



TREVOR | LAWRY ARCHITECTS

genove house
59 Incefield Road
London SE5 8DU
design@trevorlawry.co.uk
www.trevorlawry.co.uk
T +44(0)20 7737 6161
F +44(0)20 7326 0348

CLIENT
RAB PENSION TRUST

- TREVOR LAWRY ARCHITECTS
- Do not scale all drawings, use figures wherever applicable and dimensions and levels to be shown on all construction drawings. For further details refer to the project brief and contract documents and conditions of sale.
 - Revised only for purpose indicated.
 - This drawing is to be used in accordance with applicable planning and development control requirements and any other conditions of sale and shall not be used for any other purpose without the written consent of Trevor Lawry Architects.
 - This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or stored in a retrieval system without the written consent of Trevor Lawry Architects.
 - The drawings shown on this drawing have been issued in accordance with the contract documents.
 - Revised to be provided by each contractor for TLA approval.
 - TLA is approved of drawings and made after consultation.

PROPOSED

PROPOSAL NOTES:

NO	DATE	DESCRIPTION	ISSUED BY	CHKD BY
1		PROPOSED SECTION CC		

9 PHENE STREET
LONDON SW3 5NY

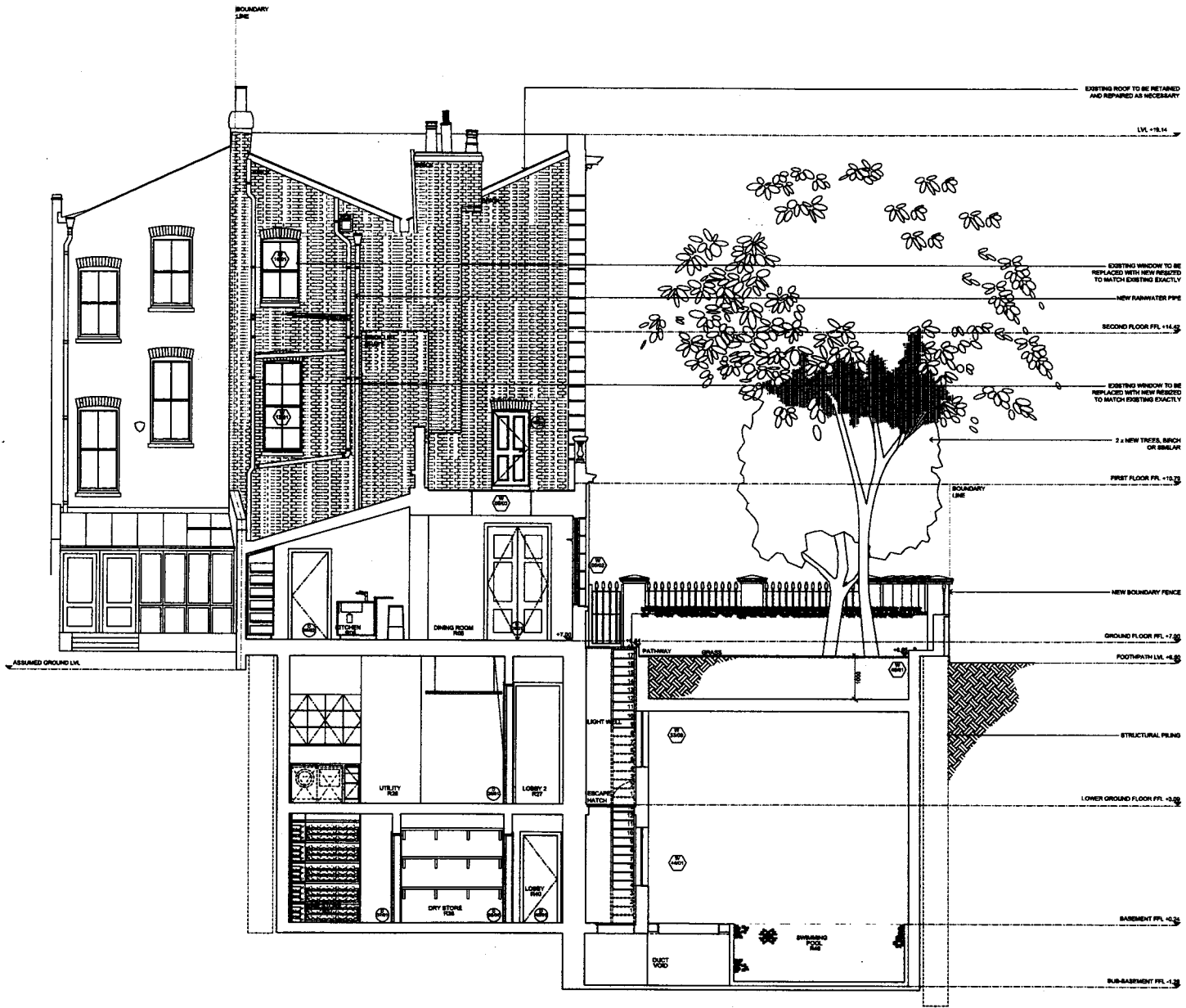
PROPOSED SECTION CC

DATE	PLANNING	ISSUED BY	RJ
SCALE	1:50 @ A1 & 1:100 @ A3	DESIGNED BY	TLV
DATE	FEBRUARY 2012	ISSUED BY	
PROJECT NO	822 (21)	DATE	003 177

PROPOSED SECTION CC - SCALE 1:50 @ A1 & 1:100 @ A3



EXISTING WINDOWS



ASSUMED GROUND LVL

BOUNDARY LINE

EXISTING ROOF TO BE RETAINED AND REPAIRED AS NECESSARY

LVL. +18.14

EXISTING WINDOW TO BE REPLACED WITH NEW RESISTO TO MATCH EXISTING EXACTLY

NEW RAINWATER PIPE

SECOND FLOOR FFL +14.52

EXISTING WINDOW TO BE REPLACED WITH NEW RESISTO TO MATCH EXISTING EXACTLY

2 x NEW TREES, BIRCH OR SIBLAR

FIRST FLOOR FFL +10.73

BOUNDARY LINE

NEW BOUNDARY FENCE

GROUND FLOOR FFL +7.52

FOOTPATH LVL. +6.52

STRUCTURAL PILING

LOWER GROUND FLOOR FFL +3.52

BASEMENT FFL +0.52

SUB-BASEMENT FFL -1.32

KITCHEN

DINING ROOM

UTILITY ROOM

LOBBY 2

DRY STORE

LIGHT WELL

STAIRCASE

STAIRCASE

DUCT

DUCT



TREVOR LAMB ARCHITECTS

genesis house
99 knatchbull road
london SE15 5QU
design@trevorlamb.co.uk
www.trevorlamb.co.uk
T +44(0)20 7337 6181
F +44(0)20 7326 0348

CLIENT RAB PENSION TRUST

- TREVOR LAMB ARCHITECTS
1. Do not make any alterations, nor figure dimensions until all dimensions and levels in this drawing are checked and approved by the contractor under supervision of the architect to confirm that all dimensions and levels are correct and comply with local and national building regulations and statutory requirements.
 2. Issues only for approved details.
 3. The drawing is to be used in connection with construction drawings and specifications before proceeding with work. All dimensions and levels in this drawing are subject to the contractor under supervision of the architect to confirm that all dimensions and levels are correct and comply with local and national building regulations and statutory requirements.
 4. The drawing is copyright and with consent of TLA and may not be copied, altered or reproduced in any way or printed in a third party without the written consent.
 5. The main contractor shall be responsible for all necessary applications under the CDM regulations.
 6. The alterations shown on this drawing have been based on the measurements provided by an independent survey company.
 7. Details to be provided by main contractor for TLA approval.
 8. TLA to approve all drawings and only prior to construction.

