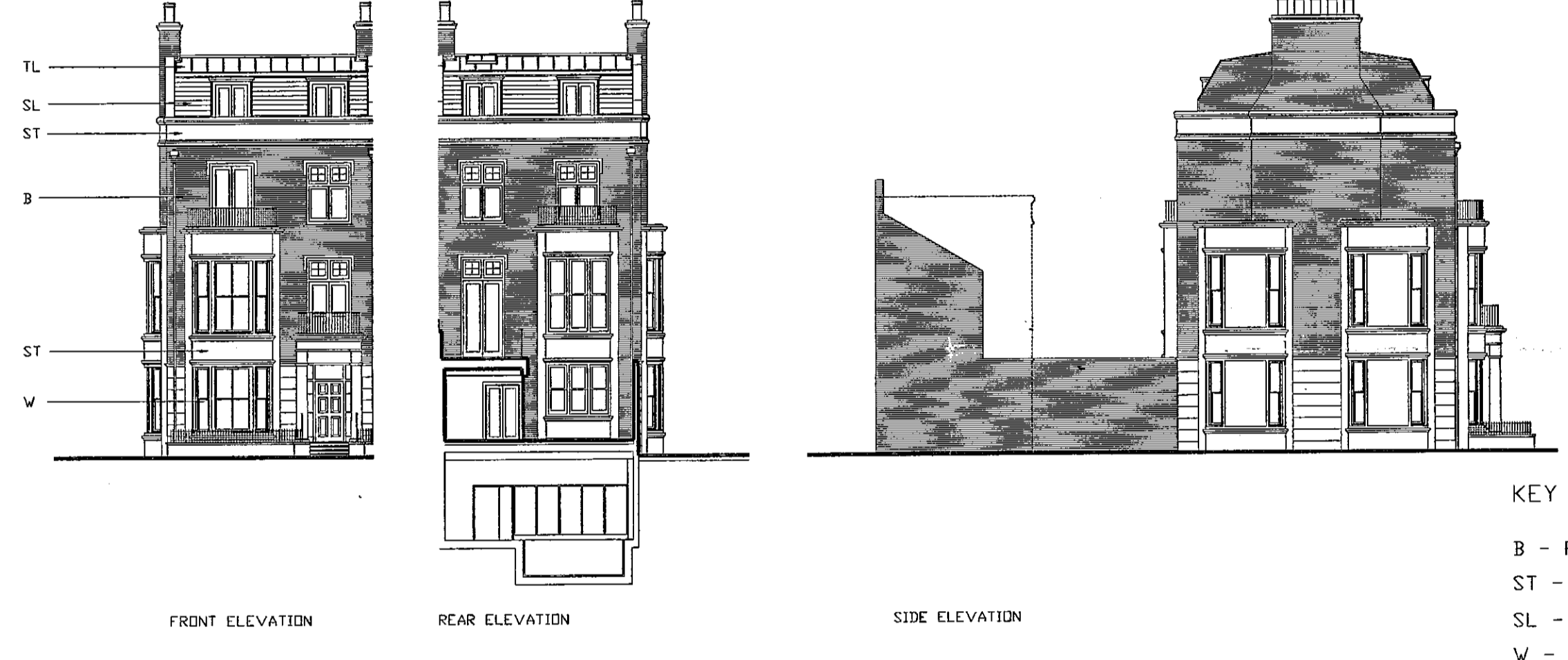
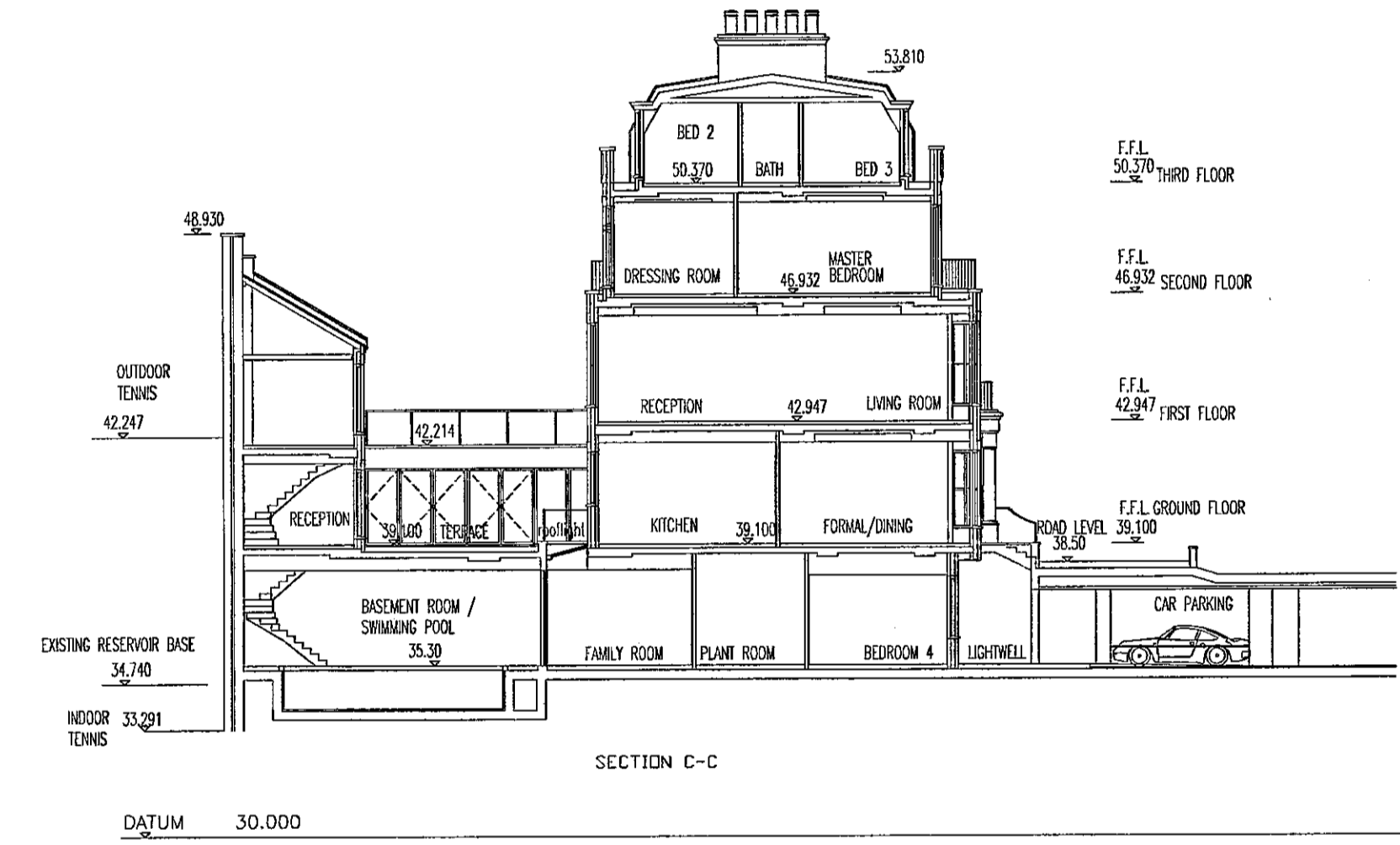
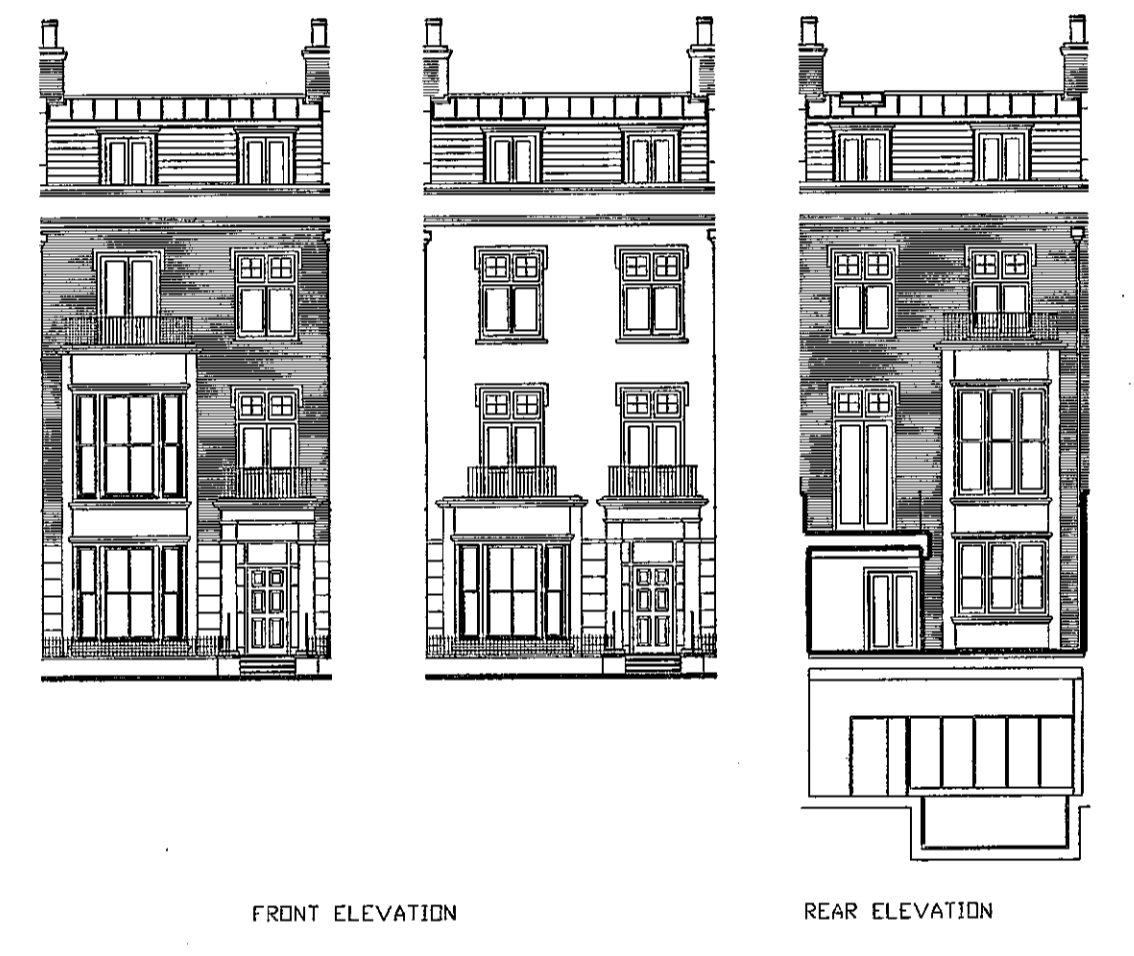
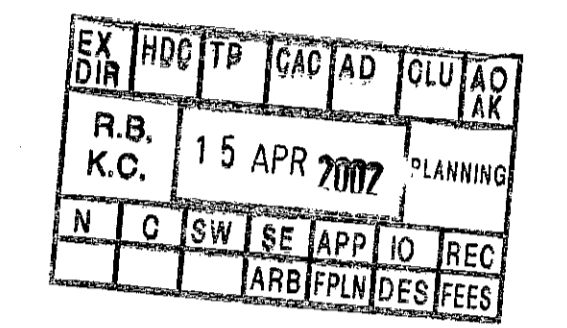
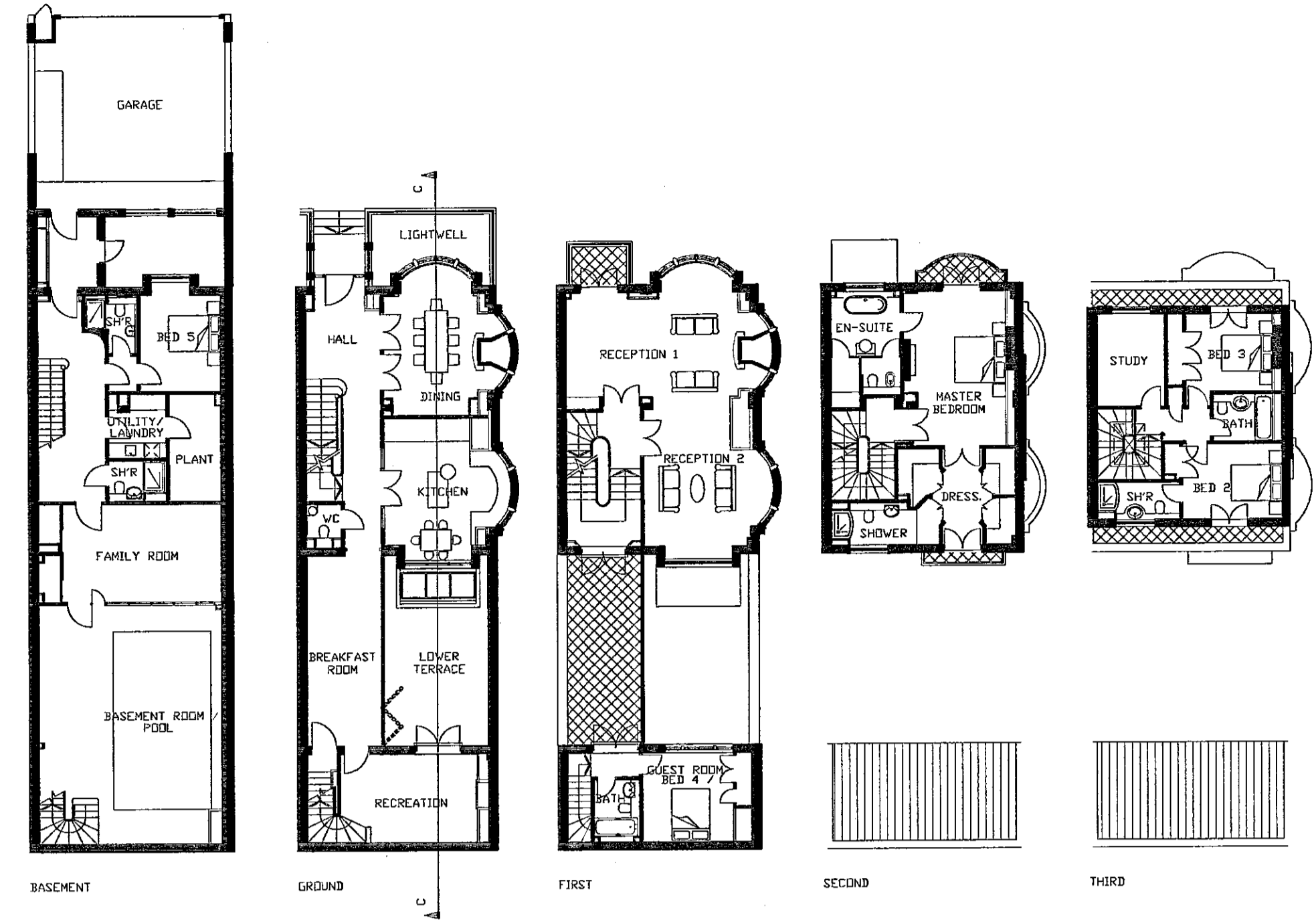
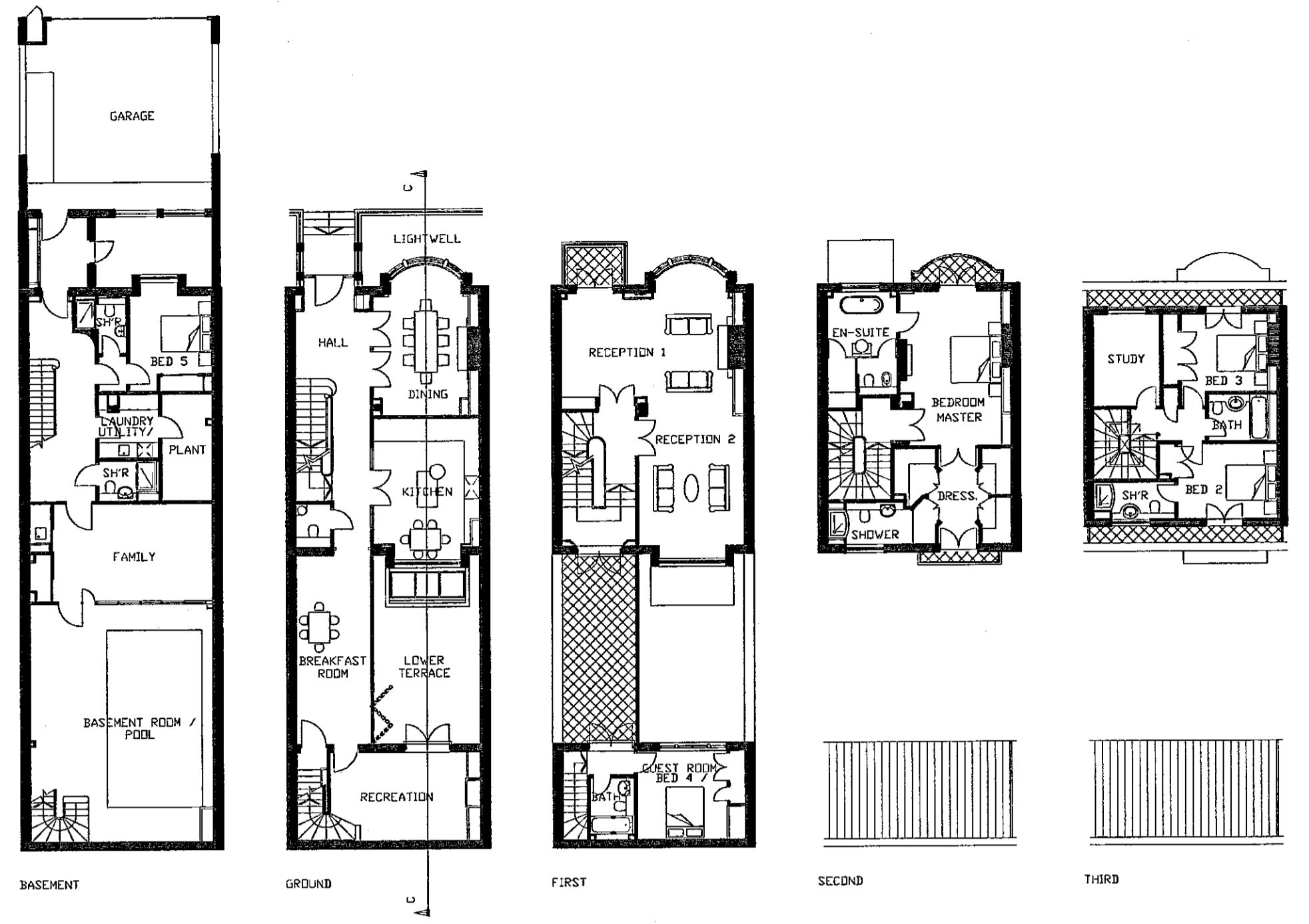
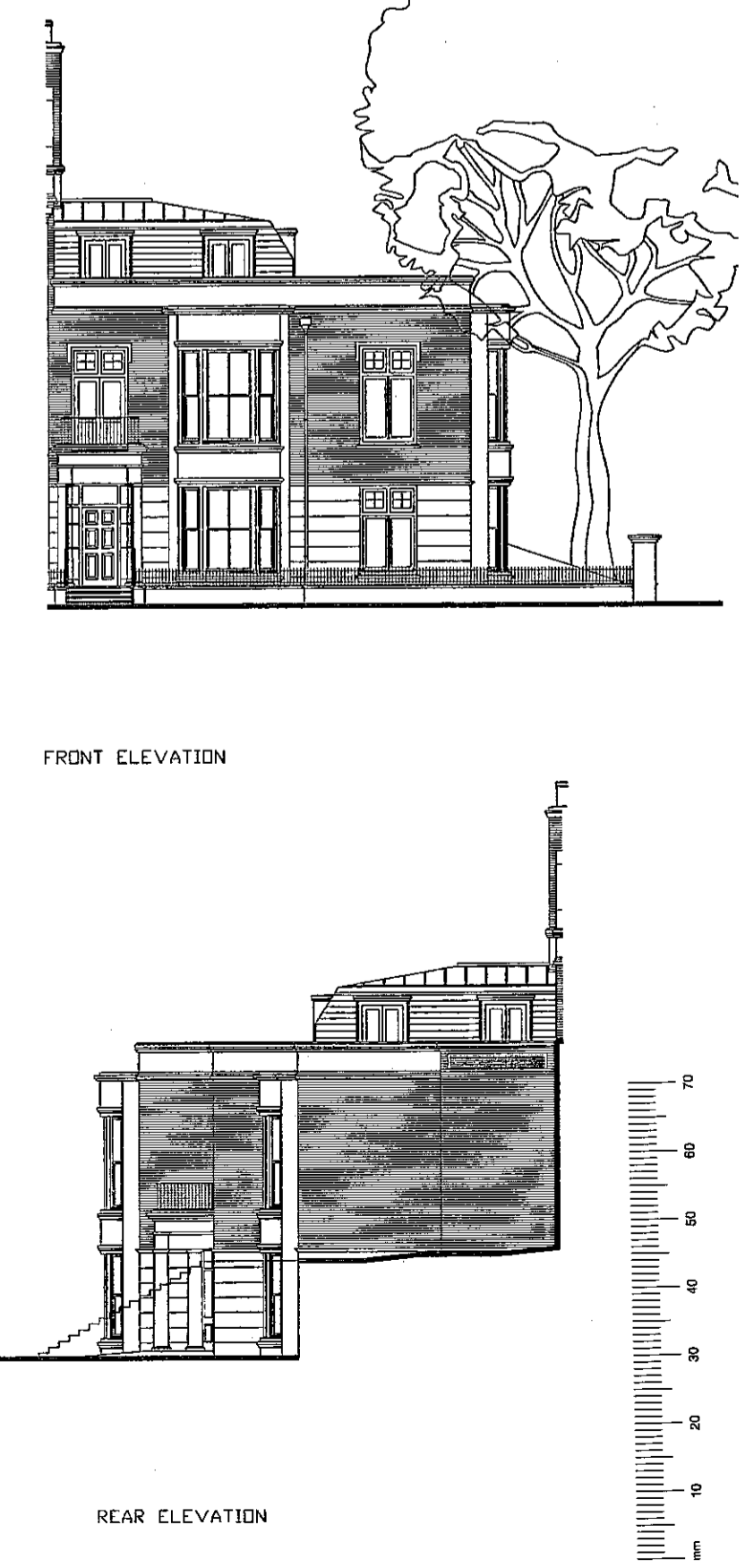


