drawing have been based on the measurements provided by an independent survey company.

EXISTING

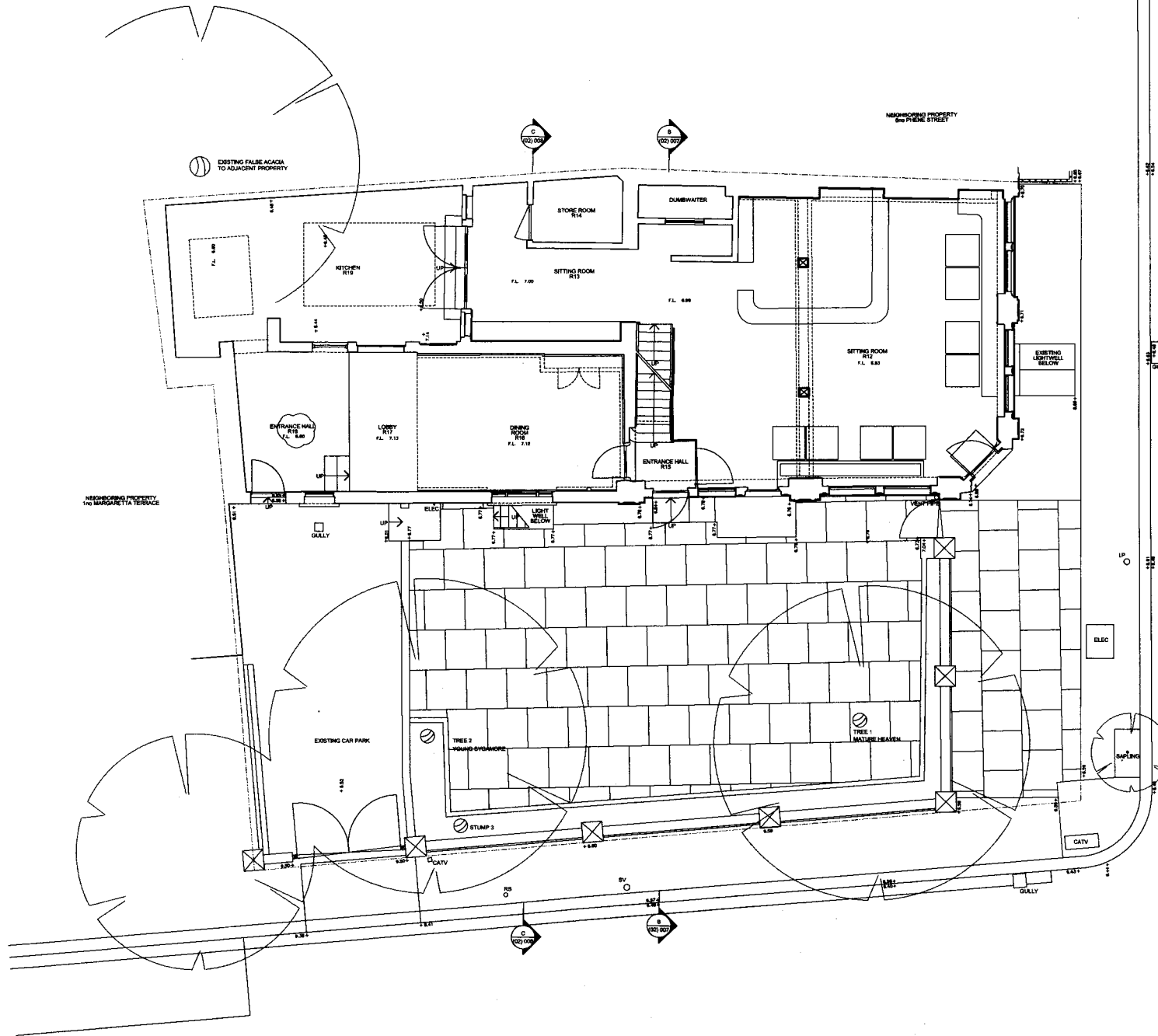


SPECIFIC NOTES:



EXISTING SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3

PL	18.01.12	PLANNING	DALE	RJ	JM
REV	DATE	DESCRIPTION		OWN	CHK
ADDRESS 9 PHENE STREET LONDON SW3 5NY					
TITLE EXISTING SOUTH EAST ELEVATION					
STATUS	PLANNING	COUNTRY			
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	KW		
DATE	JUNE 2011	OWN	REV		
PROJECT	822	(02)	012	PS	



PROPOSED GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

TREVOR LAFF ARCHITECTS
 geneva house
 99 Southwell Road
 London SE25 5DU
 design@tastudio.co.uk
 www.tastudio.co.uk
 T +44(0)20 7737 6181
 F +44(0)20 7326 0349

- CLIENT: **RAB PENSION TRUST**
- TREVOR LAFF ARCHITECTS
1. Do not make of this drawing, nor reproduce it, without the written consent of the architect. All dimensions and levels to be checked on site. The architect and subcontractors accept no liability for any errors or omissions in this drawing.
 2. Noted only for purposes indicated.
 3. The drawing is to be used in conjunction with complete drawings and specifications before proceeding with work. All conditions and details to be referred to in the contract documents and any amendments thereto. The architect and subcontractors accept no liability for any errors or omissions in this drawing.
 4. This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The main contractor should be consulted with the architect's office under the CDM regulations.
 6. The dimensions shown on this drawing have been taken from the measurements provided by an independent survey company.
 7. Samples to be provided by main contractor for TLA approval.
 8. TLA to approve all drawings and notes prior to construction.