PROPOSED

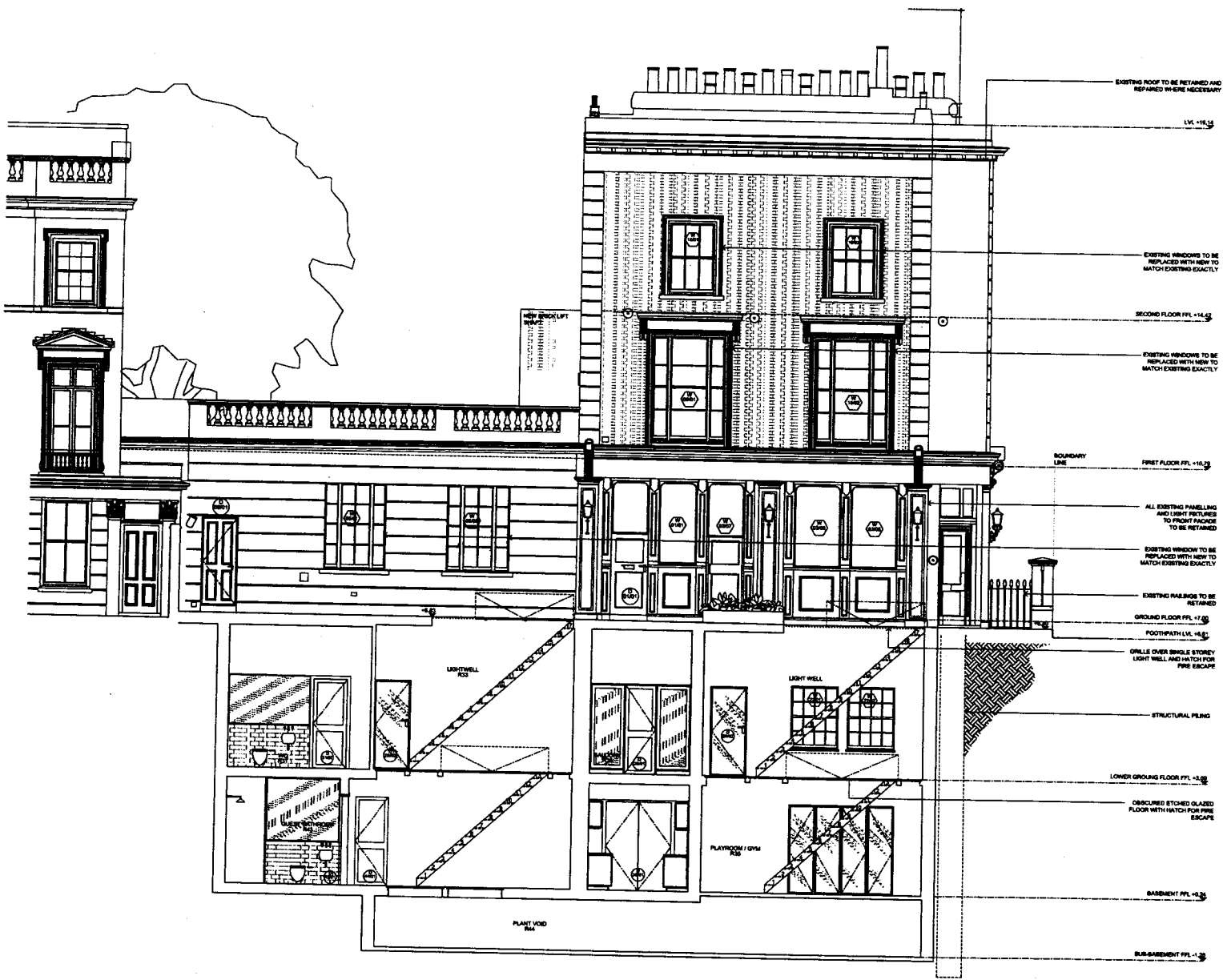
Scale lines

PL	DATE	PLANNING	ISSUE	BY	REV

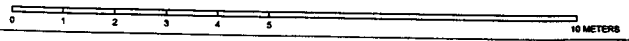
9 RHENE STREET
LONDON SW3 5NY

TITLE
PROPOSED SECTION DD

STATUS	PLANNING	ISSUED BY	RJ
SCALE	1:50 @ A1 & 1:100 @ A3	DATE	REV
DATE	DECEMBER 2011	PROJECT	004
PROJECT	822 (21)		

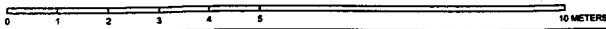


PROPOSED SECTION DD - SCALE 1:50 @ A1 & 1:100 @ A3





PROPOSED SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3



TREVOR | LACEY ARCHITECTS

genova house
 98 lewisham road
 london SE13 6QU
 design@trevorlacey.co.uk
 www.trevorlacey.co.uk
 T +44(0)20 7737 6181
 F +44(0)20 7328 0348

CLIENT
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- TREVOR LACEY ARCHITECTS LTD
1. Do not scale off this drawing, use printed dimensions only. All dimensions are to be in metric unless otherwise stated. These notes are to be read in conjunction with the drawings.
 2. Issues only for projects indicated.
 3. This drawing is to be used in conjunction with the contract documents and specifications.
 4. This drawing is the property of TLA and may not be copied, altered or reproduced in any way or form in a third party without our written consent.
 5. The work undertaken should be in accordance with the statutory regulations under the CDM regulations.
 6. The drawings shown on this drawing have been taken as the requirements provided for an independent survey company.

EXISTING



SPECIFIC NOTES:

NO.	DATE	PLANNING ISSUE	BY	APP.

9 PHENE STREET
 LONDON SW3 5NY

TITLE
 PROPOSED
 SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY
SCALE	1:50 @ A1	DESIGNED BY
DATE	DECEMBER 2011	DATE
PROJECT	822 (21)	REV





TREVOR LAMPY ARCHITECTS

GENEVA HOUSE
88 BRACKHILL ROAD
LONDON SE16 5QU
design@trevorlampy.co.uk
www.trevorlampy.co.uk
T +44(0)20 7737 6181
F +44(0)20 7326 0348

CLIENT
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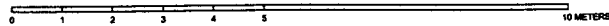
- TREVOR LAMPY ARCHITECTS
- Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on site. Contractor under subcontractor liability is subject to approval of architect and architect's representative in the UK.
 - Issued only for purposes indicated.
 - The drawing is to be used in conjunction with contract documents and specifications. It is not to be used for any other purpose without the written consent of the architect.
 - This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or stored in a data base without the written consent of the architect.
 - The architect shall be consulted with the necessary authority under the contract documents.
 - The drawings shown on this drawing have been issued as the necessary authority under the contract documents.
 - Approval to be provided by each contractor for RLA approval.
 - TLA is approved of drawings and will plan to be checked.

PROPOSED

Scale: 1:50 @ A1 & 1:100 @ A3



PROPOSED SOUTH WEST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3



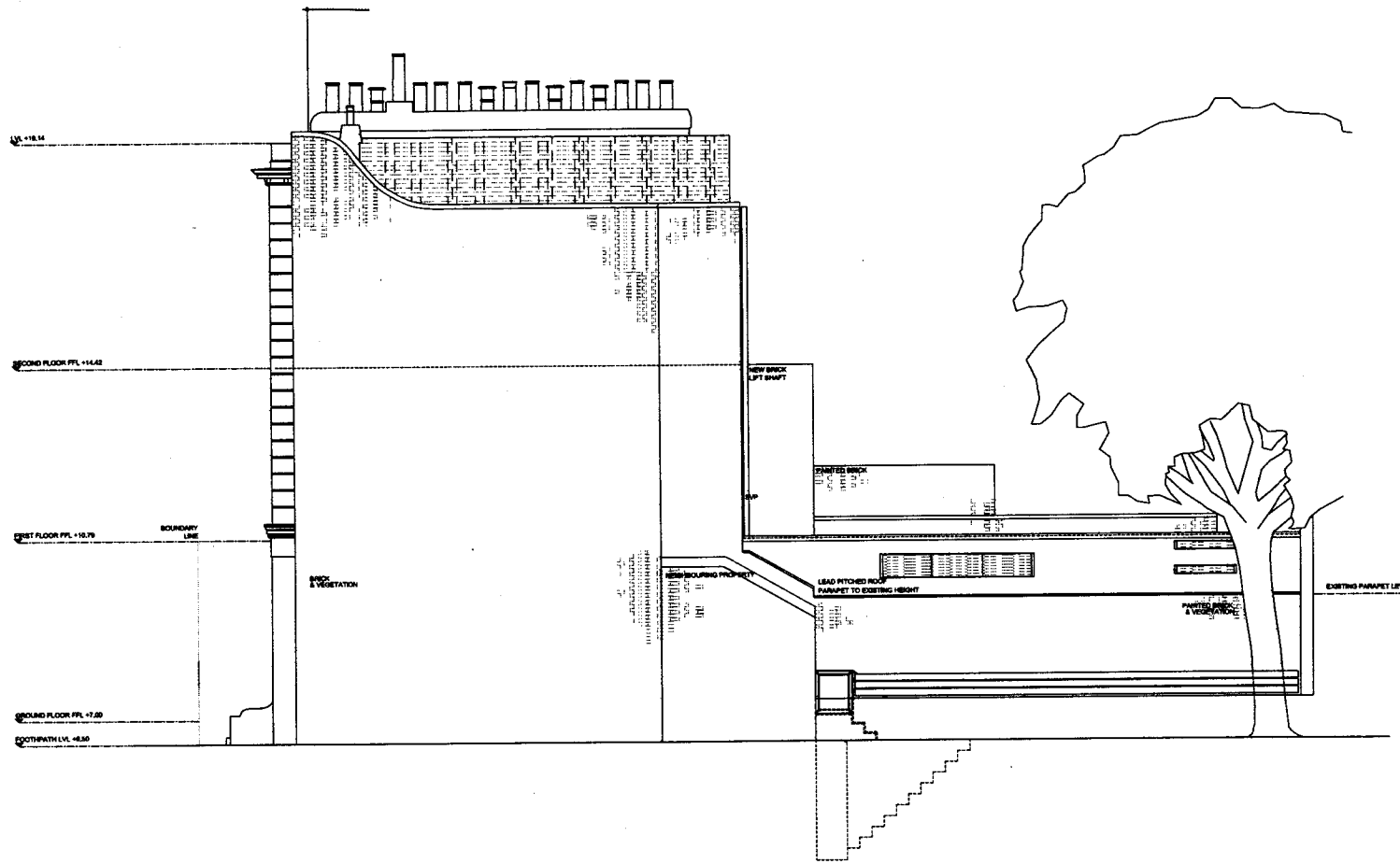
NO.	DATE	PLANNING ISSUE	REV.	BY

PROJECT NO. 622 (21)