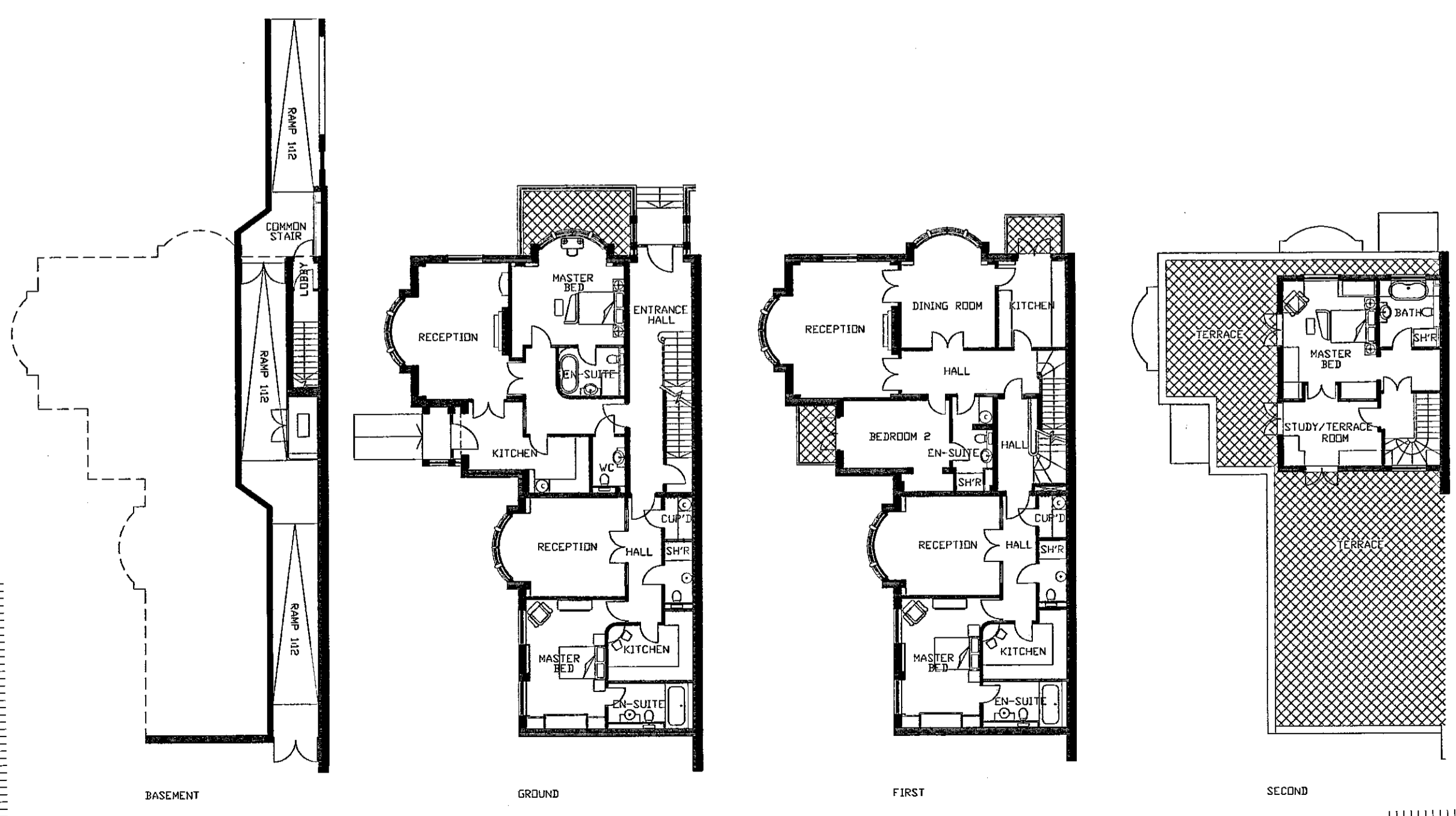
Revision	Date
A	Plans and elevations updated. 16.03.99
B	Revised for resubmission. 23.12.99
C	Minor revisions to west terrace flats roof. 13.07.00
D	West terrace extensions added. 10.8.00
E	Windows within bays amended. 24.10.01
F	Chimney design to houses revised. 9.04.02



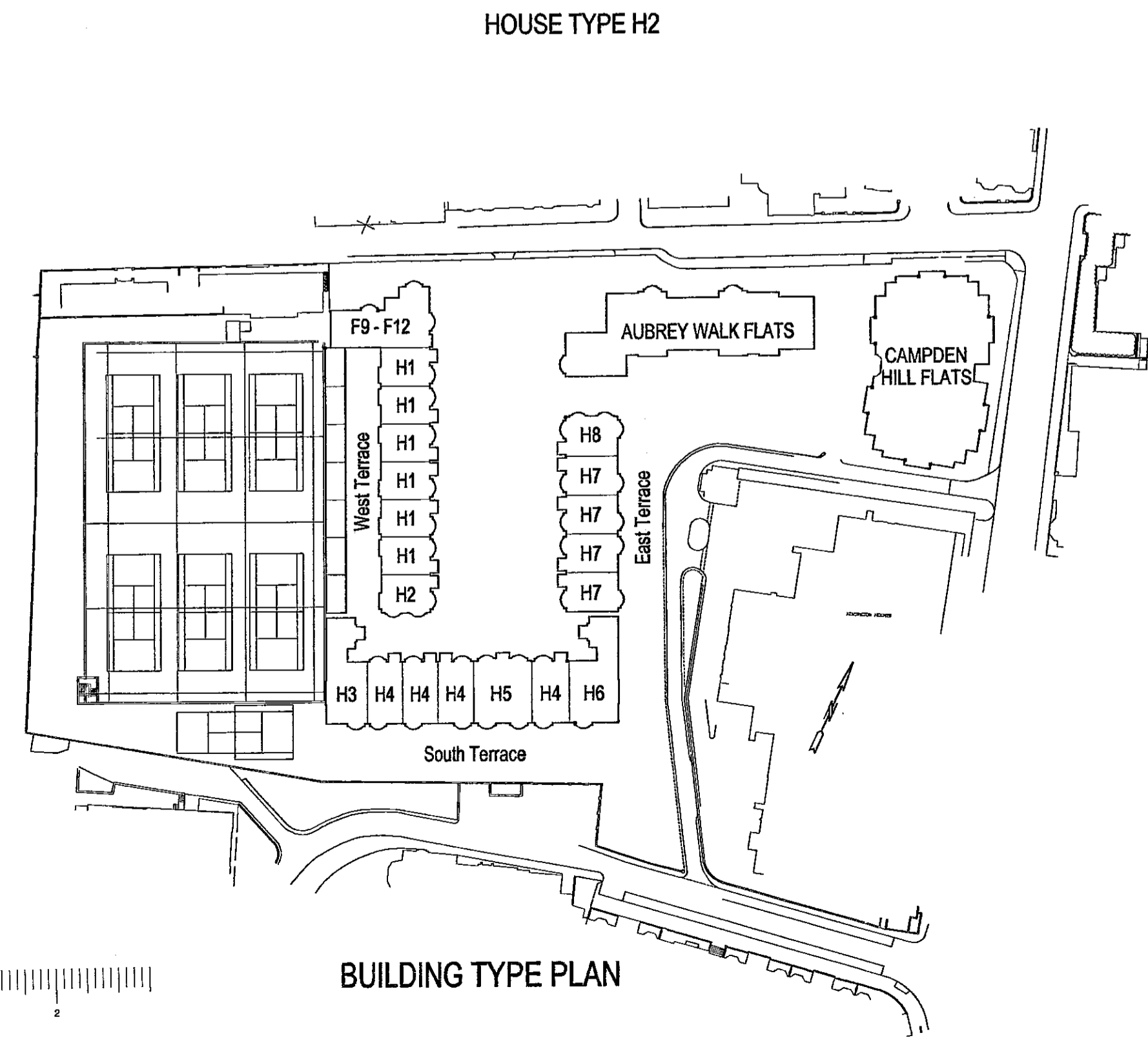
KEY
 B - FACING BRICKWORK
 ST - NATURAL STONE
 SL - NATURAL SLATE
 W - TIMBER WINDOWS
 TL - TRADITIONAL LEAD / BONDED SHEET