PROPOSED

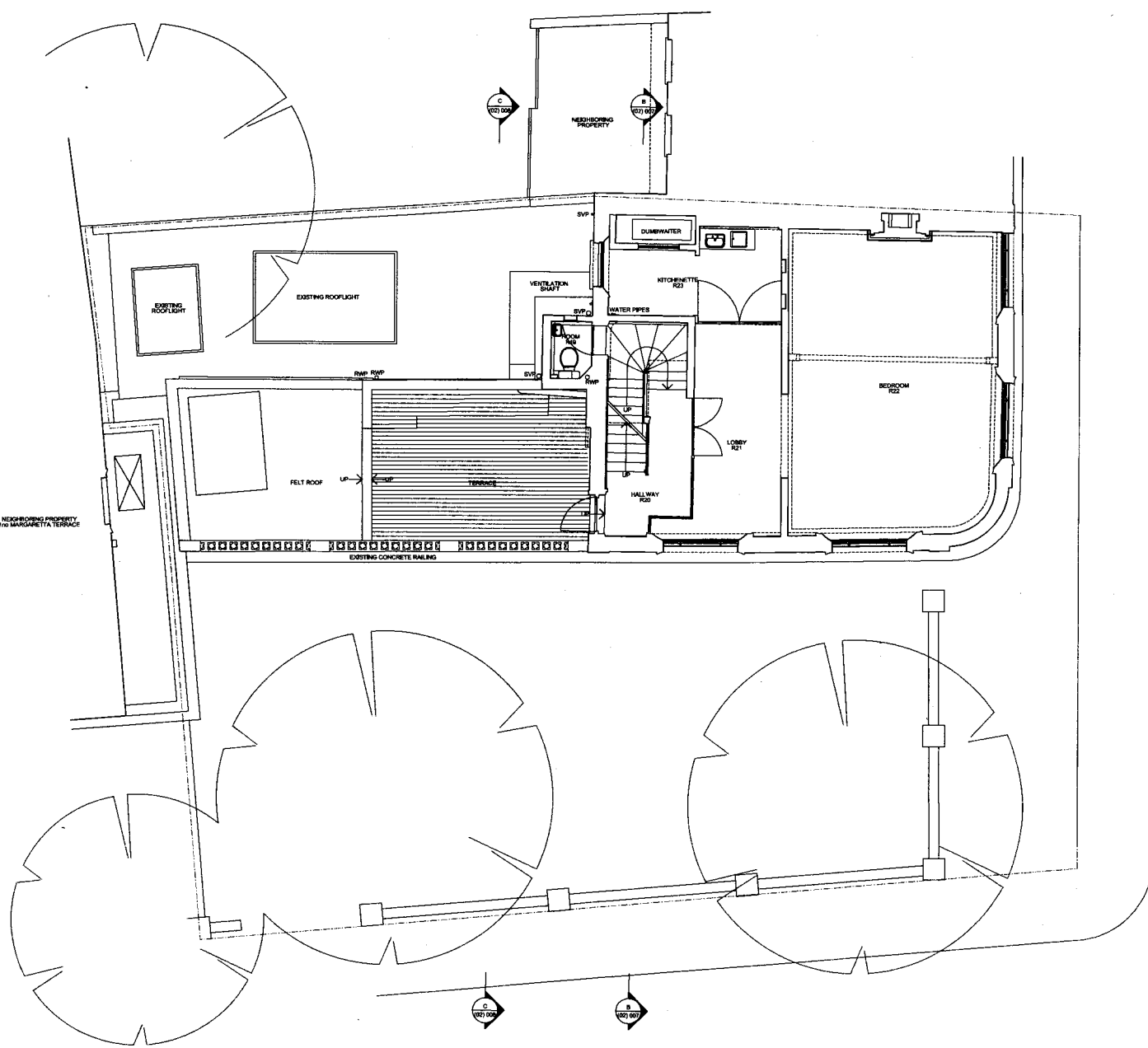
SPECIFIC NOTES

PS	TRAIL 12	PLANNING ISSUE	RJ	JKW
REV	DATE	DESCRIPTION	CHKD	CHKD

ADDRESS
**9 PHENE STREET
 LONDON SW3 5NY**

PROPOSED GROUND FLOOR PLAN

STATUS	PLANNING	APPROVED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A1	CHECKED BY	KW
DATE	JUNE 2011	DATE	
PROJECT NO.	822 (20)	REV	001 PS



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 F +44(0)20 7326 0349

- CLIENT: **RAB PENSION TRUST**
- TREVOR LAWFF ARCHITECTS
- On the basis of this drawing, the Client acknowledges that it is responsible for obtaining all necessary permissions and consents for the proposed works. The Client shall be responsible for ensuring that all necessary permissions and consents are obtained in a timely manner.
 - These drawings are for the Client's use only and are not to be used for any other purpose without the written consent of Trevor Lawff Architects.
 - The Client is to be held responsible for any errors or omissions in the drawings and specifications. Trevor Lawff Architects shall not be held responsible for any such errors or omissions.
 - The Client is to be held responsible for any delays or costs incurred as a result of any changes or variations to the drawings and specifications.
 - The Client is to be held responsible for any delays or costs incurred as a result of any changes or variations to the drawings and specifications.
 - The Client is to be held responsible for any delays or costs incurred as a result of any changes or variations to the drawings and specifications.
 - The Client is to be held responsible for any delays or costs incurred as a result of any changes or variations to the drawings and specifications.
 - The Client is to be held responsible for any delays or costs incurred as a result of any changes or variations to the drawings and specifications.

PROPOSED

SPECIFIC NOTES:

PS 18.01.12 PLANNING BLUE RJ JW
 REV DATE DESCRIPTION DWG CD

ADDRESS
**9 PHENE STREET
 LONDON SW3 5NY**

TITLE
**PROPOSED FIRST
 FLOOR PLAN**

EXTENT PLANNING DRAWING TMD
 SCALE 1:50 @ A1 & 1:100 @ A3 CHECKED BY
 DATE JUNE 2011 DWG REV
 PROJECT NO. B22 (20) 002 PS



PROPOSED FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