9 PHENE STREET
LONDON SW3 5NY

PROPOSED SOUTH WEST
ELEVATION

STATUS	PLANNING	DESIGNED BY	RL
SCALE	1:50 @ A1 & 1:100 @ A3	DATE	DECEMBER 2011
PROJECT NO.	622 (21)	ISSUE NO.	008



TREVOR | LANSBY ARCHITECTS
 general house
 99 bratchell road
 london SW5 8QU
 design@trevorlansby.co.uk
 www.trevorlansby.co.uk
 T +44(0)20 7737 8181
 F +44(0)20 7328 0348

CLIENT
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- TREVOR | LANSBY ARCHITECTS
1. Do not scale off this drawing, use digital dimensions only. All dimensions and levels to be checked on site. Customer and/or subcontractor number's subject to a separate issue of contract documents and variations to I/A.
 2. Accuracy only for purposes indicated.
 3. This drawing is to be used in conjunction with appropriate drawings and specifications before proceeding with any work. All workmanship to be in accordance with current regulations with local and statutory building regulations and fire safety standards.
 4. This drawing is copyright and sale priority of T/LA and may not be copied, altered or reproduced in any way or format by a third party without our written consent.
 5. The main contractor should be consulted with the necessary obligations under the CDM regulations.
 6. The dimensions shown on this drawing have been taken as the measurements provided by an independent surveyor.
 7. Samples to be provided by each contractor for T/LA approval.
 8. T/LA to approve all drawings and make plan to the location.

PROPOSED

Revised Issue:

NO	DATE	DESCRIPTION	BY	CHK
01		ISSUED FOR PERMITTING	TJL	ML
02		ISSUED FOR PERMITTING	TJL	ML
03		ISSUED FOR PERMITTING	TJL	ML
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97		ISSUED FOR PERMITTING	TJL	ML
98		ISSUED FOR PERMITTING	TJL	ML
99		ISSUED FOR PERMITTING	TJL	ML
100		ISSUED FOR PERMITTING	TJL	ML

9 PHENE STREET
 LONDON SW3 5NY

PROPOSED NORTH EAST ELEVATION

SCALE 1:50 @ A1 & 1:100 @ A3

DATE FEBRUARY 2012

PROJECT 822 (21)

007

PROPOSED NORTH EAST ELEVATION - SCALE 1:50 @ A1 & 1:100 @ A3





PROPOSED SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3

TREVOR LAMPP ARCHITECTS

GENERAL HOUSE
99 KINGSBURY ROAD
LONDON SE5 8QU
design@trevorlamm.co.uk
www.trevorlamm.co.uk
T +44(0)20 7737 8181
F +44(0)20 7326 0340

CLIENT
RAB PENSION TRUST

- TREVOR LAMPP ARCHITECTS LTD
1. Do not scale of this drawing, and specify dimensions only. All dimensions and levels to be checked on site and Trevor Lamm Architects to be notified of any discrepancies immediately.
 2. Issued only for purpose indicated.
 3. The drawing is to be used in conjunction with conditions, charges and specifications.
 4. This drawing is copyright of T.L.A. and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The main contractor should be consulted with the architect's obligation under the CDM regulations.
 6. The boundaries shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES:

REV	DATE	DESCRIPTION	OWN	CHK
PS	19/01/12	PLANNING ISSUE		

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
PROPOSED
SOUTH EAST ELEVATION

STATUS	PLANNING	DESIGNED BY
SCALE	1:50 @ A1 & 1:100 @ A3	CHK'D BY
DATE	JUNE 2011	REV
PROJECT	822 (20)	012 PS



TREVOR LAMB ARCHITECTS

geneva house
99 knatchbull road
london SW5 5DU
design@trevorlamb.co.uk
www.trevorlamb.co.uk
T +44(0)20 7737 6181
F +44(0)20 7326 0348

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TREVOR LAMB ARCHITECTS

1. Do not scale off this drawing, all spatial dimensions only. All dimensions are to be checked on site. Contractor under Administrator's liability is obliged to comply with all structural requirements and conditions in TLA.
2. Material only to be used as specified.
3. The drawing is to be used in conjunction with appropriate drawings and specifications before proceeding with work. All workmanship is to be subject to inspection and approval by the Architect and the Contractor. The Contractor is to be responsible for any and all necessary repairs and alterations and to be held liable for any such work.
4. The drawing is copyright and the property of TLA and shall not be copied, altered or reproduced in any way or stored in a data processing system without the written consent of TLA.
5. The main contractor shall be responsible for the necessary approvals under the CDM regulations.
6. The drawings are not to be displayed in any form without the written consent of TLA.
7. Details to be provided by main contractor for TLA approval.
8. TLA is not responsible for drawings and notes prior to completion.

PROPOSED

SPECIFIC NOTES



PROPOSED SECTION C - 1:50 @ A1 & 1:100 @ A3



NO	DATE	PLANNING	REV	REV
01	12/11/10	PLANNING	01	01
PHENE ARMS LONDON SW3 5NY				
PROPOSED SECTION C				
SCALE	DATE	DESIGNED BY	DRAWN BY	
1:50 @ A1 & 1:100 @ A3	JULY 2011	TMD	RW	
DATE	NO	REV	REV	
JULY 2011	008	01	01	
COURT NO.	NO	NO	NO	
822	(20)			

CLIENT

RAB PENSION TRUST

TREVOR LANSBY ARCHITECTS LTD

1. On no scale of this drawing, with Special dimensions only. All dimensions and levels to be checked on site and these levels are to be used as the basis of any construction immediately.
2. Issued only for purpose indicated.
3. This drawing is to be read in conjunction with consultation drawings and specifications.
4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The sub-contractor shall be concerned with the obligations undertaken under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES



PS	16/11/12	PLANNING ISSUE		RJ	KW
REV	DATE	DESCRIPTION	[DWG]	CHK	

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
PROPOSED
SOUTH WEST ELEVATION

STATUS	PLANNING	DRAWN BY	ME1
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	LM
DATE	JULY 2011	DATE	
PROJECT	822	(20)	011

PROPOSED SOUTH WEST ELEVATION - 1:50 @ A1 & 1:100 @ A3



PP/11/3352 / WVA.

No 9 PHENE STREET, LONDON SW3 5NY

SITE PLAN

TREVOR LAMPP ARCHITECTS
 geneva house
 99 knatchbull road
 london SE5 8QU
 design@trevorlamm.co.uk
 www.trevorlamm.co.uk
 T +44(0)20 7737 6181
 F +44(0)20 7326 0349

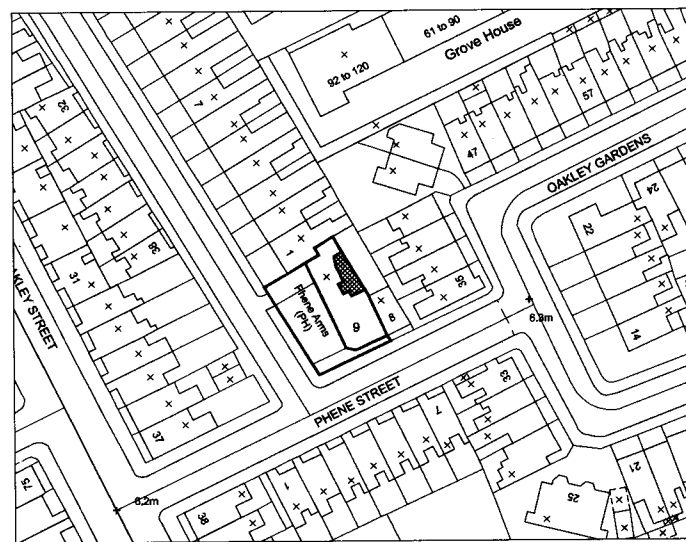
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RAB PENSION TRUST

- TREVOR LAMPP ARCHITECTS LTD
- Do not scale off this drawing, use figured dimensions only. All dimensions and levels to be checked on site and Trevor Lamm Architects to be notified of any discrepancies immediately.
 - Issued only for the purposes indicated.
 - This drawing is to be read in conjunction with consultation drawings and specifications.
 - This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 - The main contractor should be conversant with the statutory obligations under the CDM regulations.
 - The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

PROPOSED



SPECIFIC NOTES



reduced size copy

- | | |
|-----------------------------------|-----------------------------------|
| PROPOSED | EXISTING |
| 822 (20) 001 GROUND FLOOR PLAN | 822 (00) 001 SITE PLAN |
| 822 (20) 002 FIRST FLOOR PLAN | 822 (02) 001 GROUND FLOOR PLAN |
| 822 (20) 003 SECOND FLOOR PLAN | 822 (02) 002 FIRST FLOOR PLAN |
| 822 (20) 004 ROOF PLAN | 822 (02) 003 SECOND FLOOR PLAN |
| 822 (20) 005 LOWER GROUND FLOOR | 822 (02) 005 ROOF PLAN |
| 822 (20) 006 BASEMENT PLAN | 822 (02) 006 BASEMENT PLAN |
| 822 (20) 007 SUB-BASEMENT PLAN | |
| 822 (21) 002 SECTION B | 822 (02) 008 SECTION B |
| 822 (21) 003 SECTION C | 822 (02) 009 SECTION C |
| 822 (21) 004 SECTION D | 822 (02) 011 SOUTH WEST ELEVATION |
| 822 (21) 005 SOUTH EAST ELEVATION | 822 (02) 012 SOUTH EAST ELEVATION |