HOUSE TYPE H1



FLAT TYPE F9 & F10 FLAT TYPE F11 & F12

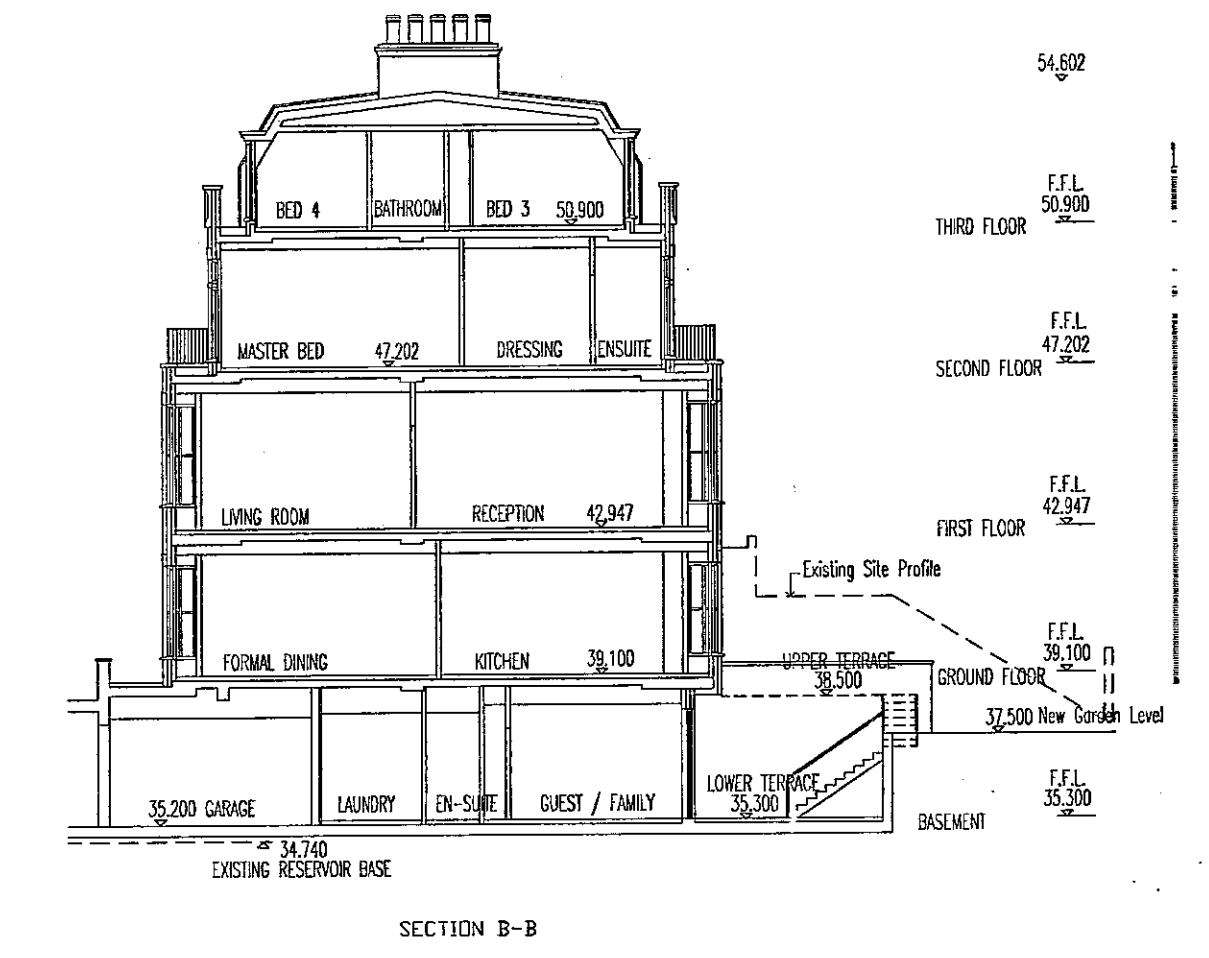
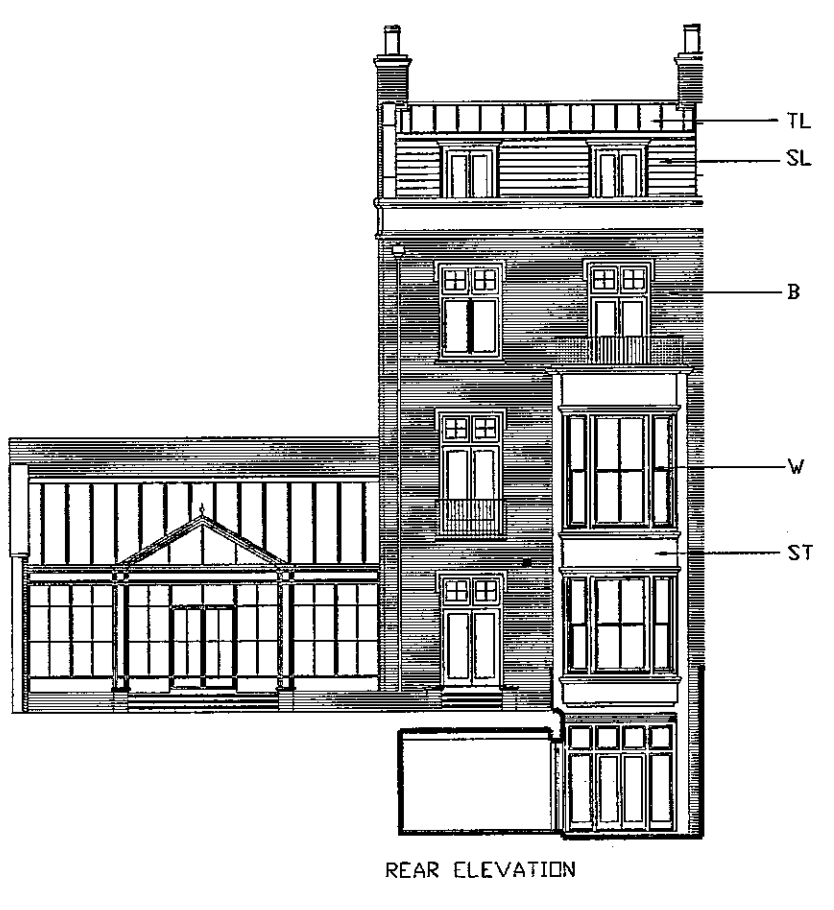
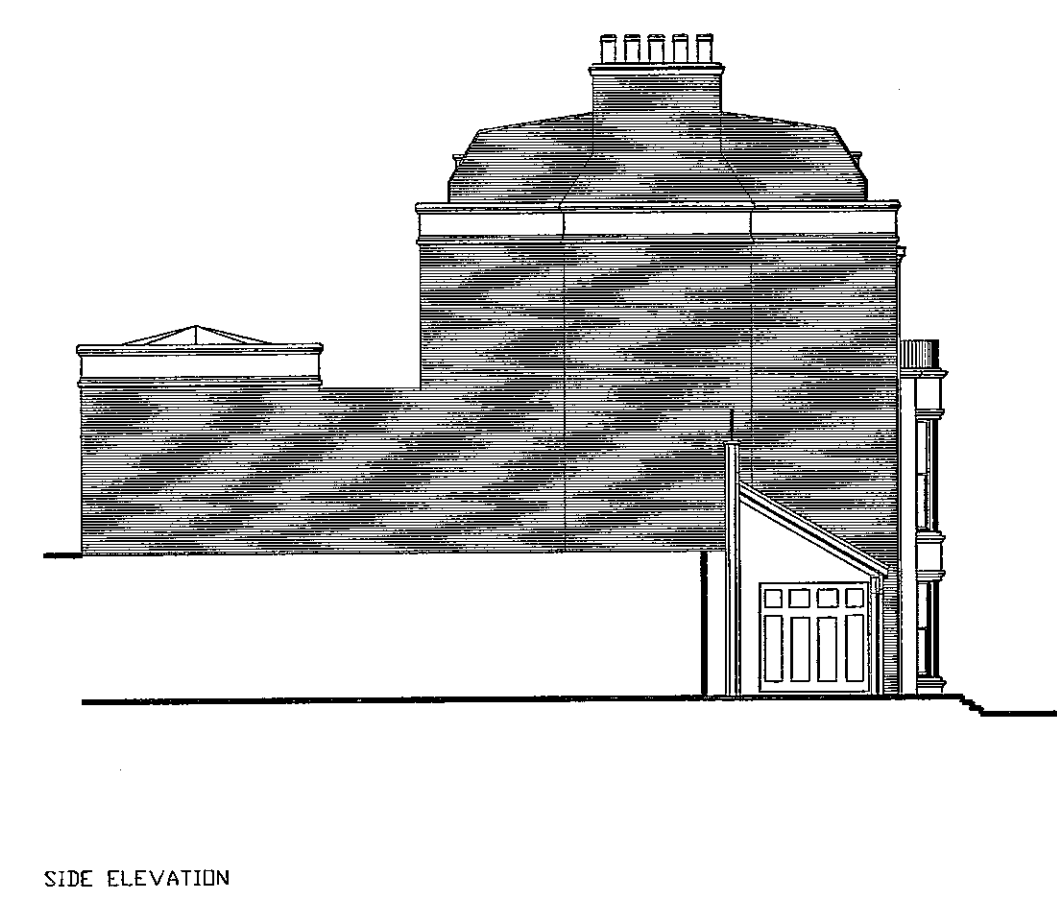
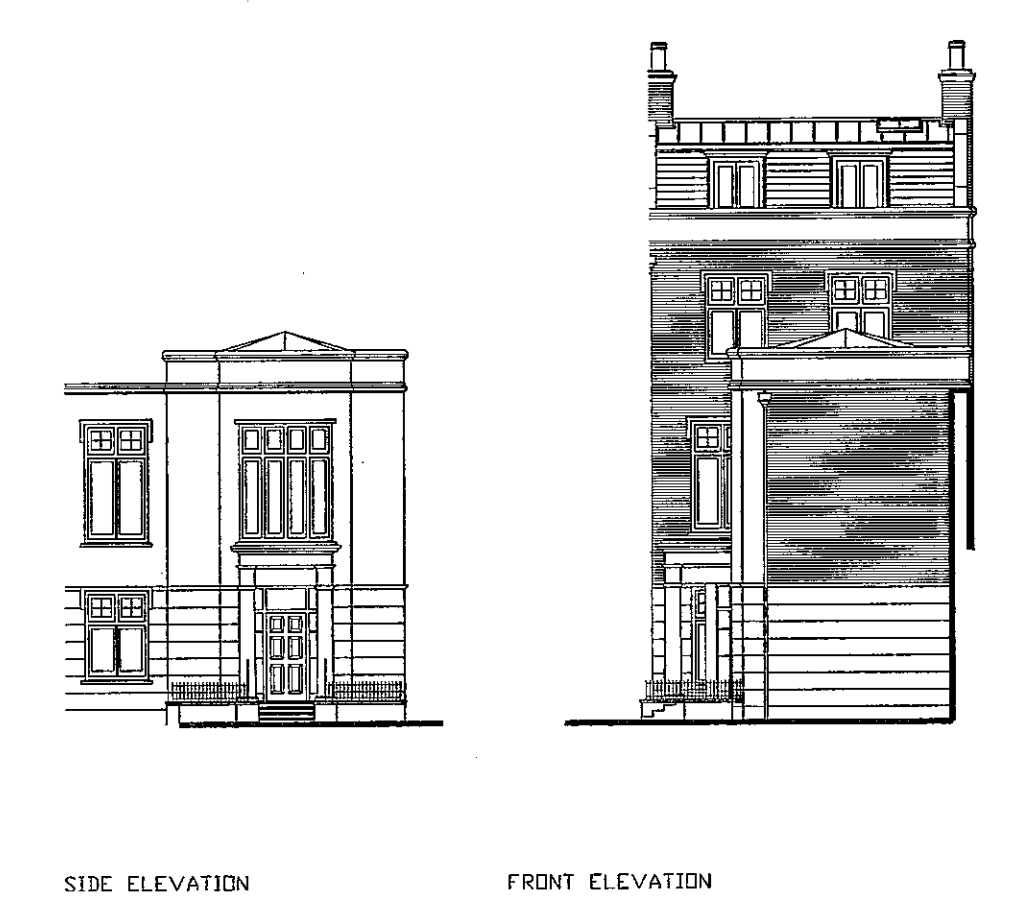
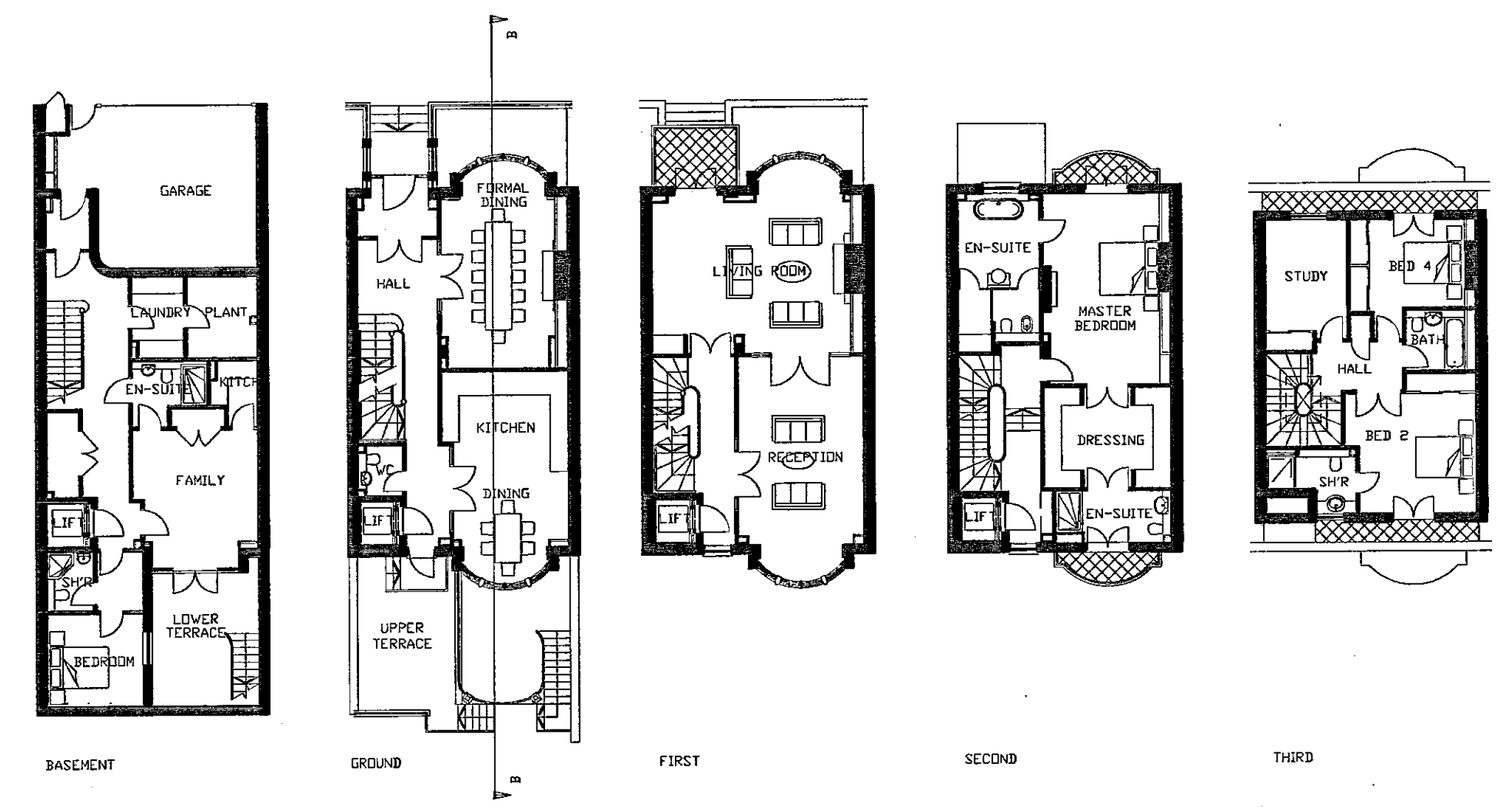
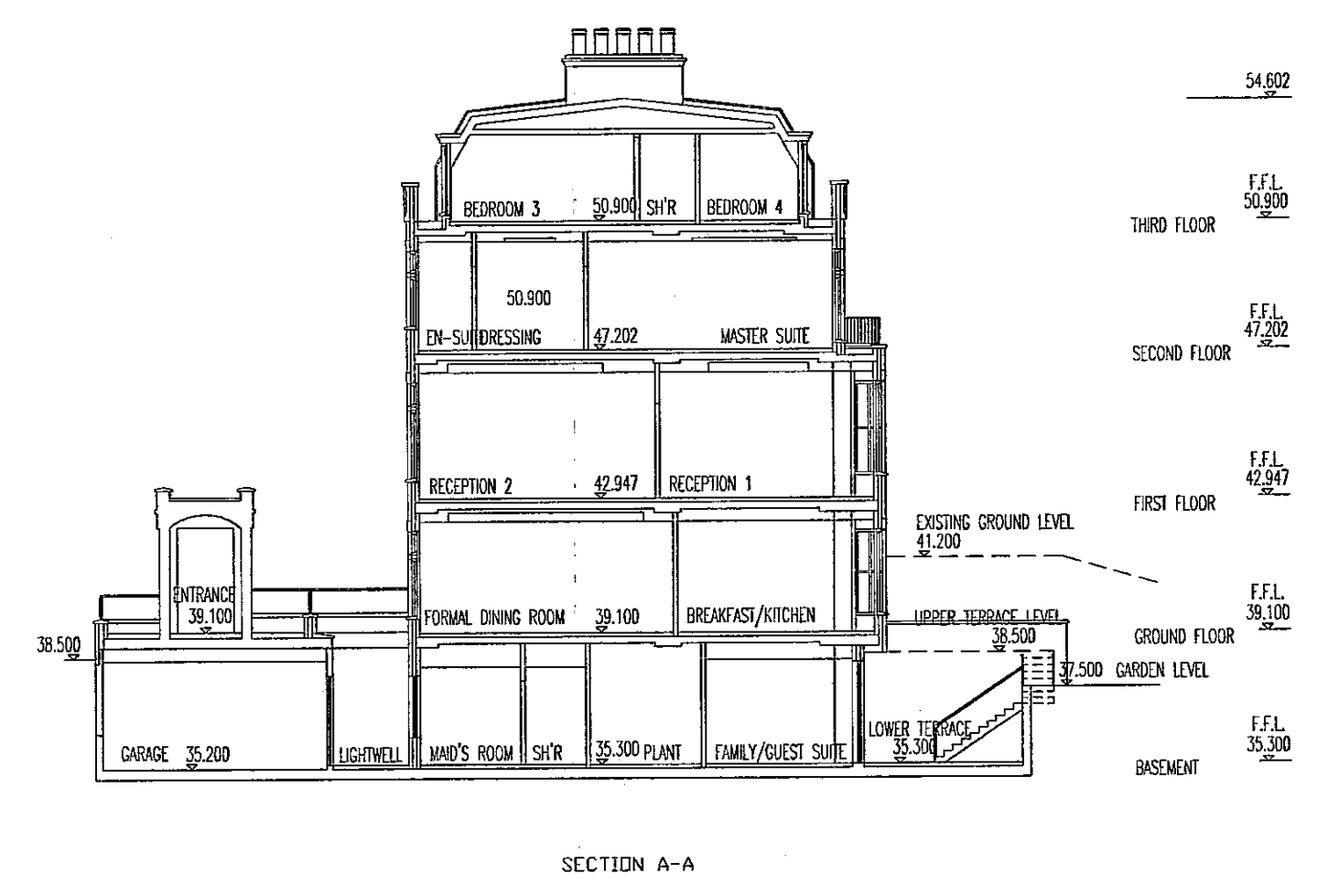
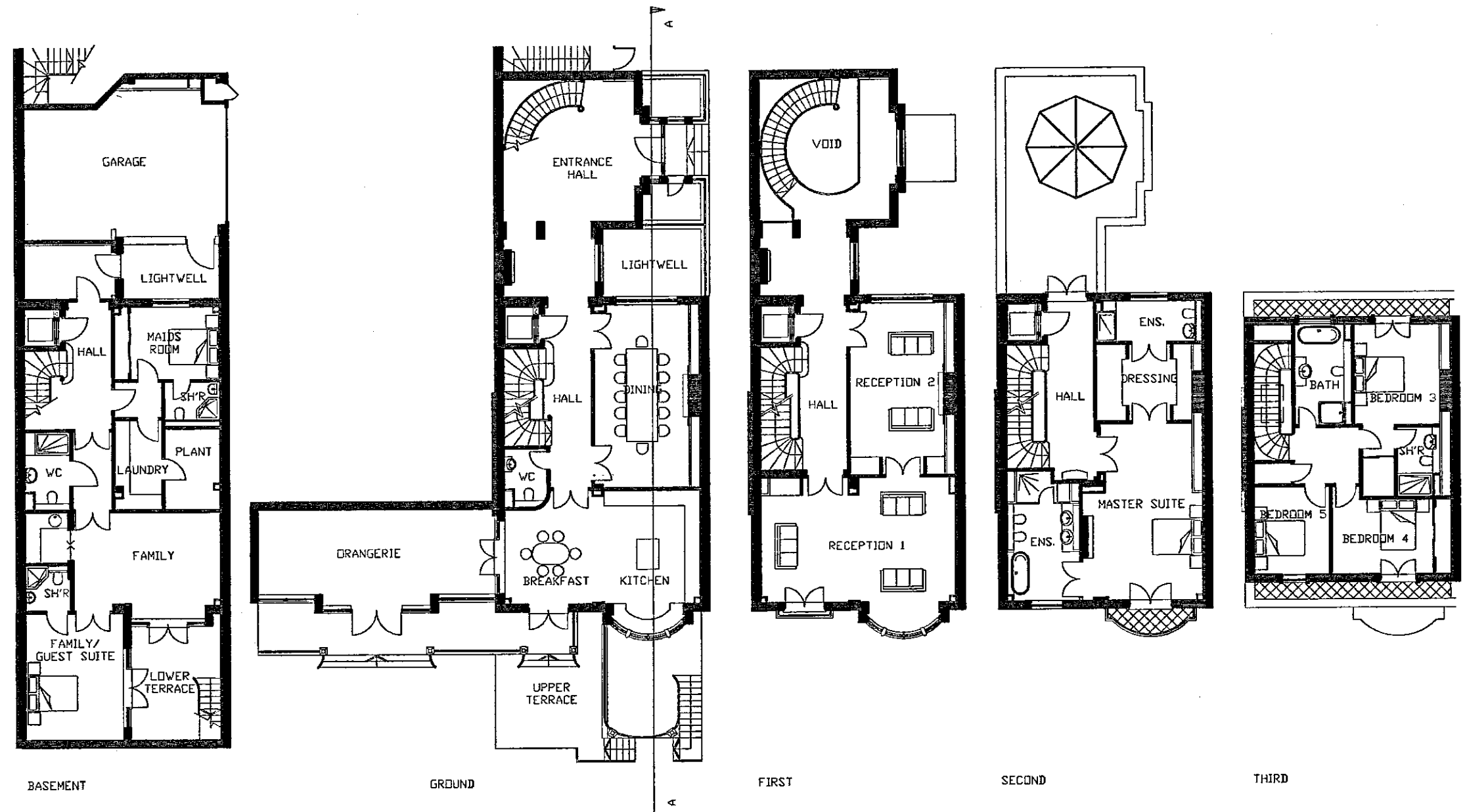