NO	TO	BY	DATE	DESCRIPTION	CHKD	CRD
PROJECT 9 PHENE STREET LONDON SW3 5NY						
TITLE SITE PLAN						
STATUS	PLANNING	DRAWN BY	MH			
SCALE	1:500@A1	CHECKED BY	REV			
DATE	JULY 2011					
PROJECT NO	822 (00)					

All received 19/01/11



EXISTING TREE TO ADJACENT PROPERTY

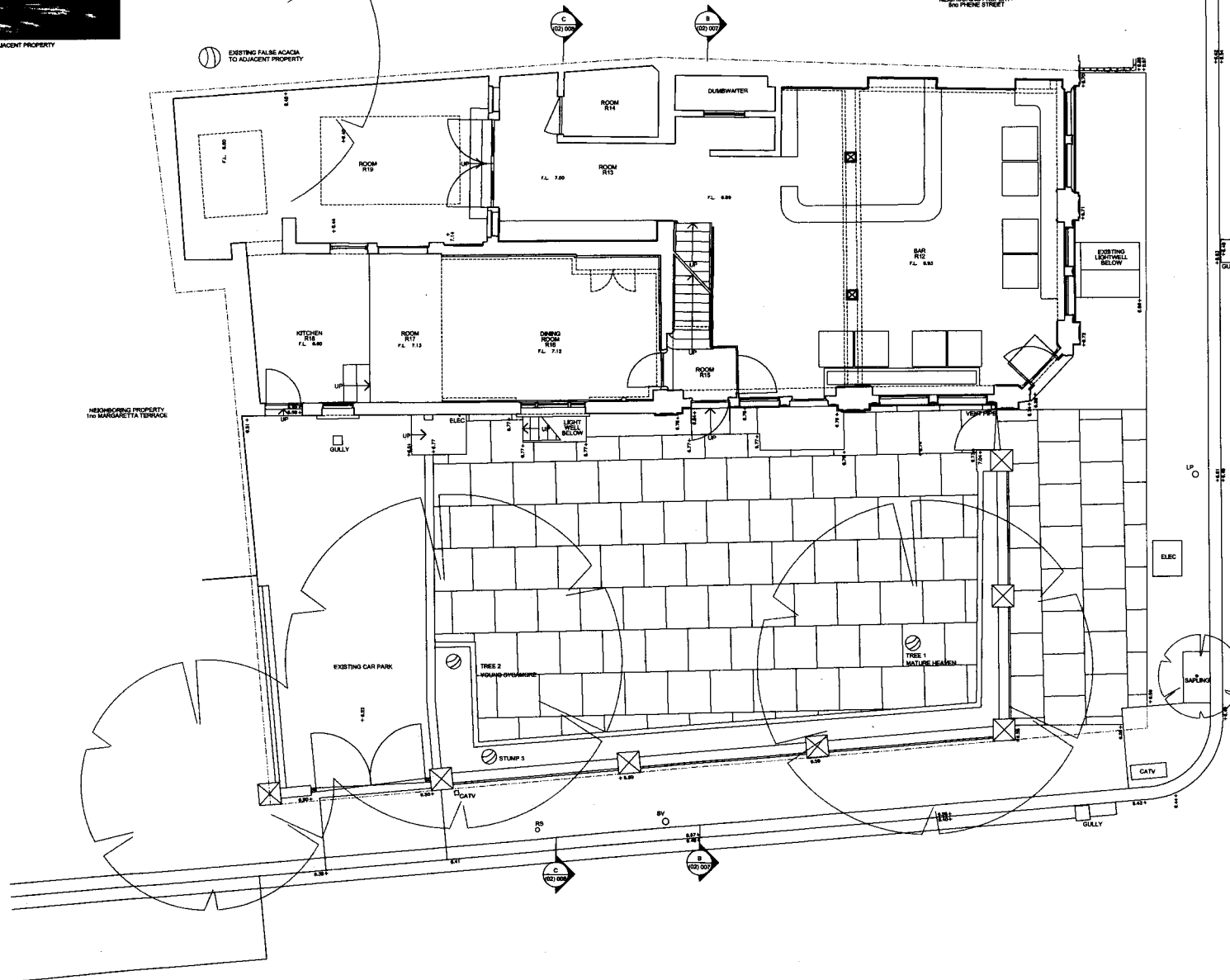
EXISTING FALSE ACACIA TO ADJACENT PROPERTY

NEIGHBORING PROPERTY 99 PHENE STREET

NEIGHBORING PROPERTY THE MARGARETTA TERRACE



EXISTING COVERED LIGHTWELL



TREVOR | LAFFY ARCHITECTS

geneva house
99 Southchurch Road
London SE5 8QU
www.trevorstudio.co.uk
T +44(0)20 7737 8181
F +44(0)20 7328 6349

CLIENT

RAB PENSION TRUST

TREVOR LAFFY ARCHITECTS

1. Do not scale off the drawing, use figures dimensions only. All dimensions are to be checked on site. Contractor's measurements should be subject to primary record of all areas, elevations and sections by TLA.
2. Issues only for purposes indicated.
3. The drawing is to be used in conjunction with construction drawings and specifications before proceeding with work. All consultants involved to be referred to to ensure compliance with local and statutory building regulations and BS/EN/AS standards.
4. This drawing is copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The work undertaken should be in accordance with the statutory obligations under the CDM regulations.
6. The drawings shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and notes prior to construction.

EXISTING

SPECIFIC NOTES:

PS 15.01.12	PLANNING ISSUE	RJ	DM
REV	DATE	DESCRIPTION	OWNR

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING GROUND
FLOOR PLAN

STATUS	PLANNING	ISSUED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A1	CHECKED BY	KW
DATE	JUNE 2011	OWNR	REV
PROJECT NO.	822 (02)	001	015



EXISTING GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR | LAFFEY ARCHITECTS

genove house
99 BRISTOL ROAD
LONDON SE25 8QU
design@trevorlaffey.co.uk
www.trevorlaffey.co.uk
T +44(0)20 7737 6181
F +44(0)20 7328 0349

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RAB PENSION TRUST

TREVOR LAFFEY ARCHITECTS

1. Do not scale off this drawing, all figures are approximate. Only all dimensions and levels to be checked on site. Contractors are responsible for any omissions or errors. It is the responsibility of the contractor to verify all dimensions and levels on site.
2. Issues only for purpose indicated.
3. The drawing is to be read in conjunction with all other drawings and specifications. All drawings are to be checked on site. Contractors are responsible for any omissions or errors. It is the responsibility of the contractor to verify all dimensions and levels on site.
4. This drawing is complete and with priority of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be consulted with the relevant authorities under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and issue prior to construction.

EXISTING

SPECIFIC NOTES

REV	DATE	DESCRIPTION	BY	CHK

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING FIRST
FLOOR PLAN

STATUS
PLANNING

SCALE
1:50 @ A1 & 1:100 @ A3

DATE
JUNE 2011

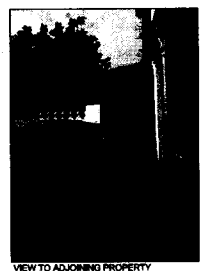
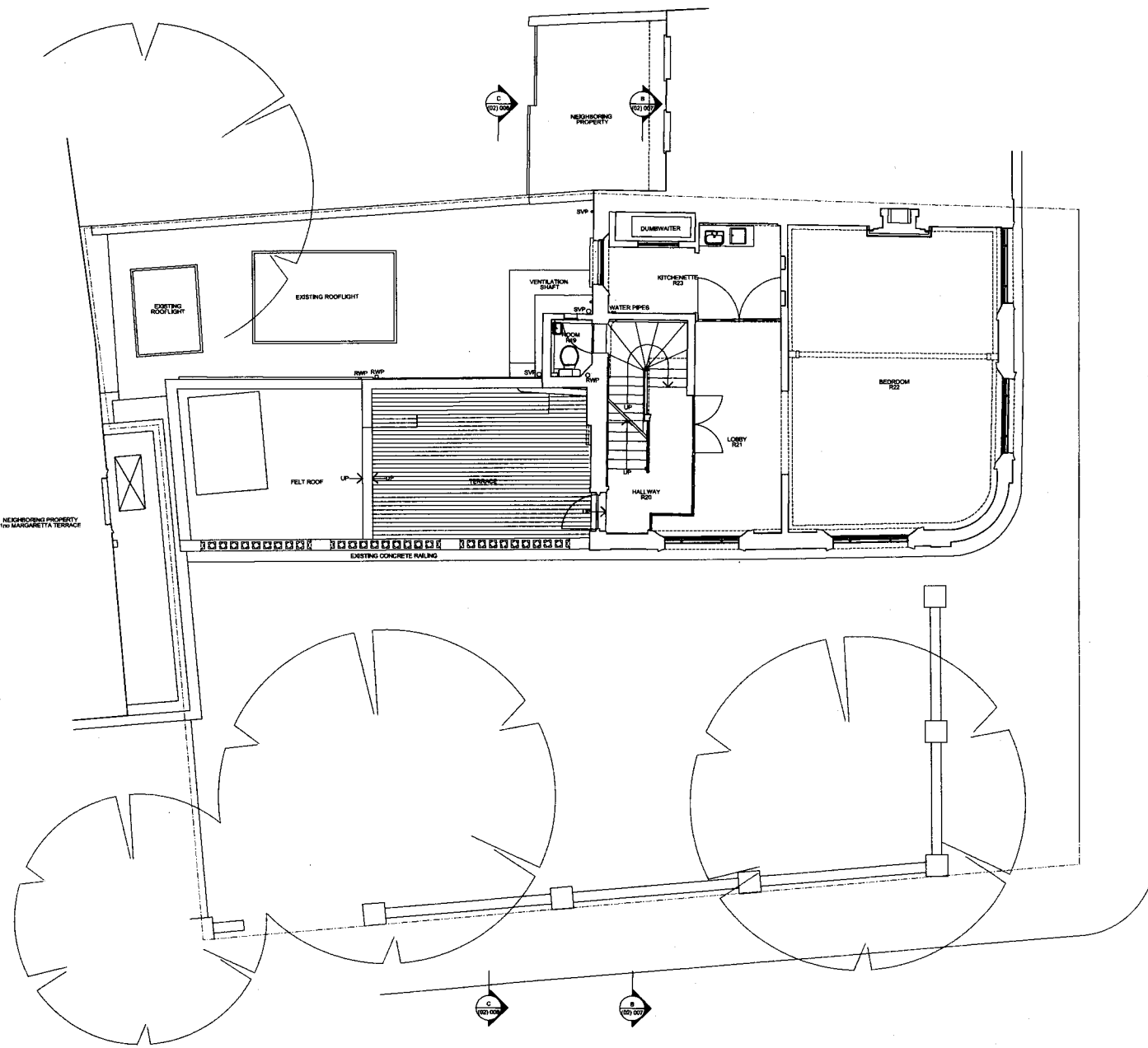
PROJECT NO.
822 (02)

DESIGNED BY
THD

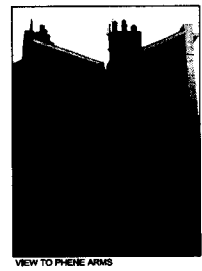
CHECKED BY
KW

DRAWING NO.
002

REV
PS



VIEW TO ADJOINING PROPERTY



VIEW TO PHENE ARMS

NEIGHBOURING PROPERTY
120 MARGARETTA TERRACE



EXISTING FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAMB ARCHITECTS

generative house
59 leachfield road
london SE5 8QU
design@trevorlamb.com
www.trevorlamb.com
T +44(0)20 7737 8181
F +44(0)20 7328 0349

CLIENT
RAB PENSION TRUST

TREVOR LAMB ARCHITECTS

1. Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on site. Contractor's error and/or omission is not subject to liability. Report all errors, discrepancies and omissions to TLA.
2. Issued only for purpose indicated.
3. This drawing is to be used in conjunction with consultants drawings and specifications forming part of the contract. All consultants information to be referred to, to ensure compliance with local and statutory building regulations and other relevant standards.
4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
5. The main contractor should be conversant with the necessary regulations under the CDM regulations.
6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
7. Samples to be provided by main contractor for TLA approval.
8. TLA to approve all drawings and note prior to construction.

EXISTING

EXISTING NOTES

REV	DATE	DESCRIPTION	BY	CHK

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING SECOND
FLOOR PLAN

STATUS
PLANNING

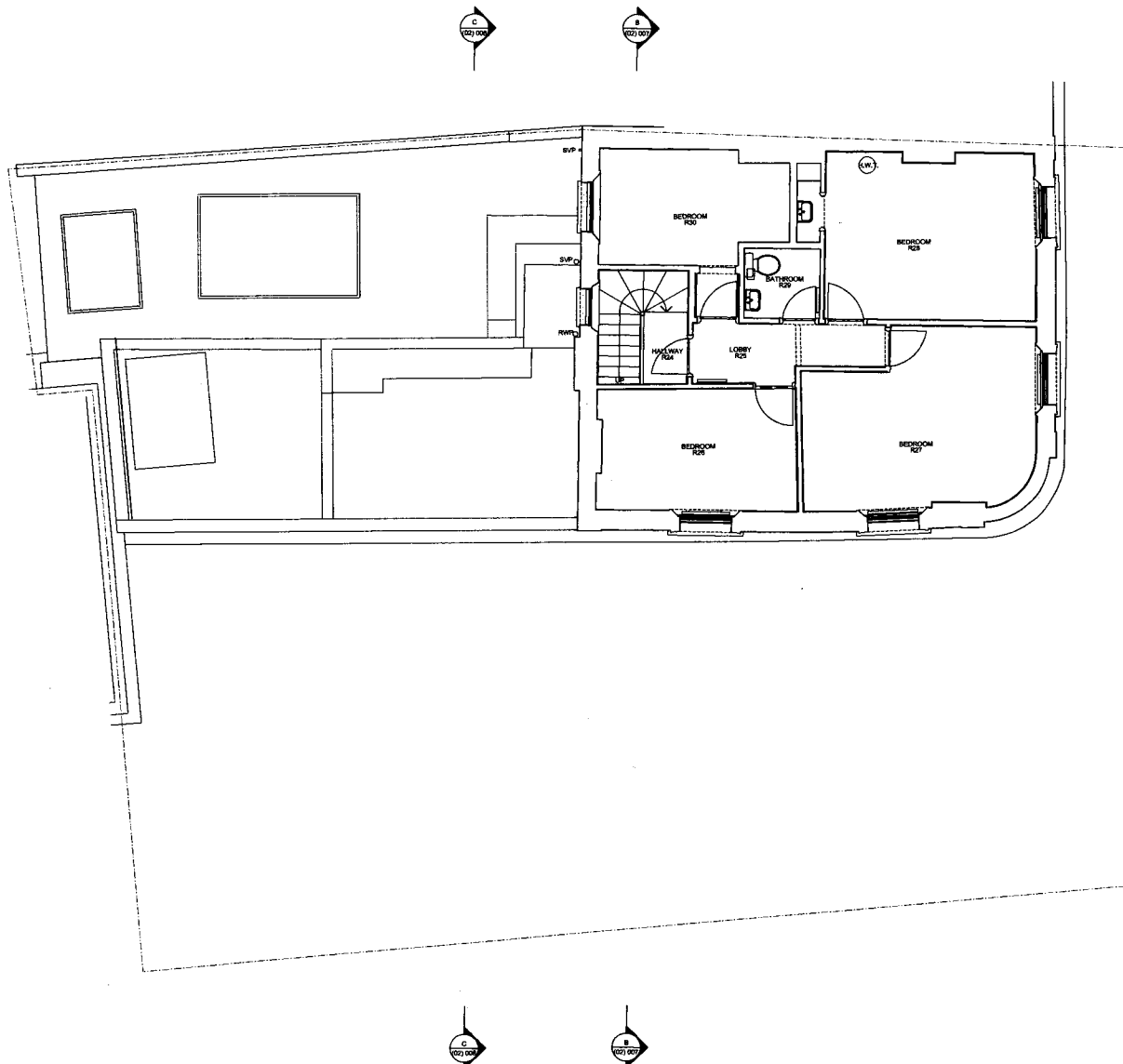
SCALE
1:50 @ A1 & 1:100 @ A3

DATE
JULY 2011

PROJECT NO.
822 (02)

003

PS



EXISTING SECOND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAFFEY ARCHITECTS

garners house
99 Westchurch Road
London SE5 8QU
design@trevorlaffey.co.uk
www.trevorlaffey.co.uk
T +44(0)20 7737 6161
F +44(0)20 7326 0349

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- TREVOR LAFFEY ARCHITECTS
1. Do not scale off this drawing, use figures wherever only. All dimensions and levels to be checked on site. Contractor and subcontractor must be obliged to promptly report all errors discrepancies and omissions to TLA.
 2. Issued only for purpose indicated.
 3. The drawing is to be used in conjunction with consultants drawings and specifications. Works proceeding with works. All consultants information to be referred to, to ensure compliance with local and national building regulations and BRE/BSI standards.
 4. This drawing is copyright and sole property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The main contractor should be consulted with the necessary authorities under the CDM regulations.
 6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
 7. Services to be provided by main contractor by TLA approval.
 8. TLA to approve all drawings and notes prior to construction.