BUILDING TYPE PLAN

BroadwayMalyan
 Architects & Designers
 Woburn Hill, Addlestone
 Weybridge, Surrey KT15 2QA
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 F: +44(0)1932 856206
 E: Wey@BroadwayMalyan.com

Client
St. James Homes Ltd
 Project
Campden Hill Reservoir
 Description
House Plans H1, H2 & F9-F12
Elevations and Sections

Status
Planning
 Scale 1:200 Drawn NRS Date Dec '99
 Job number 7650 Drawing number P109 Revision E
 Original size 100mm Copyright Broadway Malyan Limited

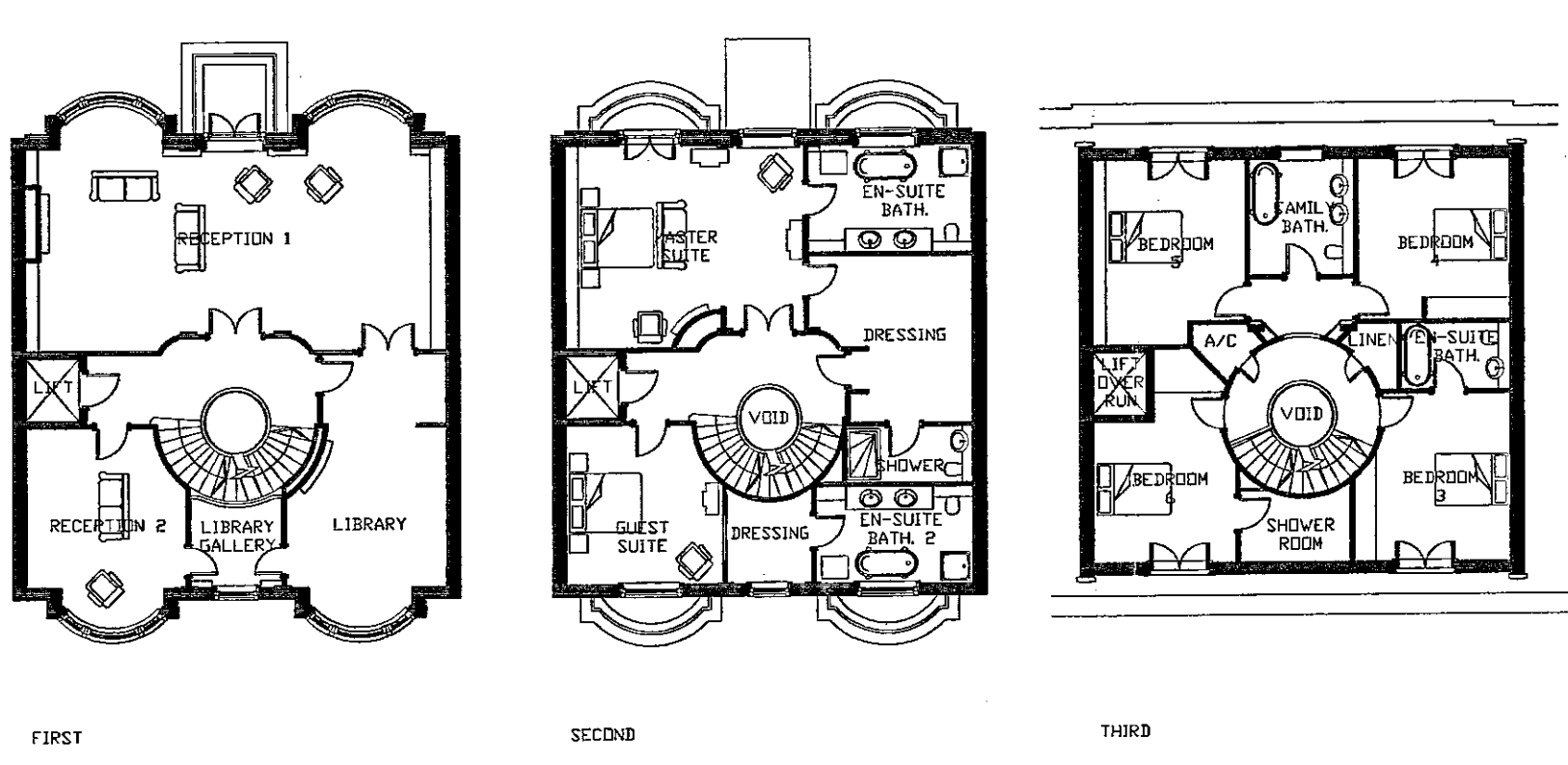
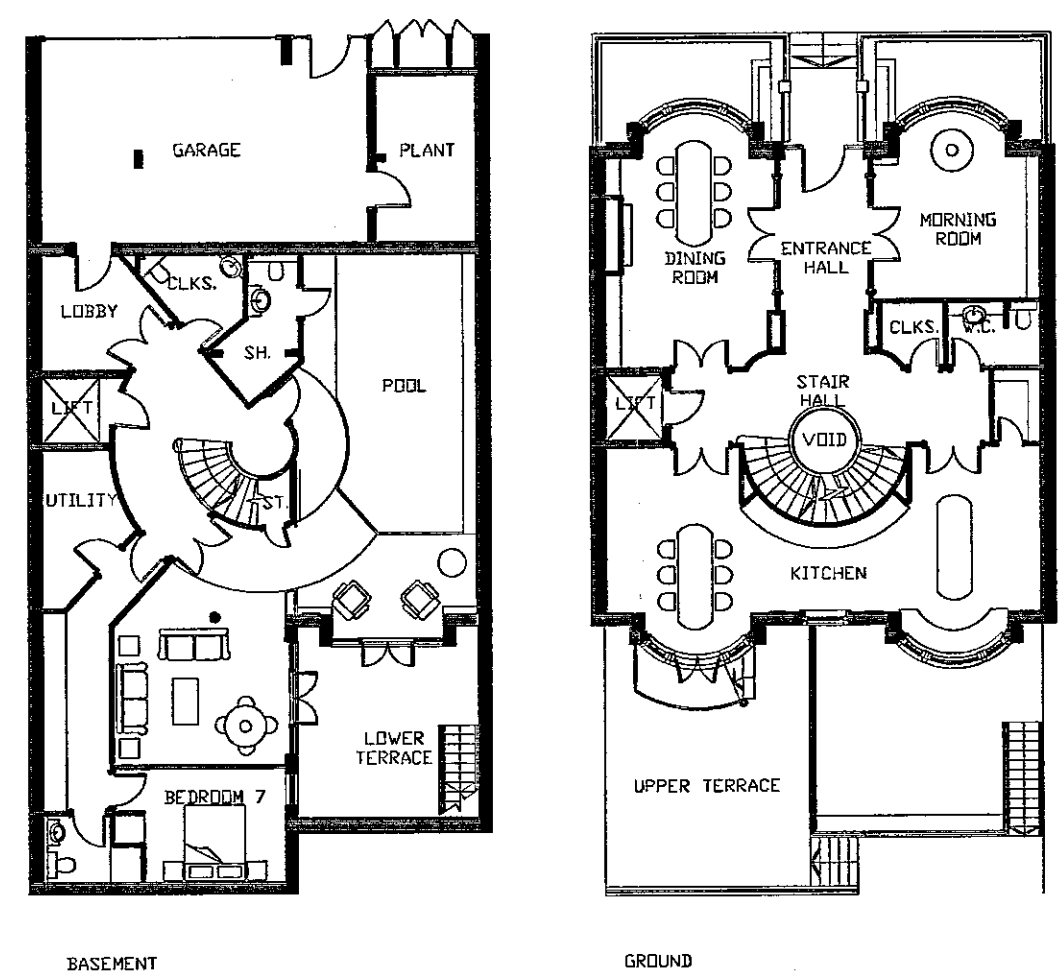
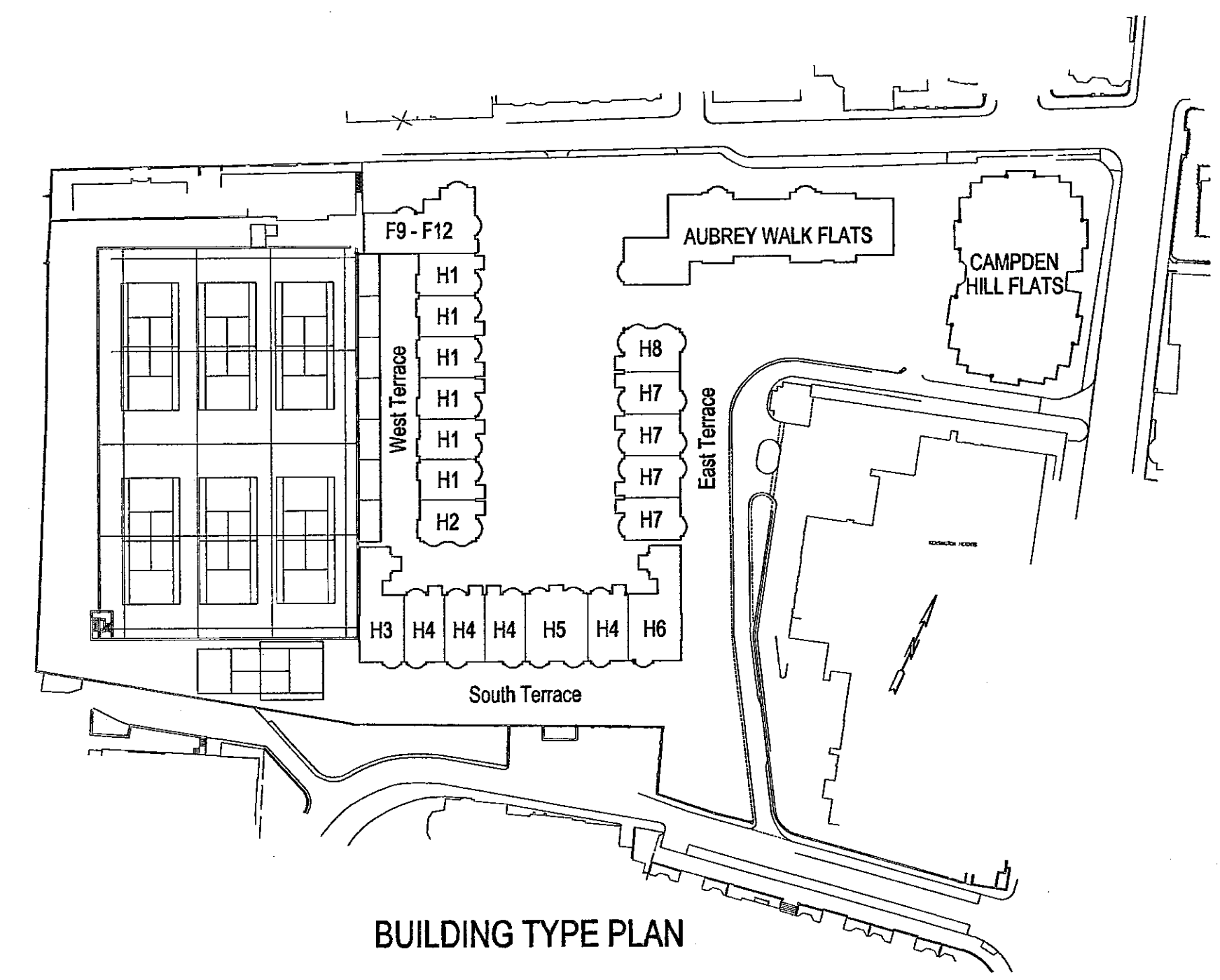


HOUSE TYPE H3

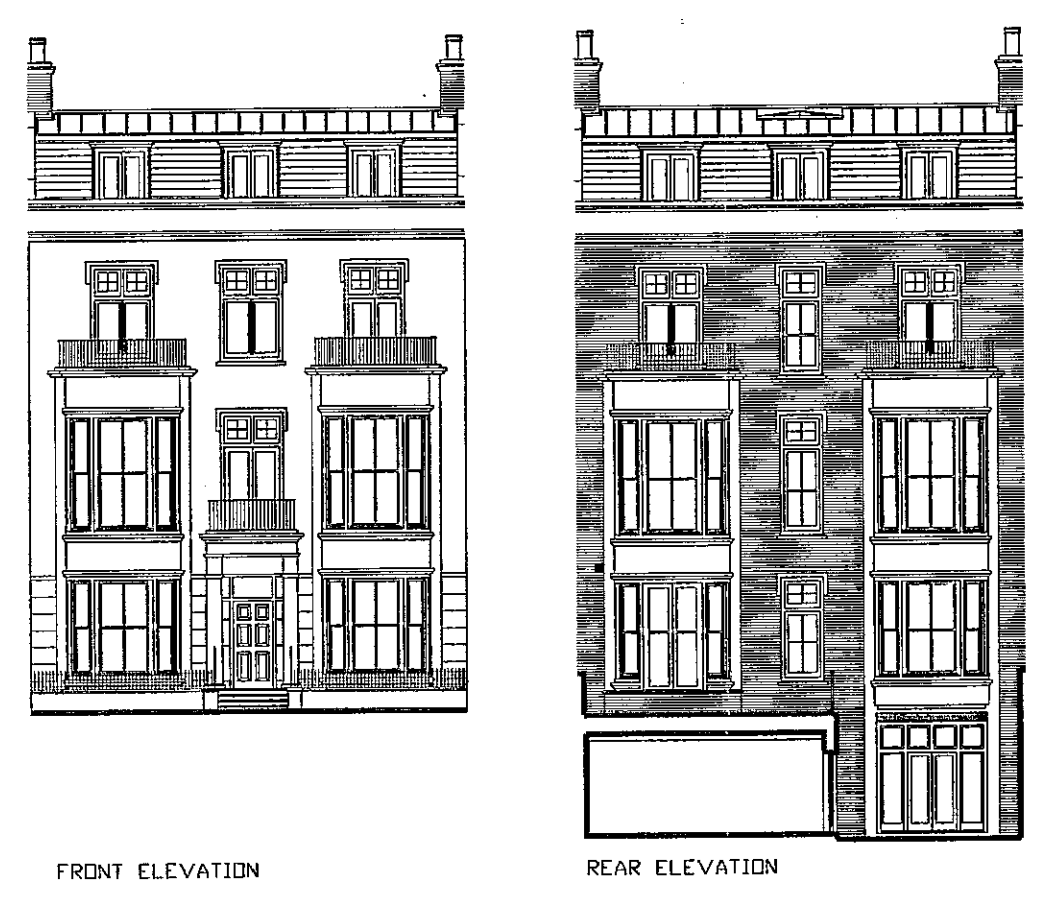
HOUSE TYPE H4

EX	HDC	TP	TCAG	AD	GLU	AO
DIR					AK	
R.B. 13 APR 2002 PLANNING						
N	I	C	SE	APP	IO	REC
ARB						PLN
						DES
						FEE

- KEY
- B - FACING BRICKWORK
 - ST - NATURAL STONE
 - SL - NATURAL SLATE
 - W - TIMBER WINDOWS
 - TL - TRADITIONAL LEAD / BONDED SHEET
- | | | |
|---|--|----------|
| G | Chimneys design to houses revised | 09.04.02 |
| F | Windows within bays amended. | 24.10.01 |
| E | Formal Dining and reception windows revised and orangerie room added to House Type H3. House Type H5 plans and elevations revised. | 21.01.01 |
| D | Southwest terrace garden rooms added for resubmission. | 16.08.00 |
| C | Rear steps revised for resubmission. | 27.07.00 |
| B | Revised for resubmission. | 23.12.99 |
| A | Plans and elevations updated. | 16.03.99 |



HOUSE TYPE H5



BroadwayMalyan
 Architects & Designers

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Client
St. James Homes Ltd

Project
Campden Hill Reservoir

Description
House Plans H3, H4, H5 Elevations and Sections

Status
Planning

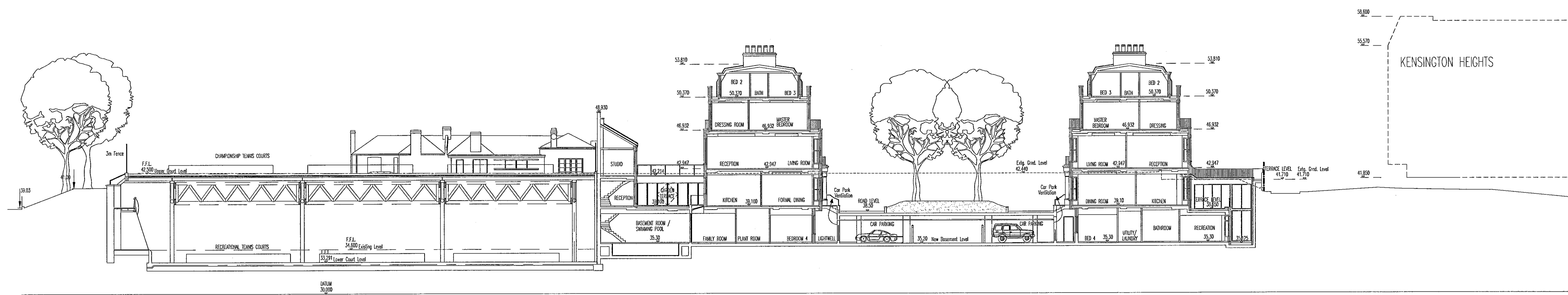
Scale	Drawn	Date
1:200	NRS	Dec '99
Job number	Drawing number	Revision
7650	P108	G

Original size 100mm Copyright Broadway Malyan Limited

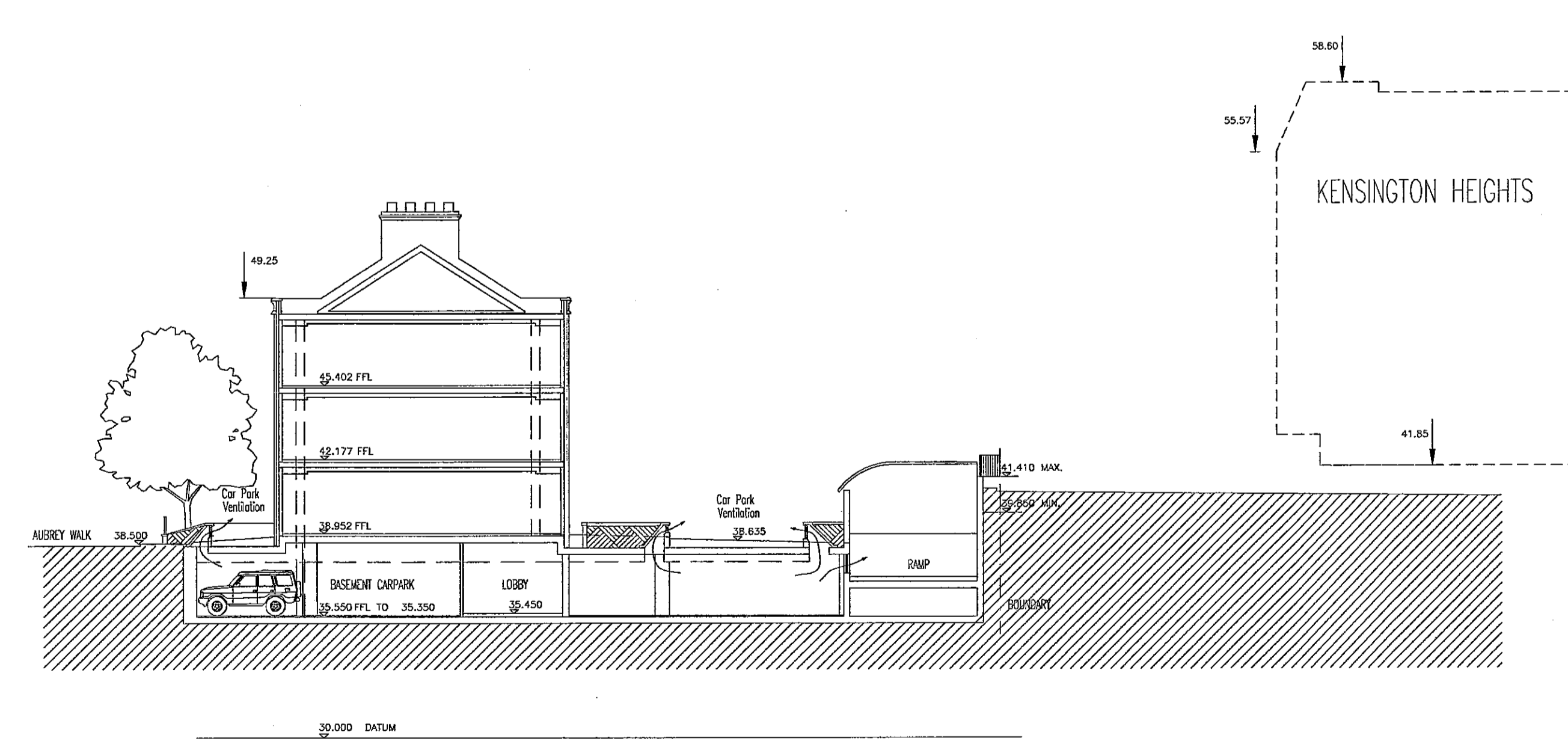
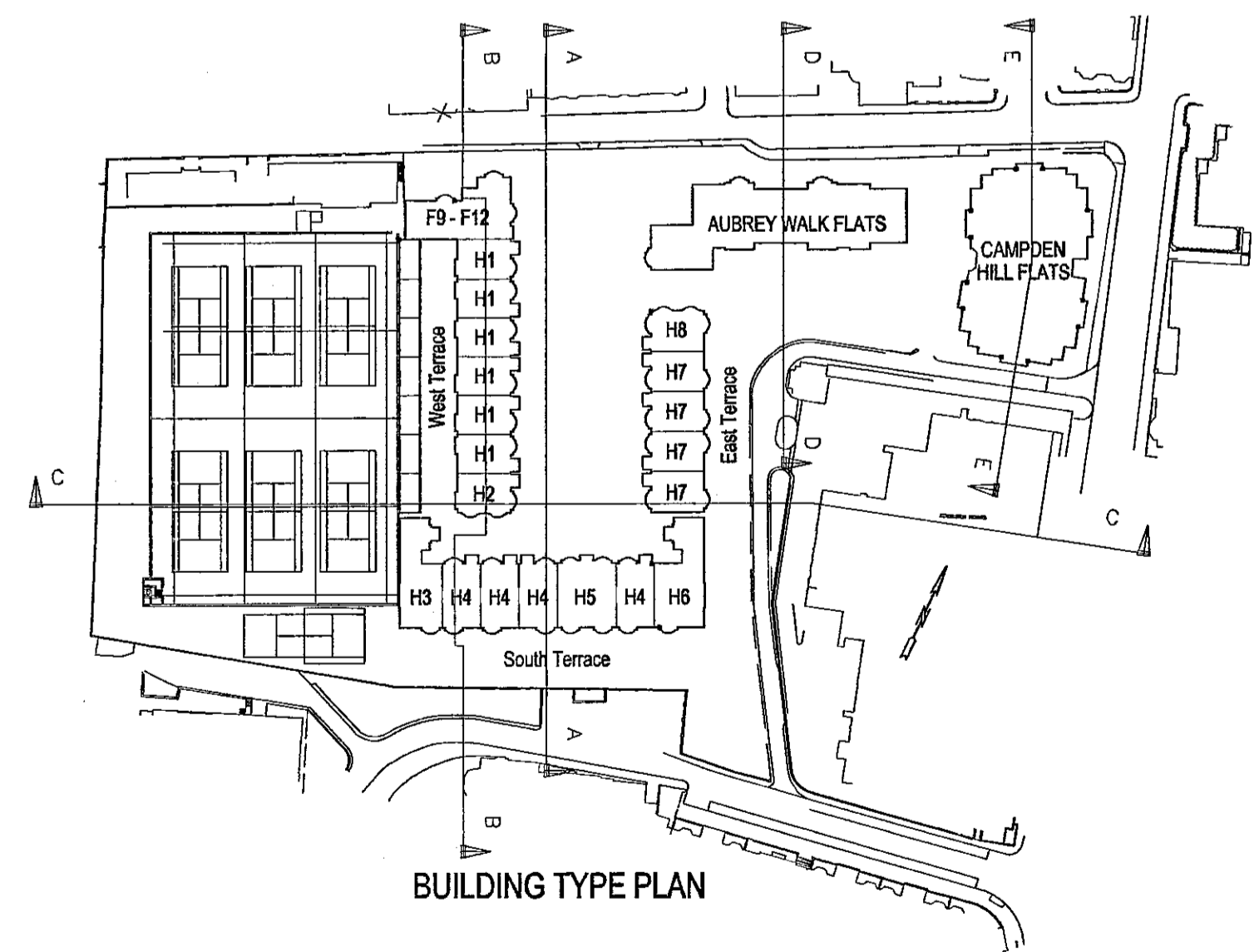
TP/99/0733 (18)
 Contractors are not to scale dimensions from this drawing

EX	HDC	TP	CAC	AD	OLU	AO	AK
R.B.	K.C.	15	APR	2002	PLANNING		
N	C	SW	BE	APP	IO	REC	
		ARE	FPLN	DES	FEE		

Revision _____ Date _____



SECTION C-C



SECTION D-D

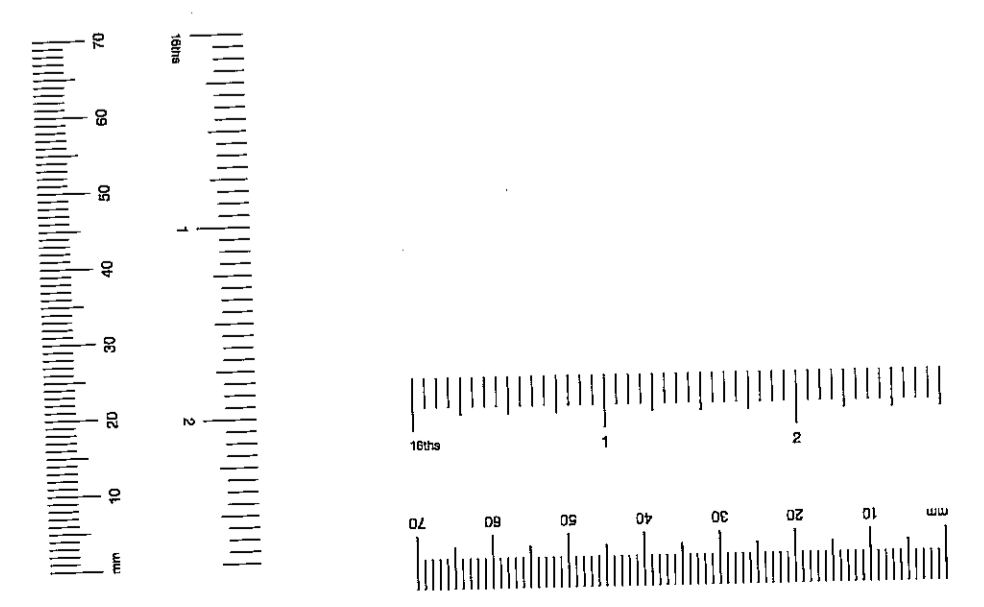
- J Chimney design to houses revised 09.04.02
- H Windows within bays amended. 24.10.01
- G East Terrace revised, Section C-C. 27.02.01
- F Boundary adjacent to Kensington Heights revised for resubmission. 22.11.00
- E East terrace garden room added for resubmission. 23.08.00
- D West terrace extensions added. 10.8.00
- C Tennis court glazing & Campden Hill flats section revised for resubmission. 18.07.00
- B Revised for submission. 23.12.99
- A Sections and keyplan updated. 16.03.99

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 F: +44(0)1932 856206
 E: Wey@broadwaymalyan.com

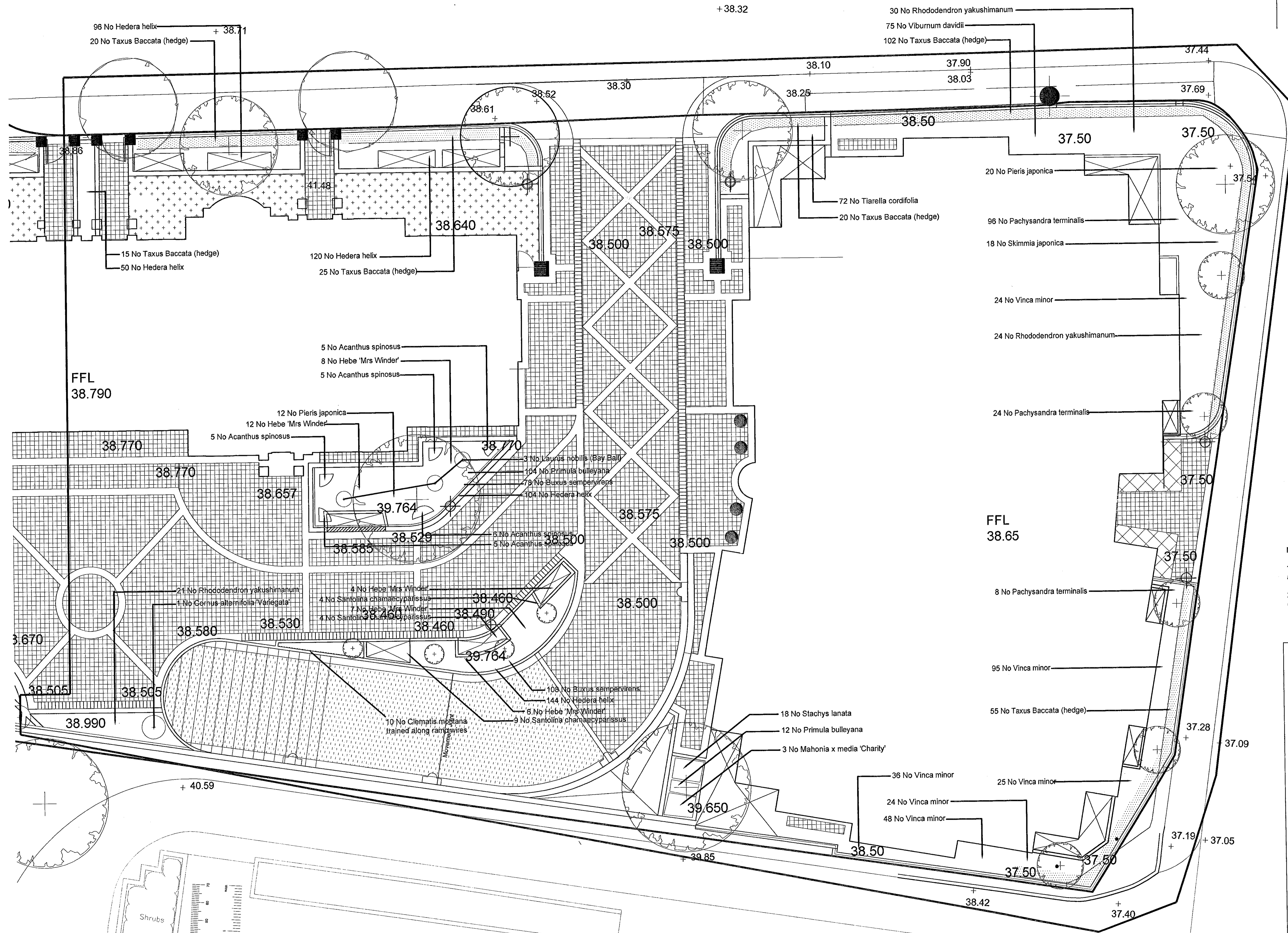
Client
St. James Homes Ltd
 Project
Campden Hill Reservoir
 Description
Site Sections C-C & D-D

Status
Planning
 Scale 1:200 Drawn _____ Date **Dec '99**
 Job number 7650 Drawing number P107 Revision J
 Original size 100mm Copyright Broadway Malyan Limited



Contractors are not to scale dimensions from this drawing

Revision	Date
A Amendments to schedule	FA 06.03.03
B Species and specifications amended in agreement with TC Landscapes in response to availability issues.	CPJ 08.09.03



LEGEND

- Metal Plant Container
See note on DWG. 10337/172
- Existing Trees Retained
- Proposed Trees
- Gravel
- Existing Vegetation to be Retained
- Proposed Shrubs
- Proposed Grass, Turf (C30/501.NBS)
- Proposed Hedges
- Low Wall with Railings

Notes:

1. Refer to Drawing 10337/175 for details of trees and grass areas.
2. Refer to Drawing 10337/172 and 174 for details of planting areas A, B & C.