EXISTING

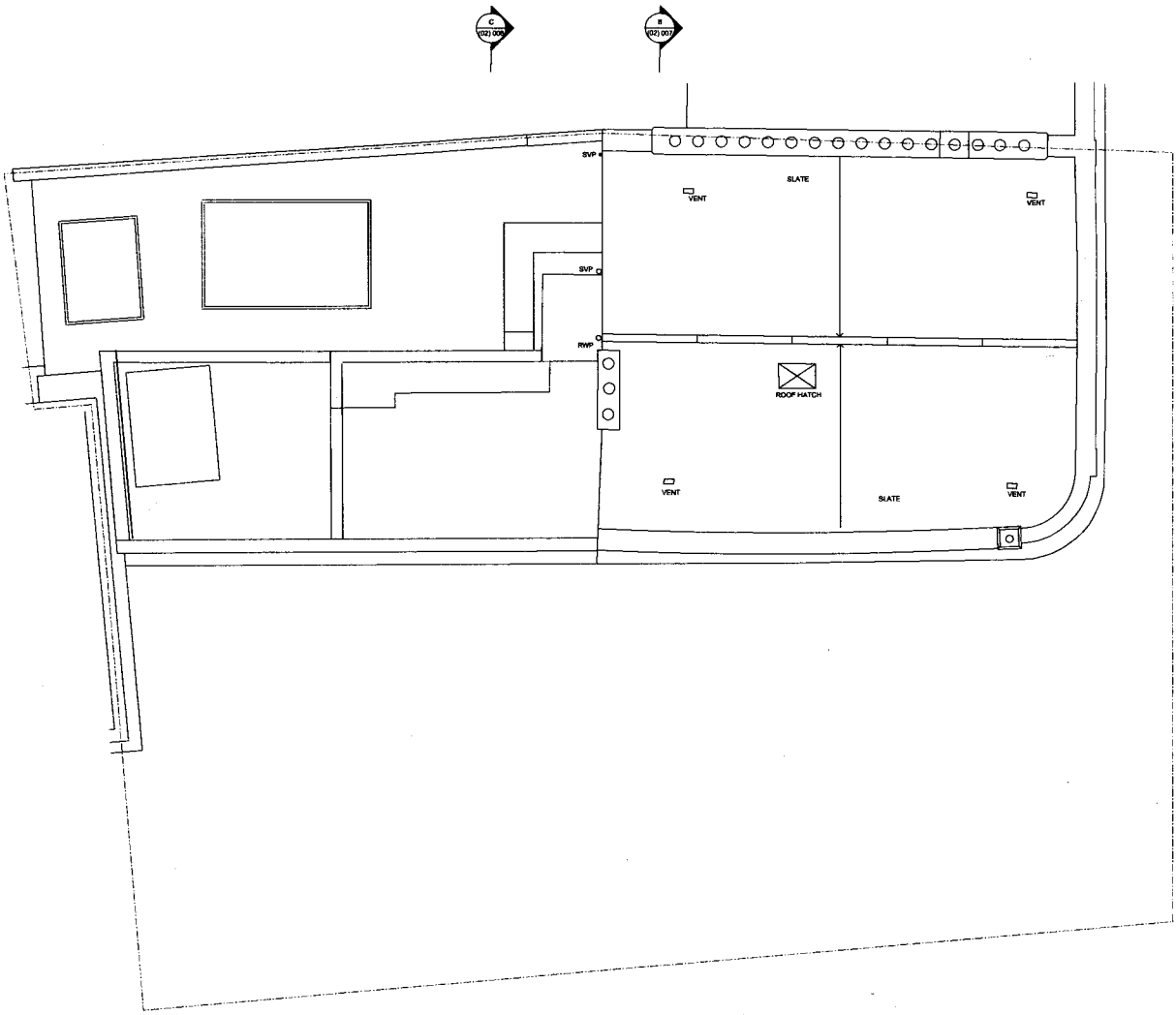
SPECIFIC NOTES:

PS	19/21/12	PLANNING ISSUE	RJ	RW
REV	DATE	DESCRIPTION	DRW	CHK

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING ROOF PLAN

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50@A1 & 1:100@A3	CHECKED BY	RW
DATE	JUNE 2011	DWG NO	005
PROJECT NO	022 (02)	REV	PS



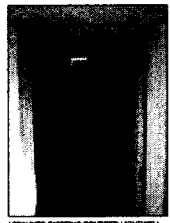
EXISTING ROOF PLAN - 1:50 @ A1 & 1:100 @ A3



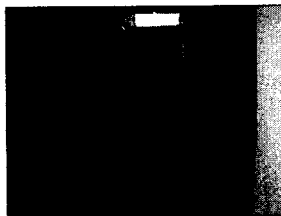
TREVOR LAWRY ARCHITECTS
 partners houses
 89 bransford road
 london SE5 8QU
 trevor@trevorlawry.co.uk
 www.trevorlawry.co.uk
 T +44(0)20 7737 6181
 F +44(0)20 7326 0340

CLIENT
RAB PENSION TRUST

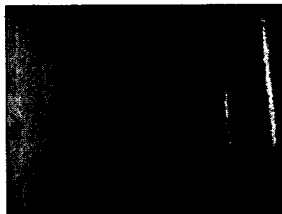
- TREVOR LAWRY ARCHITECTS
- Do not scale off this drawing, use figure dimensions only. All dimensions and levels to be checked on the Computer Aided Submittal System to be subject to periodic reports of non-compliance and resolution to TLA.
 - Issued only for purposes indicated.
 - The drawings are to be used in conjunction with construction drawings and specifications before commencing any work. All construction shall be in accordance with current construction law and statutory building regulations and applicable standards.
 - The drawings are copyright and the property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without the written consent of TLA.
 - The work described should be approved with the relevant authorities under the CDM regulations.
 - The dimensions shown on this drawing have been taken as the measurements provided by the Submitter herein.
 - Changes to be indicated by mark number for TLA approval.
 - TLA is not responsible for design and shall prior to construction.



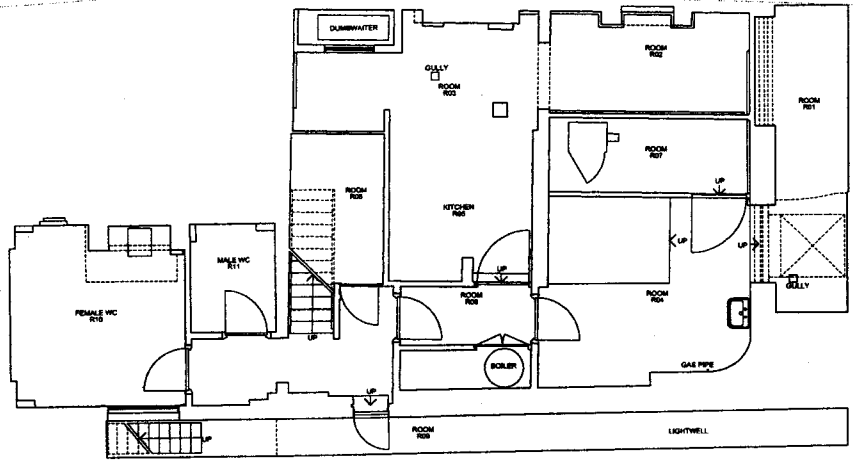
VIEW INTO EXISTING COVERED LIGHTWELL



VIEW TOWARDS STAIRS IN FRONT LIGHTWELL



VIEW INTO FRONT LIGHTWELL



EXISTING

SPECIFIC NOTES:

NO.	DATE	PLANNING ISSUE	BY	CHK

9 PHENE STREET
 LONDON SW3 5NY

EXISTING BASEMENT FLOOR PLAN

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RLW
DATE	JUNE 2011	NO.	006
PROJECT NO.	822 (02)	REV.	PS



EXISTING BASEMENT FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3



TREVOR LAMB ARCHITECTS

greville house
89 knatchbull road
london SE20 9QU
design@tlambstudio.co.uk
www.tlambstudio.co.uk
T +44(0)20 7337 8181
F +44(0)20 7326 0349

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- TREVOR LAMB ARCHITECTS
1. Do not scale off this drawing, use digital dimensions only. All dimensions and levels to be checked on site. Contractor and other subcontractors are obliged to promptly report all errors, omissions and omissions to TLA.
 2. Based only for purposes indicated.
 3. The drawing is to be used in conjunction with: conditions of contract and specifications before proceeding with work. All structural information is to be checked to ensure compliance with local and industry building regulations and Building Act standards.
 4. This drawing is copyright and sale property of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The main contractor should be conversant with the statutory obligations under the CDM regulations.
 6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.
 7. Samples to be provided by main contractor for TLA approval.
 8. TLA to approve all drawings and notes prior to construction.