CLU	AC	AK
CPJ	ADU	REC
11 SEP 2003	PLANNING	
K.C.		
N	C	SW
ARE	PLN	DES
ARE	PLN	DES

Broadway Malyan Landscape

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Weybridge, Surrey KT15 2BW
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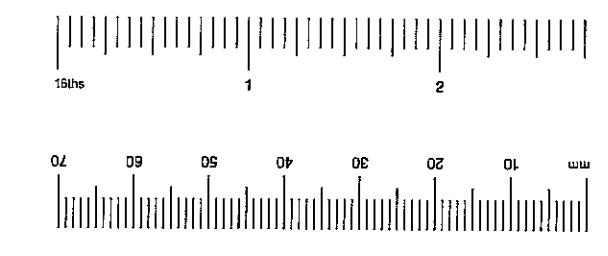
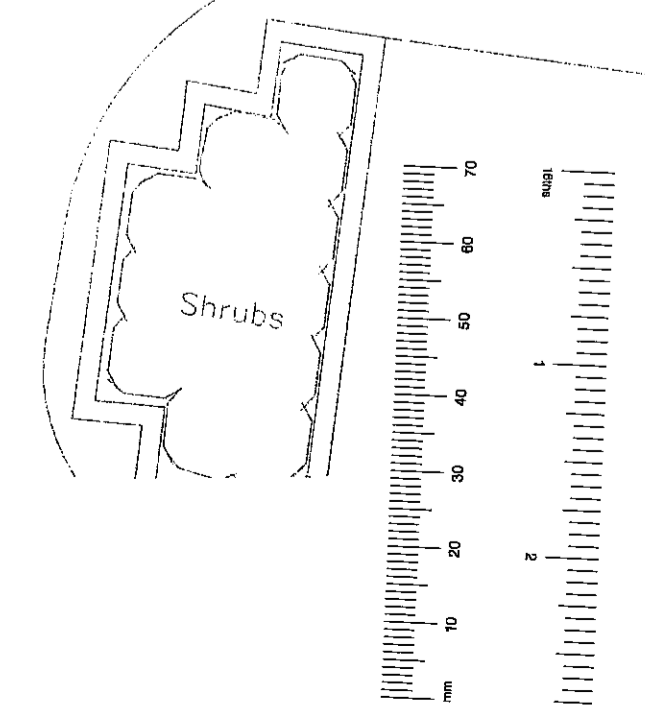
Client

ST JAMES HOMES
Project
Aubrey Walk Campden Hill Res.
Description
Planting Plan 2 of 4
Area B

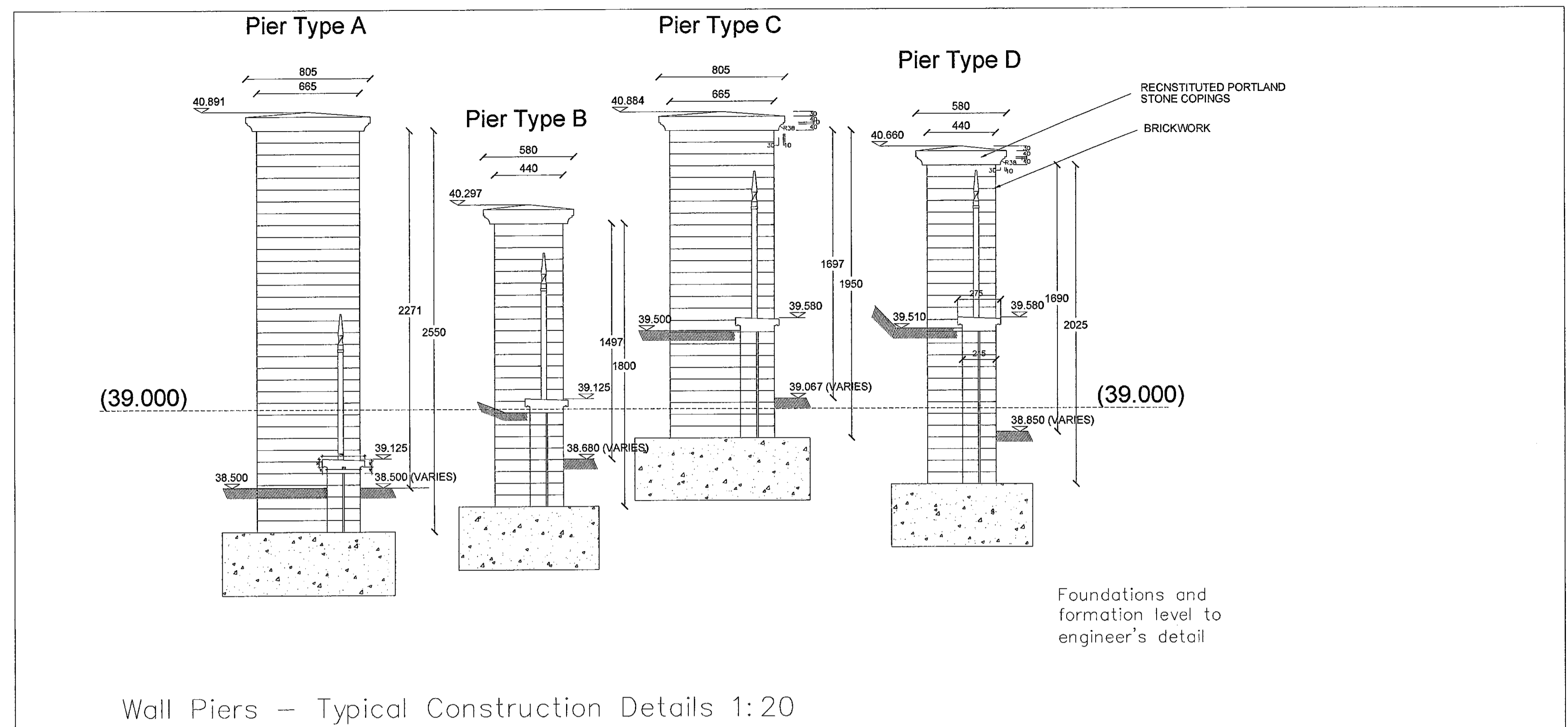
CONSTRUCTION

Scale	Drawn	Date
1:100@A1	CPJ	Sept 2003
Job number	Drawing number	Revision
10337	173	B

Original size 1000mm Copyright Broadway Malyan Limited



Contractors are not to scale dimensions from this drawing



NOTE:

Coping and capping units to be reconstituted Portland stone to exactly match existing, by Malling Precast or similar approved.

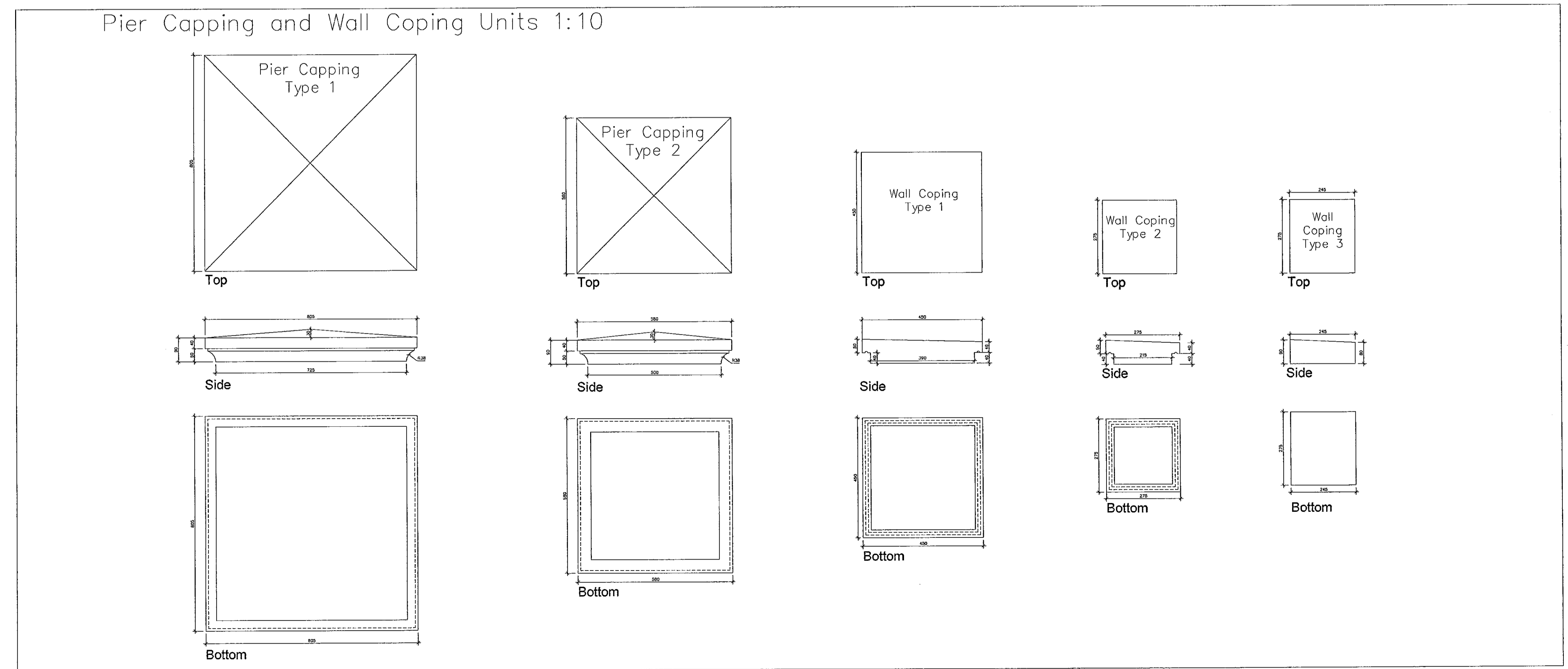
Wall coping type 3 to be used where planter wall steps out to accommodate light columns.

Some copings are radiused - refer to BML-10337-90-524, coping and capping units layout plan.

Refer to BML-10337-90-125 for latest scheme layout and BML-10337-90-522 for sections and details locations.

Refer to Con-Tech (tel: 01226 244 051) drawings CT445-01-06 and GA01 for stone coping details.

- A Amendments to walls and railings to reflect VE meetings 02.07.03
- Wall coping type 2 revised
- 2 For Construction 11.07.03
- 3 Wall coping type 3 added 14.07.03
- 4 Reference to wall coping details added. 29.07.03



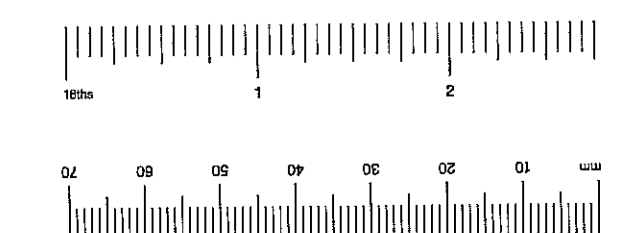
EX DIR	HDC	TP	CAC	AD	CLU	AC	AK
R.E.	K.C.	11 SEP 2003	PLANNING				
N	C	SM	SE	APP	IO	REC	

BroadwayMalyan Landscape

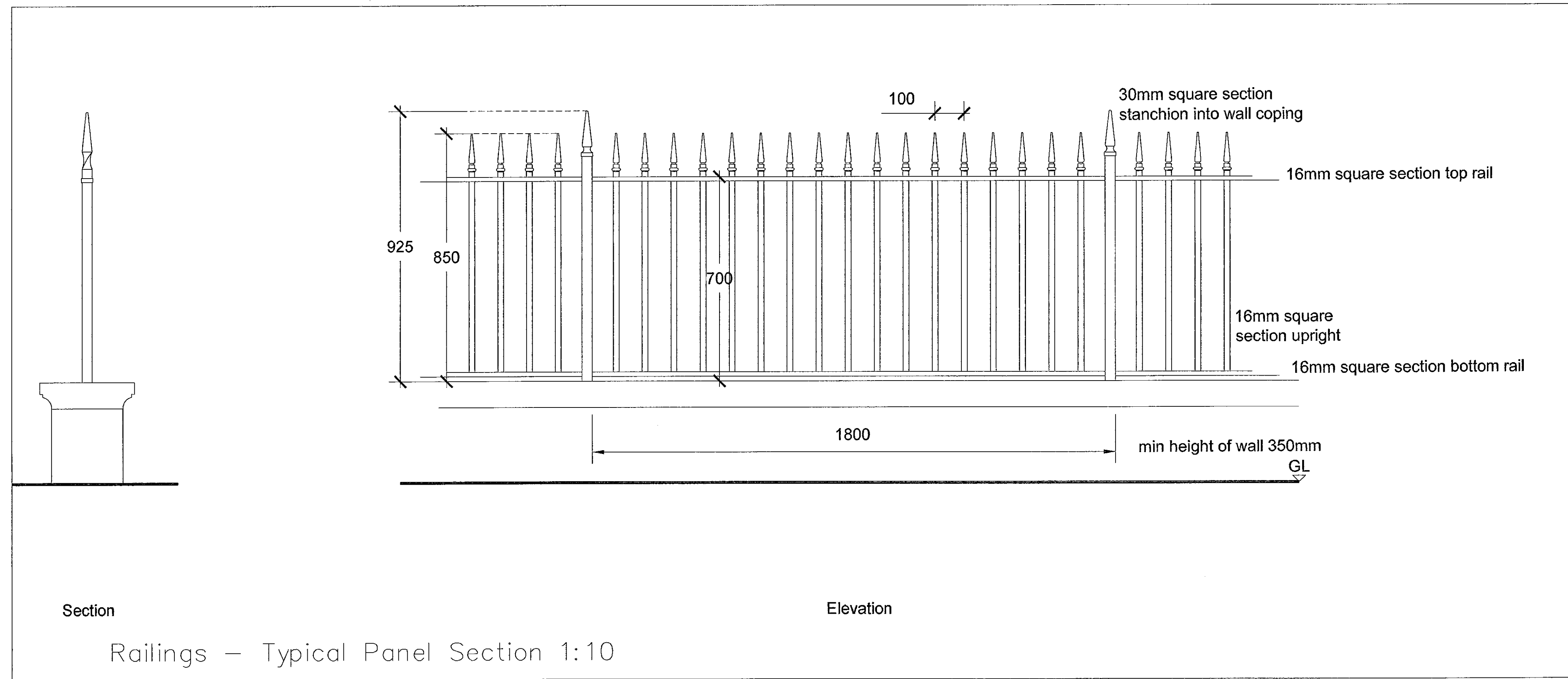
Bas Warehouse
 Castle Street, Castlefield
 Manchester, M3 4LZ
 T: +44 (0)161 819 2277
 F: +44 (0)161 819 2332
 E: Man@BroadwayMalyan.com

Client
St. James Homes Ltd
 Project
Campden Hill Reservoir
 Description
Wall Coping and Capping Units Standard Details

Status
For Construction
 Scale Drawn Date
 AsShown@A1 CPJ July 2003
 Job number Drawing number Revision
 10337 L-90-520 4



Contractors are not to scale dimensions from this drawing
 NOTE: All measurements approximate. To be checked against on site cast wall dimensions.
 REVISION:
 3 Reference to Con-Tech wall coping details added 28.07.03

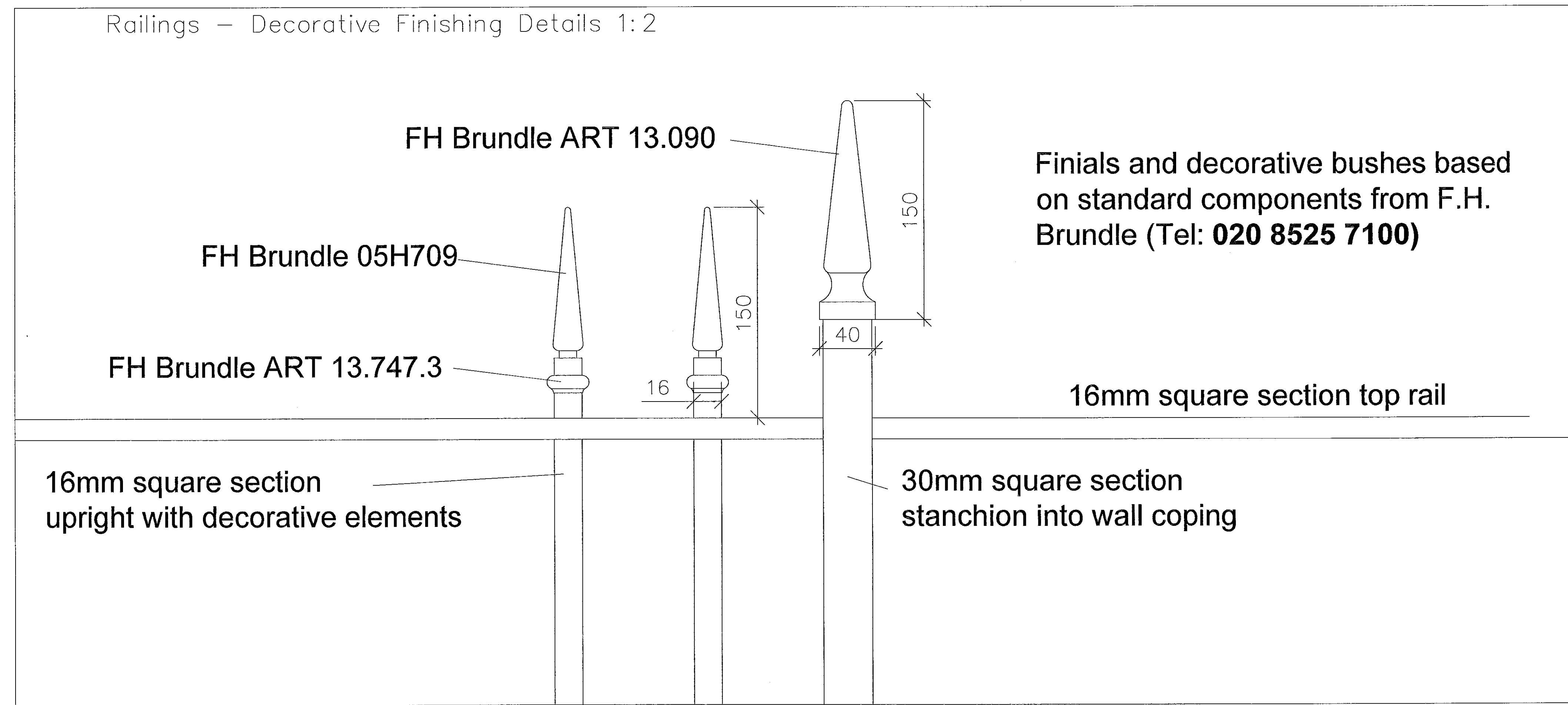


Section

Elevation

Railings - Typical Panel Section 1:10

NOTE:
 Railings to be P & R Precision and General Engineering Ltd or similar approved (Tel: 01322-556273). Refer to drawings R/D/9, 11, 12 for details.
 Railings to be grit blast, hot zinc spray (Becryzi powder coat black ral no. 9005 satin).
 Railing decorative elements:
 FH Brundle
 Bow Industrial Park
 Carpenters Road
 LONDON
 E15 2DZ
 tel: 020 8525 7100
 freefax: 0800 731 4850
 Refer to BML-10337-90-125, site layout plan.
 Refer to Con-Tech (tel: 01226 244 051) drawings CT445-01-06 and GA01 for stone coping details.



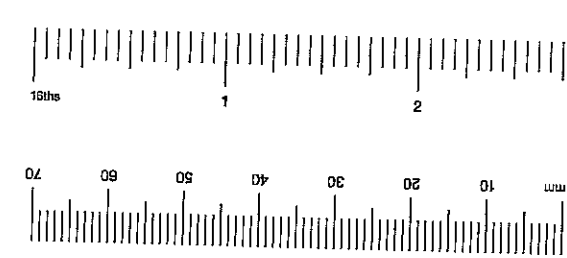
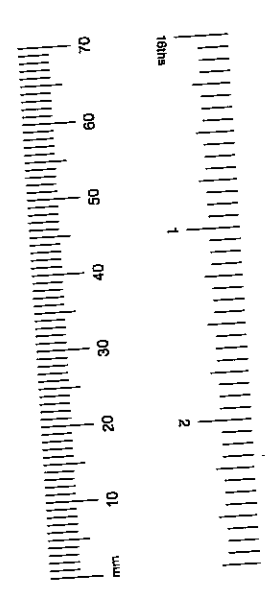
Finials and decorative bushes based on standard components from F.H. Brundle (Tel: 020 8525 7100)

CHK	HDC	TP	CAC	AD	CLU	AC	AK
R.B.	K.C.	11 SEP 2003	PLANNING				
11	1	1	1	1	1	1	1

BroadwayMalyan
 Landscape
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 E: Man@BroadwayMalyan.com

Client
St. James Homes Ltd
 Project
Camden Hill Reservoir
 Description
1400mm Span Railings
Typical Details

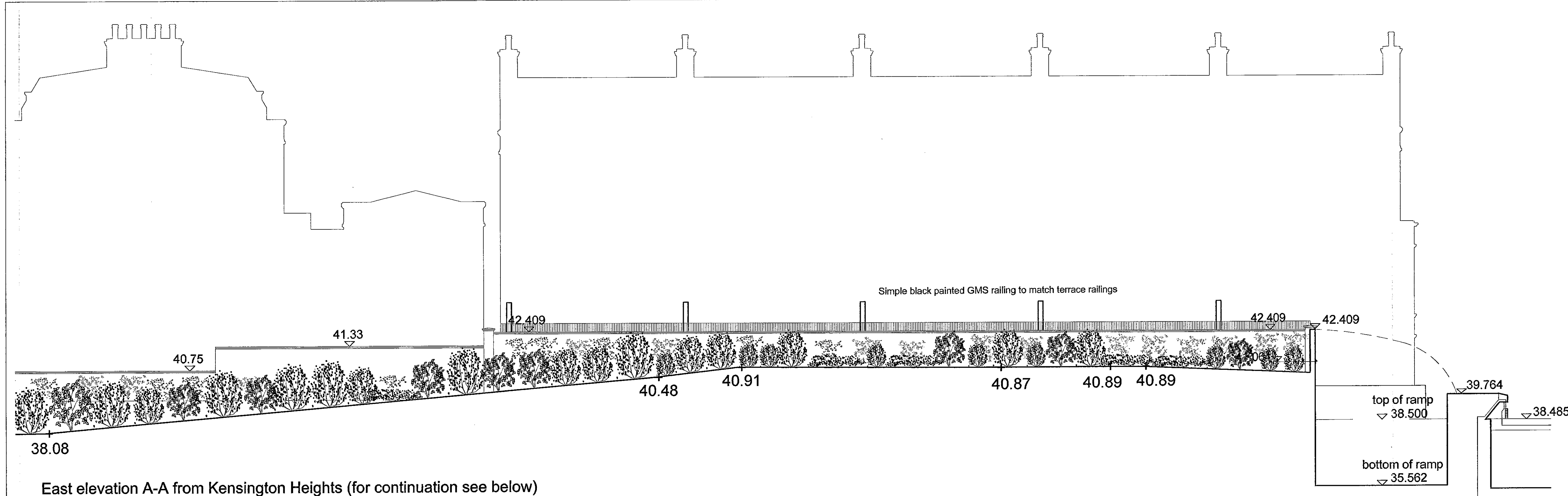
Status
For Construction
 Scale Drawn Date
AsShown@A1 CPJ June 2003
 Job number Drawing number Revision
10337 L-90-525 3



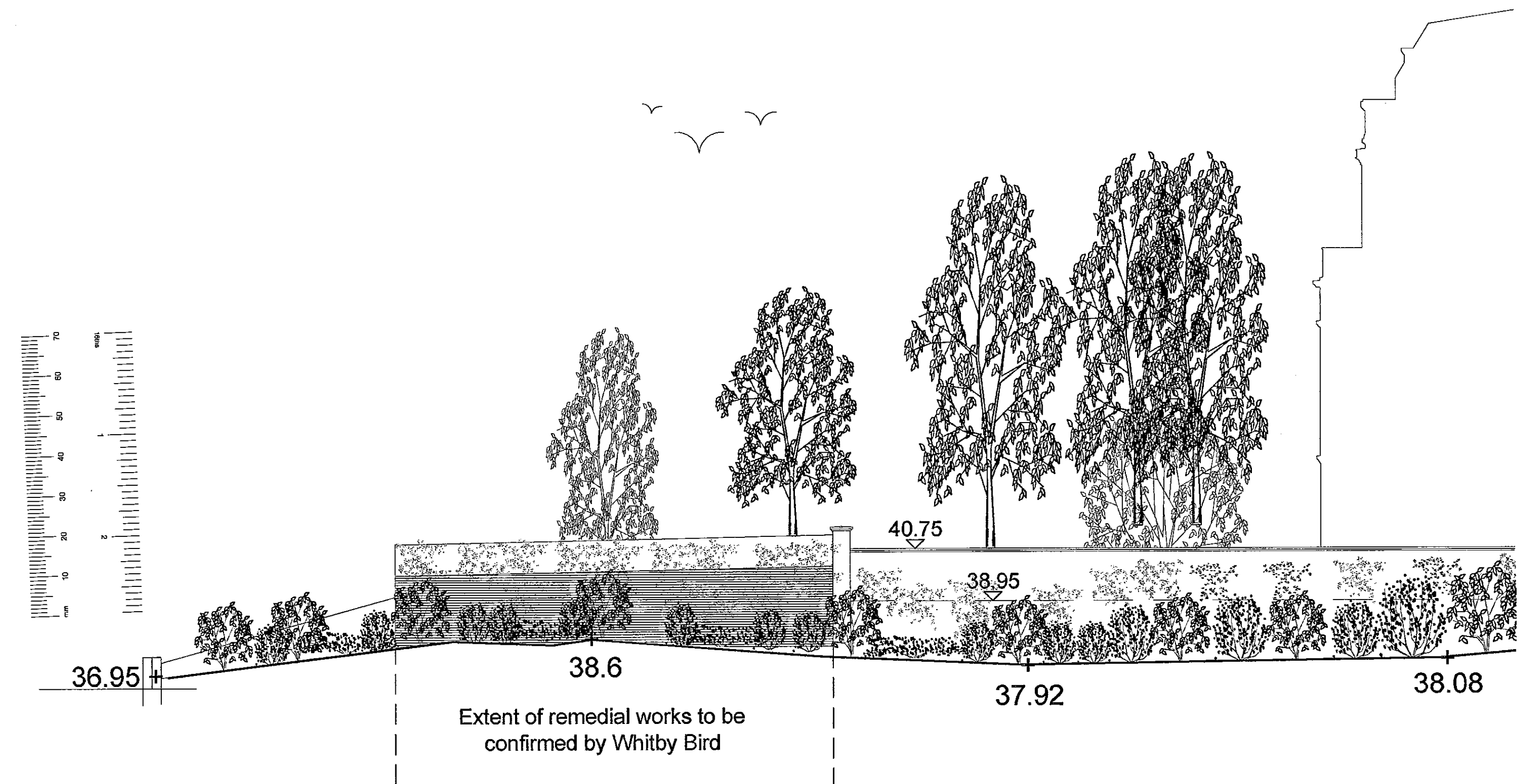
Contractors are not to scale dimensions from this drawing

Revision	Date	
A	Revision of Pergola and boundary wall details	14.12.99
B	Basement ramp indicated on elevation B-B Minor amendments	21.01.00
C	Change to railing detail	18.02.00
D	Railings replaced by walls on elevation A-A and part B-B, piers shown	01.03.00
E	Heights of wall at elevation B-B amended.	28.03.00
F	Elevation A-A revised to show new land purchase, elevation B-B corrected.	24.05.00
G	Portion of existing wall at end of elevation A-A retained.	30.8.00
H	Elevation A-A revised in line with revised upper terrace level. Elevation B-B amended to match.	24.11.00
J	Issued for Tender	15.03.02
K	Elevation developed, section B-B and C-C moved to dwg No 151	06.08.02
L	Minor updates	07.10.02
M	Amendments to reflect VE meetings	18.06.03

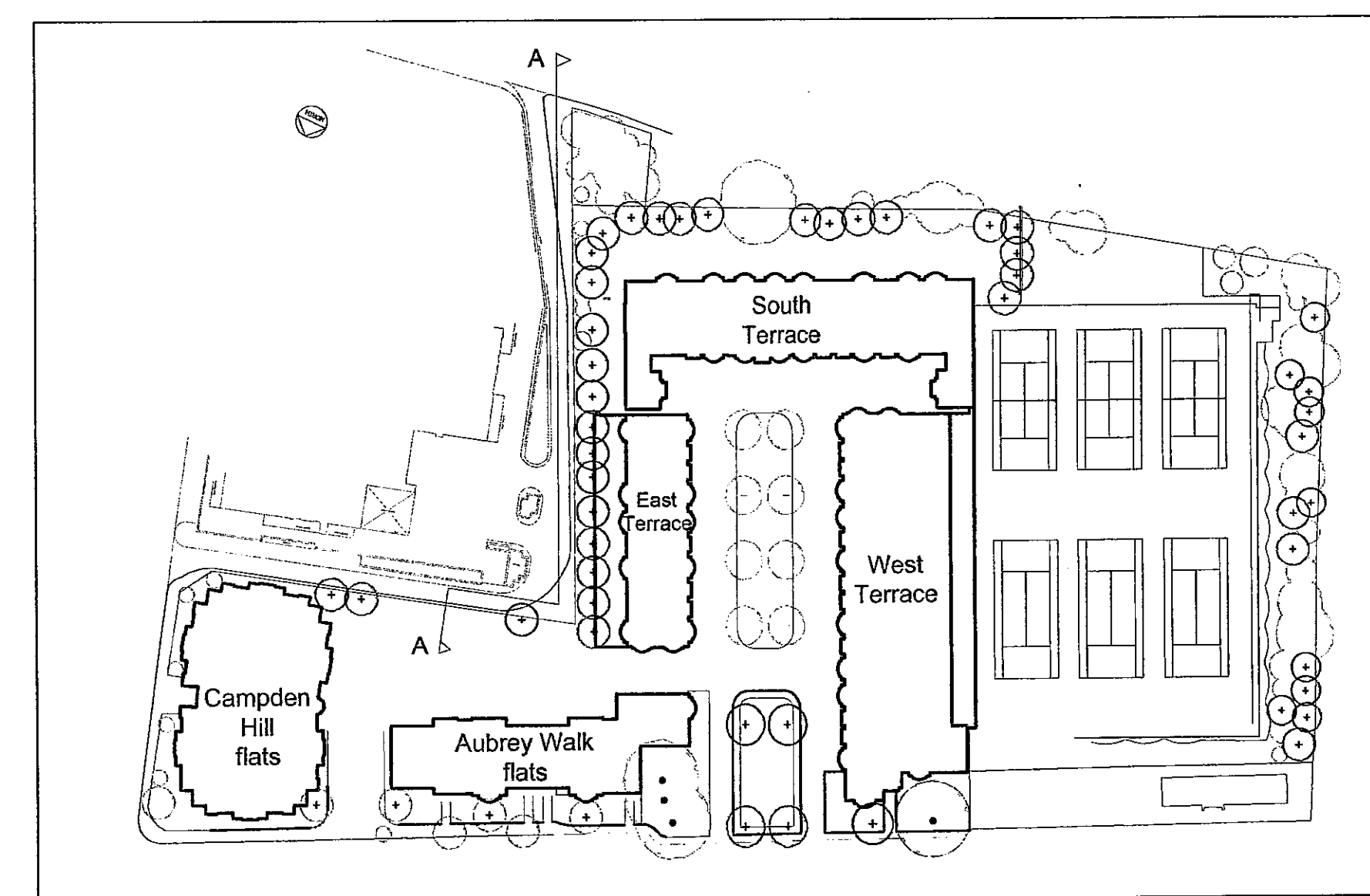
NOTE:
Refer to BML-10337-90-125 for latest scheme layout.
Refer to BML-10337-90-520 for wall coping and capping unit details.
Refer to BML-10337-90-525 for railing details.
Refer to BML-10337-90-522 for section and details location plan.



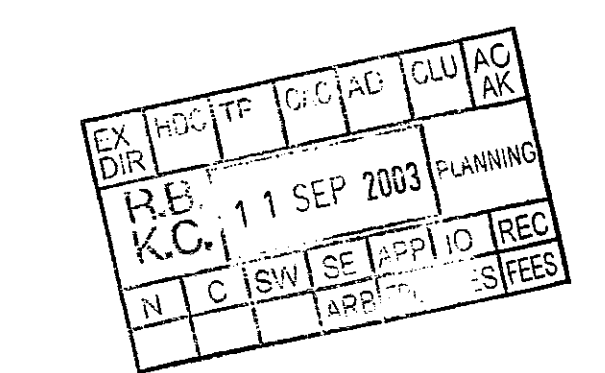
East elevation A-A from Kensington Heights (for continuation see below)
Scale 1:100



(continuation from above) East elevation A-A from Kensington Heights
Scale 1:100



Siteplan
Scale 1:1000



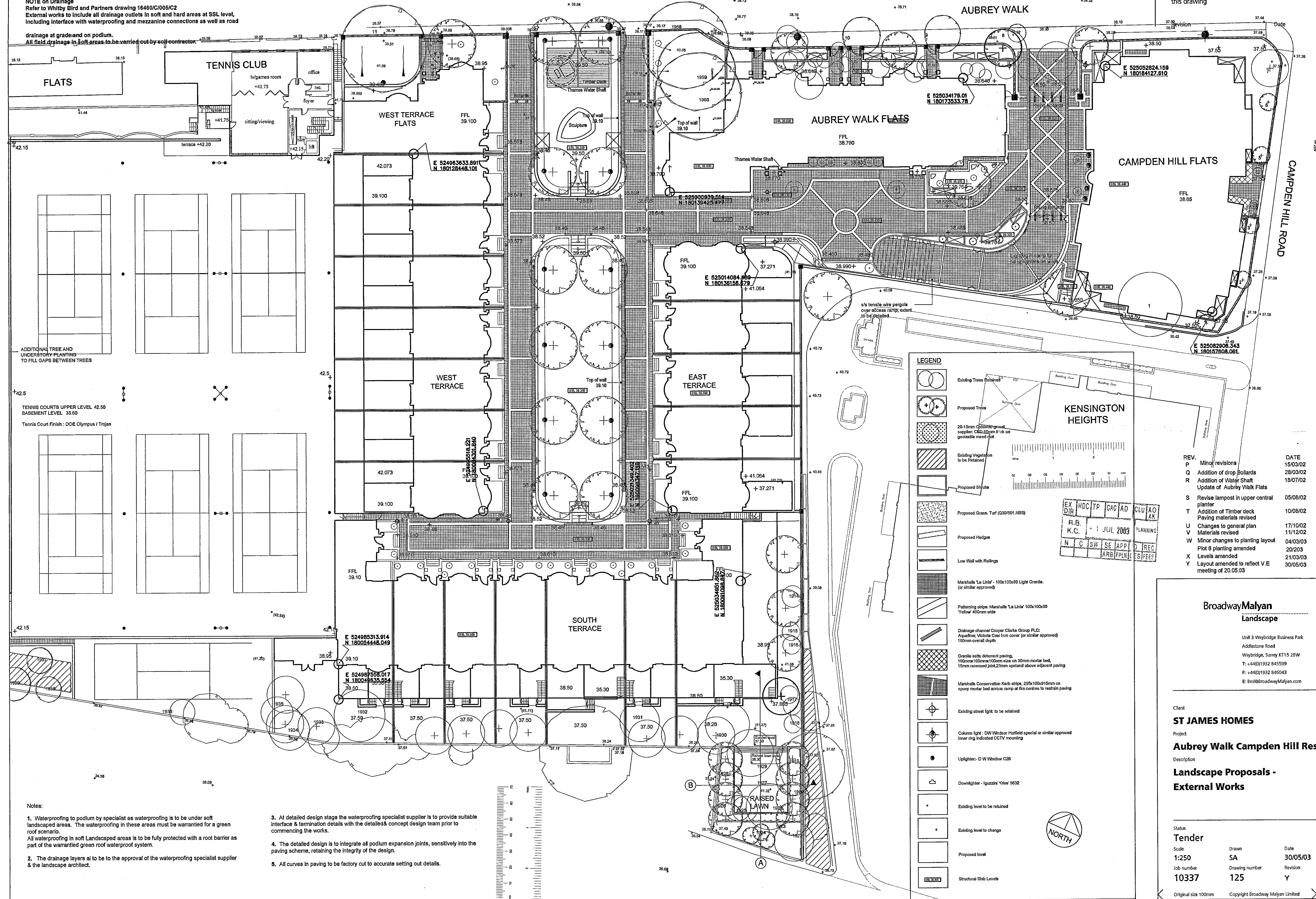
BroadwayMalyan
Landscape
Unit 3 Weybridge Business Park
Addlestone Road
Weybridge, Surrey KT15 2BW
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F: +44(0)1932 846043
E: Bml@BroadwayMalyan.com

Client
ST. JAMES HOMES
Project
Aubrey Walk Campden Hill Res.
Description
Landscape proposals
Boundary Elevations
East Terrace Flats

Status
For Construction
Scale
1:200/1:100/1:20
CH/HM
Job number
10337
Drawing number
156
Date
Feb 2002
Revision
M
Original size 100mm
Copyright Broadway Malyan Limited

NOTE on Drainage
 Refer to Whitty Bird and Partners drawing 16460/C/006/C2
 External works to include all drainage outlets in soft and hard areas at SSL level,
 including interface with waterproofing and mezzanine connections as well as road
 drainage at grade and on podium.
 All field drainage in soft areas to be carried out by soil contractor.