EXISTING

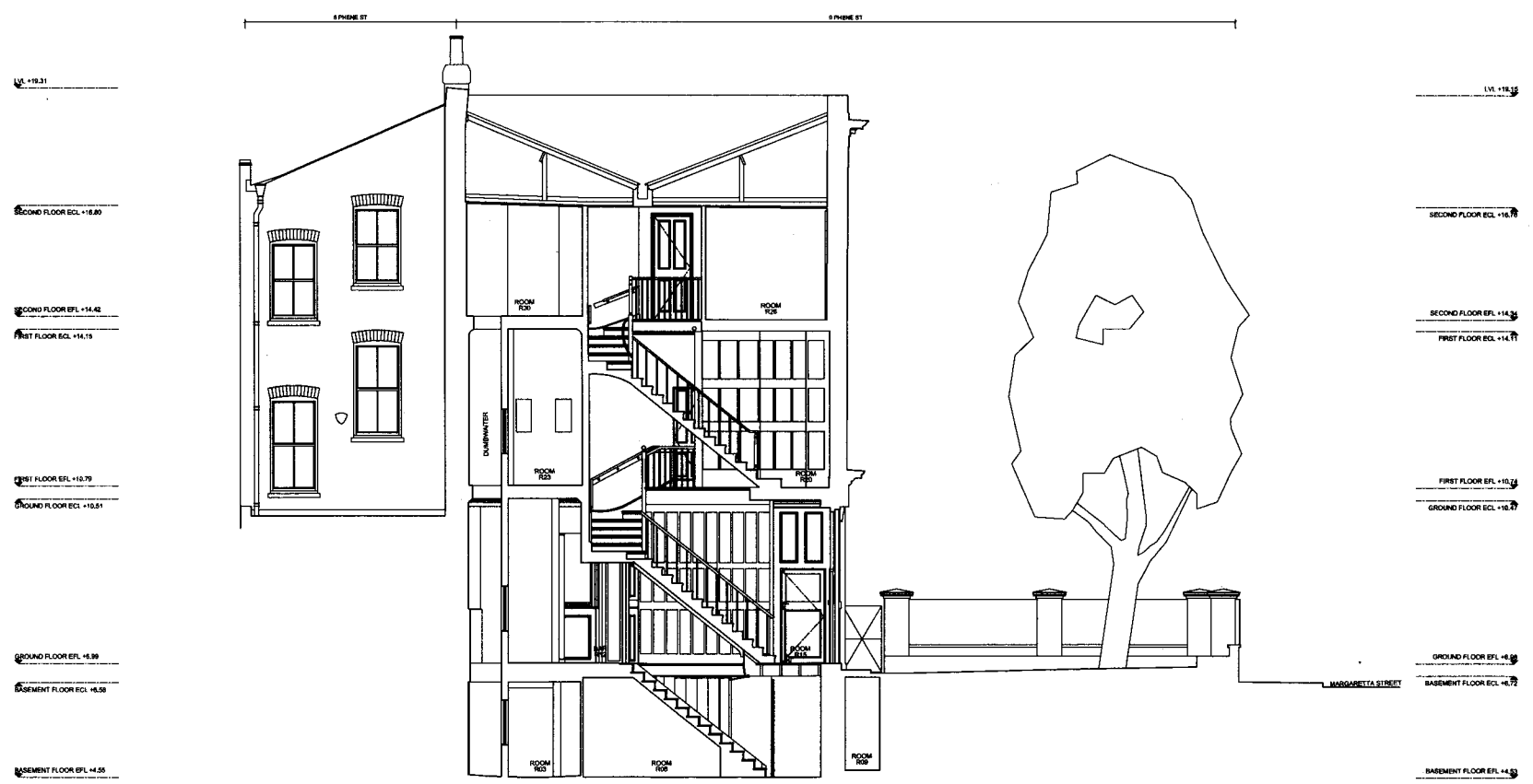
EXISTING HOTEL

PS	16.01.12	PLANNING BOLA	RJ	DM
REV	DATE	DESCRIPTION	DMW	DM

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING SECTION B

STATUS	PLANNING	DESIGNED BY	THD
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RW
DATE	JUNE 2011	DATE	
PROJECT NO.	822 (02)	REV	007



EXISTING SECTION B - 1:50 @ A1 & 1:100 @ A3

CLIENT
RAB PENSION TRUST

TREVOR | LANIFF ARCHITECTS

1. Do not scale this drawing, and do not reproduce any part of this drawing without the written consent of Trevor | Laniff Architects.
2. This drawing is to be used in connection with the design of the building and is not to be used for any other purpose.
3. The drawing is to be used in connection with the design of the building and is not to be used for any other purpose.
4. This drawing is to be used in connection with the design of the building and is not to be used for any other purpose.
5. The drawing is to be used in connection with the design of the building and is not to be used for any other purpose.
6. The drawing is to be used in connection with the design of the building and is not to be used for any other purpose.
7. This drawing is to be used in connection with the design of the building and is not to be used for any other purpose.
8. This drawing is to be used in connection with the design of the building and is not to be used for any other purpose.

EXISTING

SPECIFIC NOTES:

PS	10.01.12	PLANNING BOOK	AL	JM
REV	DATE	DESCRIPTION		DATE

ADDRESS
**PHENE ARMS
 LONDON SW3 5NY**

TITLE
EXISTING SECTION C

STATUS	PLANNING	DOCUMENT	THD
SCALE	1:50 @ A1 & 1:100 @ A3	CREATED BY	KW
DATE	JULY 2011	AWC	REV
PROJECT	522	(02)	008



EXISTING SECTION C - 1:50 @ A1 & 1:100 @ A3



EXISTING SOUTH WEST ELEVATION - 1:50 @ A1 & 1:100 @ A3

TREVOR | LAMFY ARCHITECTS
 gemma house
 88 marshfield road
 london SE5 8GU
 www.trevalamfy.co.uk
 design@trevalamfy.co.uk
 T +44(0)20 7737 8181
 F +44(0)20 7326 0348

CLIENT
RAB PENSION TRUST

- TREVOR LAMFY ARCHITECTS, LTD
1. Do not scale off this drawing, use formal dimensions only. All dimensions and levels to be checked on site and these shall be taken to be correct for all purposes.
 2. Intend only for purposes indicated.
 3. This drawing is to be read in conjunction with any conditions, drawings and specifications.
 4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The sub-contractor shall be responsible for compliance with the statutory regulations under the CDM regulations.
 6. The drawings shown on this drawing shall have been based on the measurements provided by an independent surveying company.

EXISTING



SPECIFIC NOTES

NO.	REVISION	PLANNING REFERENCE	DATE	DESCRIPTION	BY	CHKD

ADDRESS
**9 PHENE STREET
 LONDON SW3 5NY**

TITLE
**EXISTING
 SOUTH WEST ELEVATION**

STATUS	PLANNING	DRAWN BY	MM
SCALE	1:50 @ A1 & 1:100 @ A3	CHECKED BY	RLW
DATE	JULY 2011	PROJECT NO.	822 (02)

011 P5



TREVOR | LAFFEY ARCHITECTS

genera house
99 Ainslie Court Road
London SE5 8DU
design@seehack.co.uk
www.seehack.co.uk
T +44(0)20 7737 6181
F +44(0)20 7326 0349

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- TREVOR LAFFEY ARCHITECTS LTD
1. Do not make of this drawing, and typed drawings or its dimensions and text to be changed or altered without the written consent of Trevor Laffey Architects to be notified of any discrepancies immediately.
 2. Issued only for purpose indicated.
 3. The drawing is to be used in conjunction with consultants drawings and specifications.
 4. This drawing is copyright of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The main contractor should be conversant with the statutory obligations under the CDM regulations.
 6. The dimensions shown on this drawing have been based on the measurements provided by an independent survey company.

EXISTING



SPECIFIC NOTES:



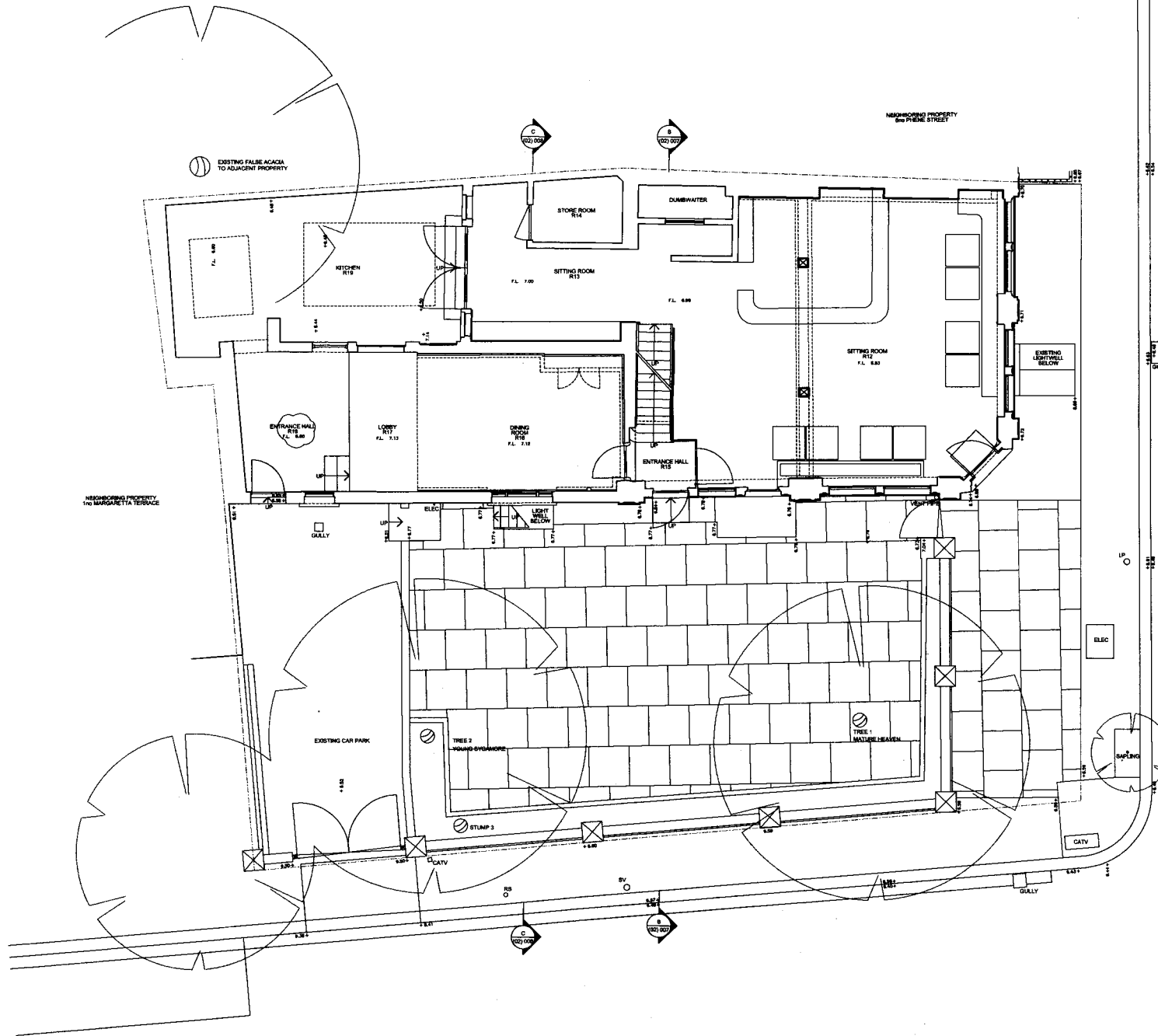
PL	18.01.12	PLANNING DRAW	RJ	JEM
REV	DATE	DESCRIPTION	OWN	CHK

ADDRESS
9 PHENE STREET
LONDON SW3 5NY

TITLE
EXISTING
SOUTH EAST ELEVATION

STATUS	PLANNING	COUNTRY	
SCALE	1:50 @ A1 & 1:100 @ A3	DRAWN BY	KW
DATE	JUNE 2011	CHECKED BY	
PROJECT NO.	822 (02)	DWG NO.	012
		REV	PS

EXISTING SOUTH EAST ELEVATION (PHENE STREET) - 1:50 @ A1 & 1:100 @ A3



PROPOSED GROUND FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

TREVOR LAFF ARCHITECTS
 geneva house
 99 Southwell Road
 London SE15 6QU
 design@tastudio.co.uk
 www.tastudio.co.uk
 T +44(0)20 7737 6181
 F +44(0)20 7326 0349

- CLIENT: **RAB PENSION TRUST**
- TREVOR LAFF ARCHITECTS
1. Do not make use of this drawing without the prior written consent of the architect. All dimensions and levels to be checked on site. The architect and subcontractors accept no liability for any errors or omissions in this drawing.
 2. Noted only for purposes indicated.
 3. The drawing is to be used in conjunction with complete drawings and specifications before proceeding with work. All contractors are to be referred to the architect for any queries and to ensure compliance with all relevant building regulations and Building Act provisions.
 4. This drawing is copyright and with priority of TLA and may not be copied, altered or reproduced in any way or passed to a third party without our written consent.
 5. The main contractor should be consulted with the architect regarding any matters under the CDM regulations.
 6. The dimensions shown on this drawing have been taken from the measurements provided by an independent survey company.
 7. Samples to be provided by main contractor for TLA approval.
 8. TLA to approve all drawings and notes prior to construction.

PROPOSED

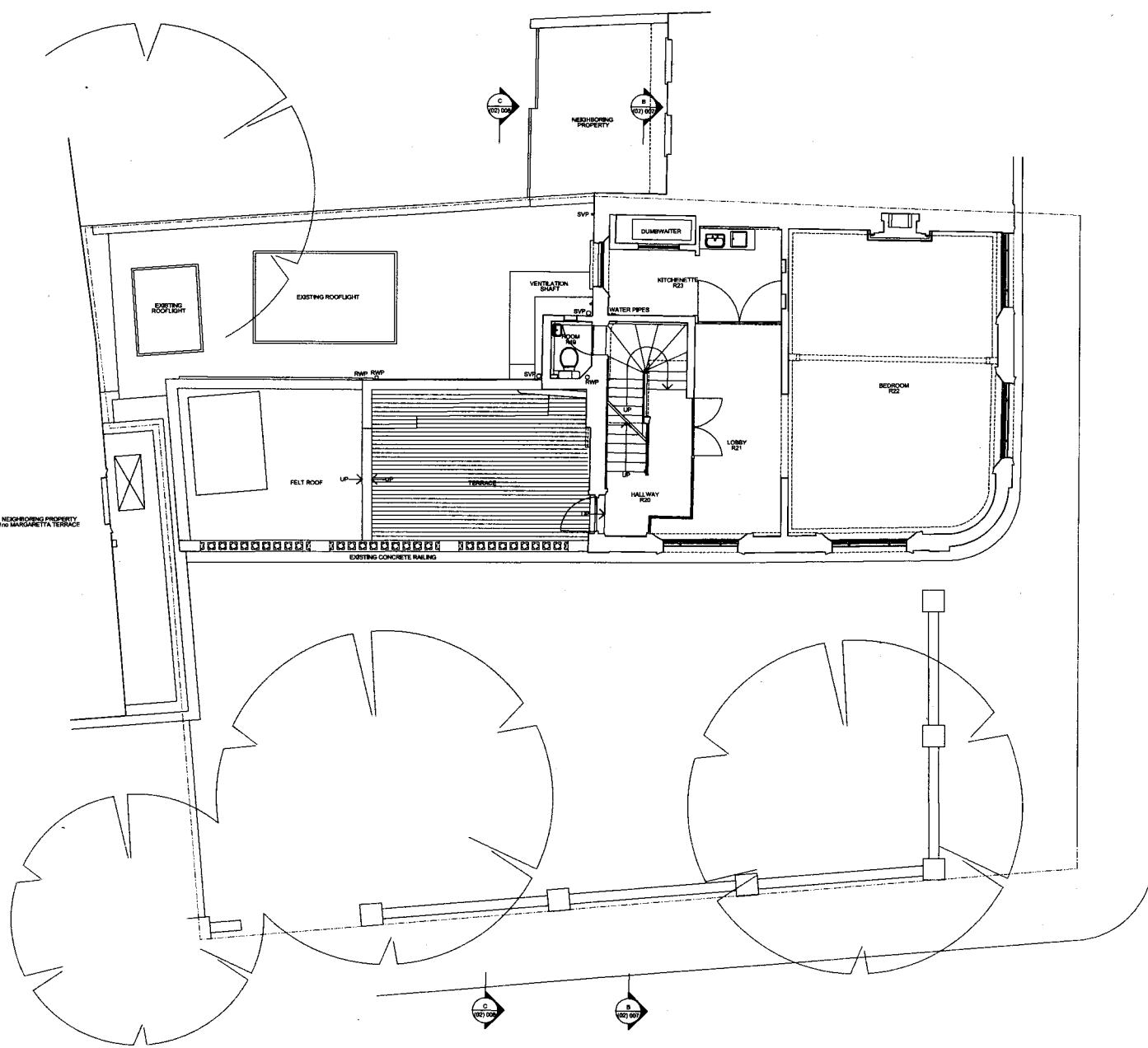
SPECIFIC NOTES:

PS	TRAIL 12	PLANNING ISSUE	RJ	JKW
REV	DATE	DESCRIPTION	CHKD	CHKD

ADDRESS:
**9 PHENE STREET
 LONDON SW3 5NY**

PROPOSED GROUND FLOOR PLAN

STATUS:	PLANNING	APPROVED BY:	THD
SCALE:	1:50 @ A1 & 1:100 @ A1	CHECKED BY:	KW
DATE:	JUNE 2011	DATE:	
PROJECT NO.:	822 (20)	REV:	001 PS



TREVOR | LAWFF ARCHITECTS
 geneva house
 99 knatchbull road
 london SE15 8QU
 design@trevorlawff.co.uk
 www.trevorlawff.co.uk
 T +44(0)20 7737 8181
 F +44(0)20 7326 0349

- CLIENT: **RAB PENSION TRUST**
- TREVOR | LAWFF ARCHITECTS
- On the scale of this drawing, the typical dimensions only, all dimensions are taken to be finished unless otherwise stated. Contractor error dimensions are subject to penalty except all errors, discrepancies and penalties to TLA.
 - Issued only for purposes indicated.
 - This drawing is to be used in conjunction with consultants drawings and specifications before proceeding with construction. It is not to be used for any other purpose without the written consent of TLA.
 - This drawing is copyright and sale proceeds of TLA and may not be copied, altered or reproduced in any way or passed in a third party without our written consent.
 - The main contractor should be consulted with the relevant authorities under the CDM regulations.
 - The drawings shown on this drawing have been based on the measurements provided by an independent survey company.
 - Revisions to be provided by main contractor for TLA approval.
 - TLA to approve all drawings and notes prior to construction.

PROPOSED

SPECIFIC NOTES:

REV	DATE	DESCRIPTION	DRAWN	CHECKED
PS	18.01.12	PLANNING ISSUE	RJ	JM
REV	DATE	DESCRIPTION	DRAWN	CHECKED

ADDRESS:
**9 PHENE STREET
 LONDON SW3 5NY**

TITLE:
**PROPOSED FIRST
 FLOOR PLAN**

SECTION:
 PLANNING DRAWN BY: THD

SCALE:
 1:50 @ A1 & 1:100 @ A3 CHECKED BY: RW

DATE:
 JUNE 2011

PROJECT:
 B22 (20)



PROPOSED FIRST FLOOR PLAN - 1:50 @ A1 & 1:100 @ A3