Contractors are not to scale dimensions from this drawing



Notes:

1. Waterproofing to podium by specialist as waterproofing is to be under soft landscaped areas. The waterproofing in these areas must be warranted for a green roof scenario. All waterproofing in soft landscaped areas is to be fully protected with a root barrier as part of the warranted green roof waterproof system.
2. The drainage layers are to be to the approval of the waterproofing specialist supplier & the landscape architect.

3. At detailed design stage the waterproofing specialist supplier is to provide suitable interface & termination details with the detailed concept design team prior to commencing the works.
4. The detailed design is to integrate all podium expansion joints, sensitively into the paving scheme, retaining the integrity of the design.
5. All curves in paving to be factory cut to accurate setting out details.

LEGEND

- Existing Trees Retained
- Proposed Trees
- 20-13mm Coarsest ground supplier: C&D 50mm @ 10k on geotextile weed mat
- Existing Vegetation to be Retained
- Proposed Shrubs
- Proposed Grass, Turf (230/501.NB3)
- Proposed Hedges
- Low Wall with Railings
- Marshalls 'La Linka' - 100x100x80 Light Granite. (or similar approved)
- Patterning strips: Marshalls 'La Linka' 100x100x80 'Yellow' 400mm wide
- Drainage channel Cooper Clarke Group PLC: Aquaflo, Victoria Cast Iron cover (or similar approved) 150mm overall depth
- Granite setts deterrence paving, 100mmx100mmx100mm size on 30mm mortar bed, 15mm recessed joint, 25mm upstand above adjacent paving
- Marshalls Conservation: Kerb strips, 250x100x15mm on epoxy mortar bed across ramp at 6m centres to restrain paving
- Existing street light to be retained
- Column light - DW Windsor Hatfield special or similar approved lower ring indicated CCTV mounting
- Upfitter - D W Windsor C26
- Downlighter - Iguzzini 'Kite' 5632
- Existing level to be retained
- Existing level to change
- Proposed level
- Structural Slab Levels

REV	Minor revisions	DATE
P	Minor revisions	15/03/02
Q	Addition of drop bollards	28/03/02
R	Addition of Water Shaft Update of Aubrey Walk Flats	18/07/02
S	Revise lampost in upper central planter	05/08/02
T	Addition of Timber deck Paving materials revised	10/08/02
U	Changes to general plan	17/10/02
V	Materials revised	11/12/02
W	Minor changes to planting layout	04/03/03
X	Plot 6 planting amended	20/203
Y	Levels amended to reflect V.E meeting of 20.05.03	21/03/03
		30/05/03

BroadwayMalyan
 Landscape

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 E: Bml@broadwaymalyan.com

Client
ST JAMES HOMES
 Project
Aubrey Walk Campden Hill Res.
 Description
Landscape Proposals - External Works

Status
Tender

Scale	Drawn	Date
1:250	SA	30/05/03
Job number	Drawing number	Revision
10337	125	Y

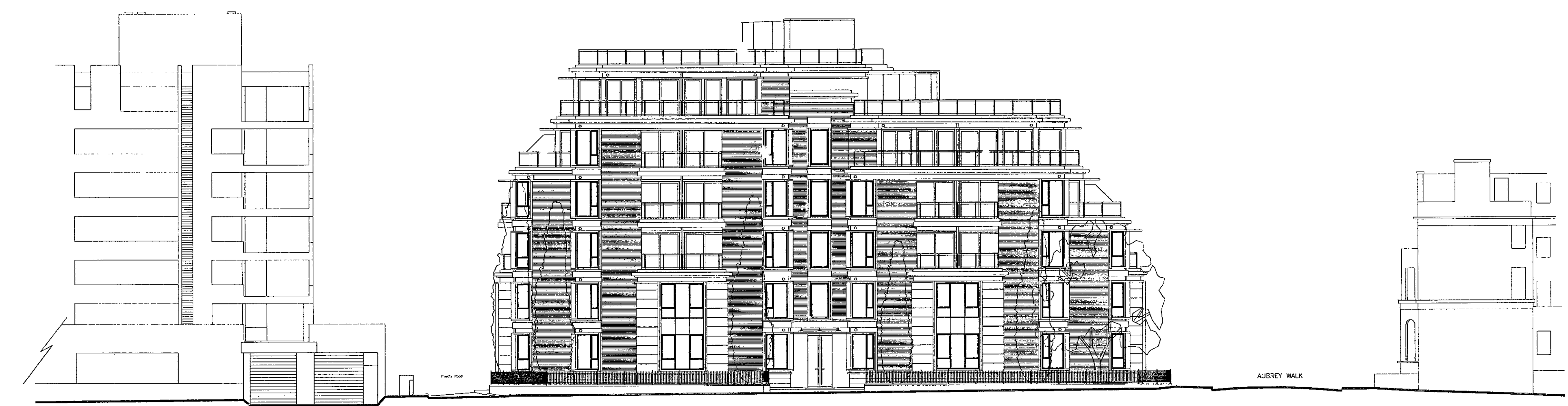
Original size 100mm Copyright Broadway Malyan Limited

Revision	Date
B	Revised for resubmission. 01.00
C	West terrace flats roof, Campden Hill flats elevations & Aubrey Walk flats elevation revised for resubmission. 18.07.00
D	Campden Hill flats roof top revised for resubmission. 21.01.01
E	Campden Hill flats roof top revised for resubmission. 20.04.01
F	Windows within bays amended on Aubrey Walk Flats & West Terrace Flats. 24.10.01
G	Gates added between Campden Hill Flats & Aubrey Walk Flats. 17.12.01
H	Chimney design to houses revised. 09.04.02

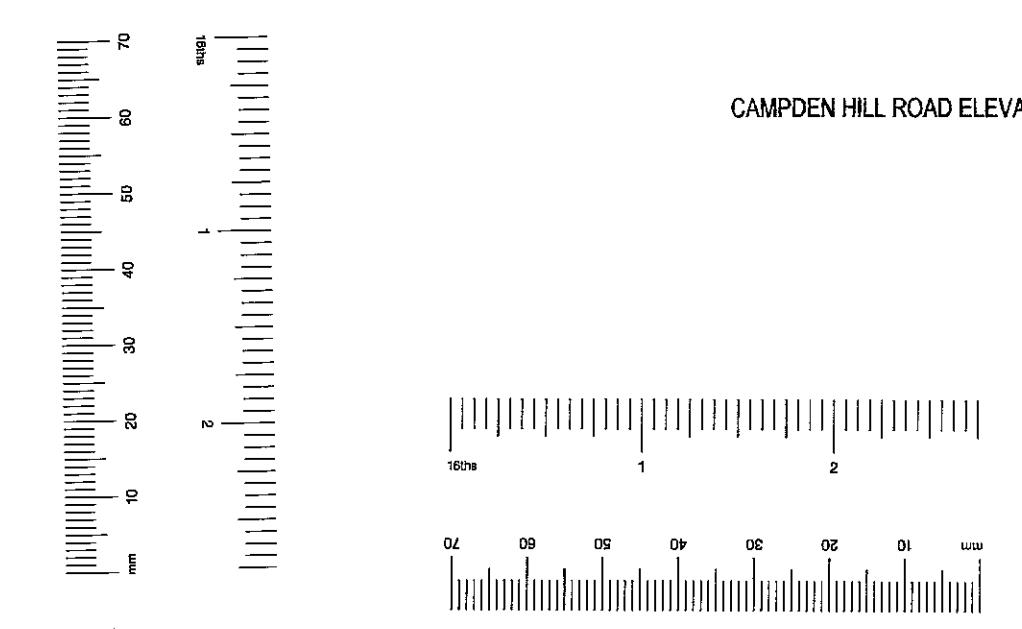


AUBREY WALK ELEVATION

EX DIR	HDC	TP	CAC	AD	CLU	AO	AK
R.B.	15 APR 2007			PLANNING			
K.C.	N	C	SW	SE	APP	O	REC
	ARB			PLN		DES FEES	



CAMPDEN HILL ROAD ELEVATION



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 E: Wey@BroadwayMalyan.com

Client
St. James Homes Ltd
 Project
Campden Hill Reservoir
 Description
Campden Hill & Aubrey Walk Elevations

Status
Planning
 Scale 1:200
 Job number 7650
 Original size 100mm

Drawn
 Drawing number P102
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Date Dec '99
 Revision H

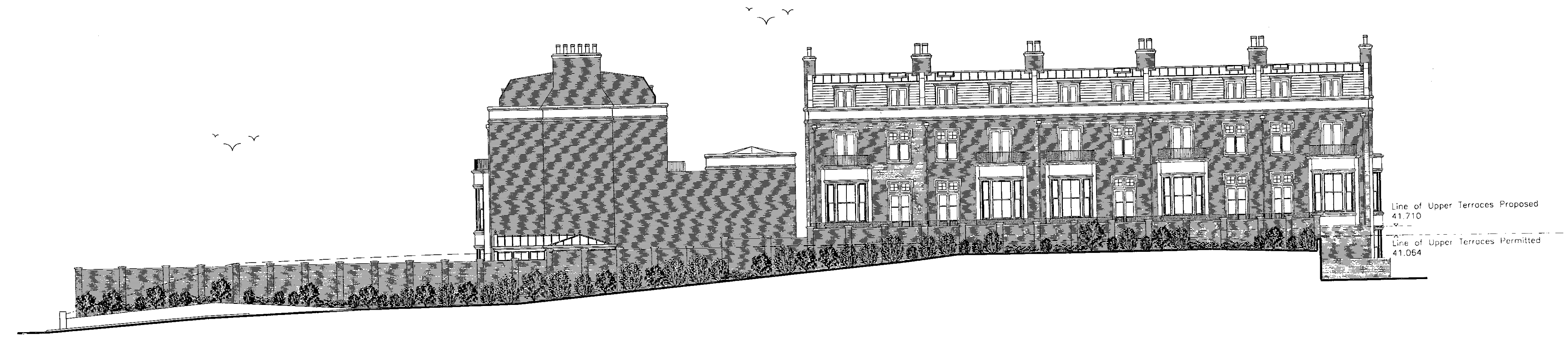
Revision	Date
A	Elevations and key plan updated. 16.03.99
B	Revised for resubmission 01.00
C	East terrace boundary wall revised for resubmission. 22.08.00
D	South East end of terrace dwelling rear boundary revised for resubmission. 30.08.00
E	Railings added to Section B-B 27.02.01
F	Windows within bays amended. 24.10.01
G	Conservatory added to Plot 6 19.12.01
H	Conservatory revised to Plot 6 20.02.02
	Clareway design revised to houses 9.4.02



NOTE: BASEMENT LEVEL NOT SHOWN

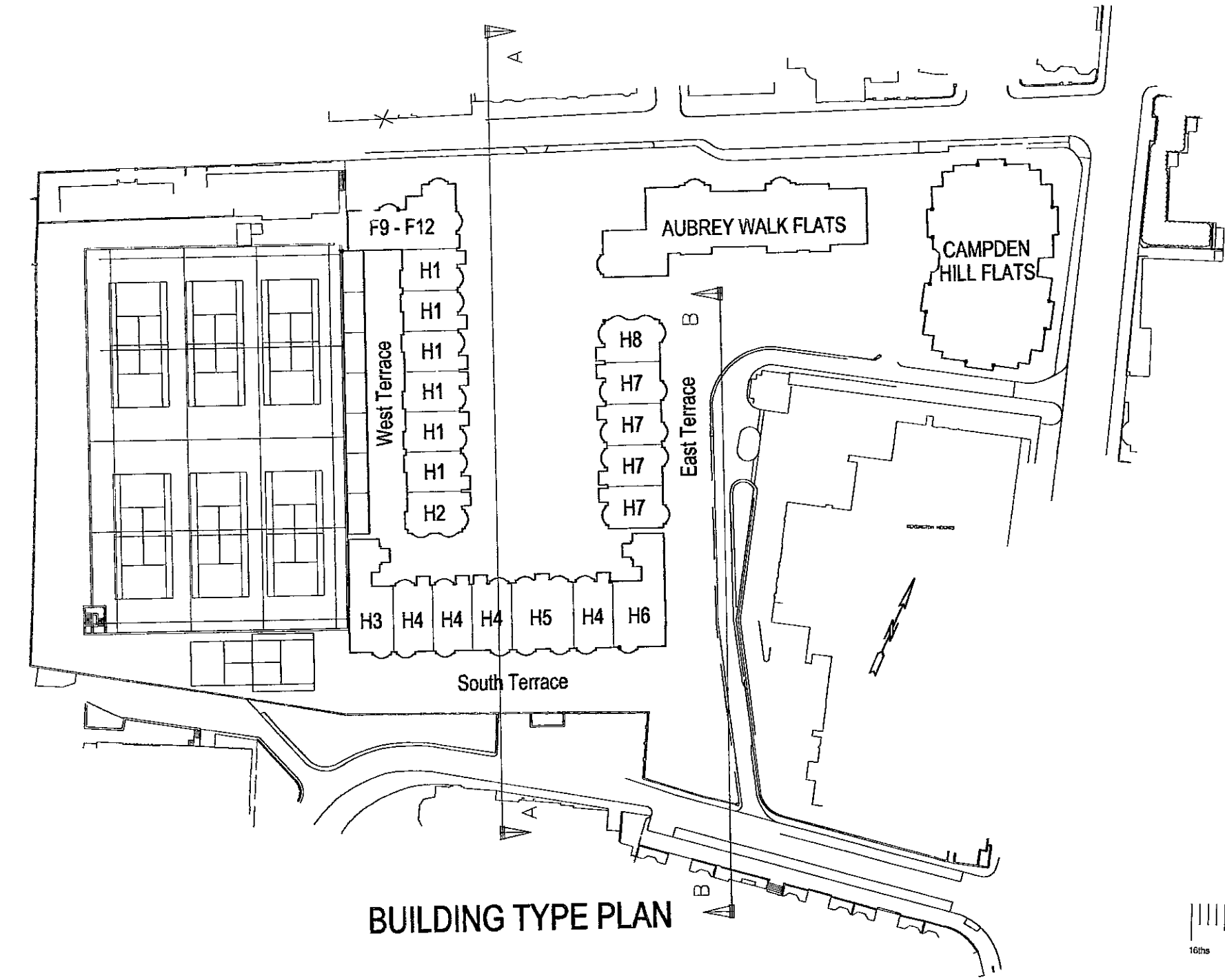
WEST ELEVATION - EAST TERRACE SECTION A-A

EX	HDG	TP	CAC	AD	CLU	AO	AK
R.B.	K.C.	15 APR 2002				PLANNING	
N	C	SW	SE	APP	IO	REC	
			ARB	FPLN	DES	FEES	

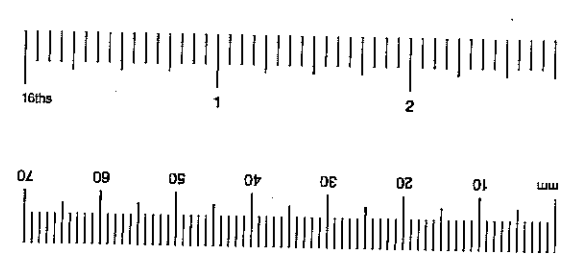
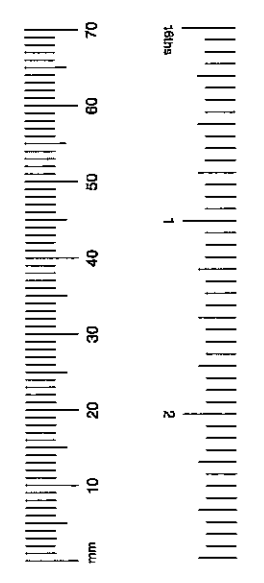


EAST ELEVATION - EAST TERRACE SECTION B-B

Line of Upper Terraces Proposed
41.710
Line of Upper Terraces Permitted
41.064



BUILDING TYPE PLAN



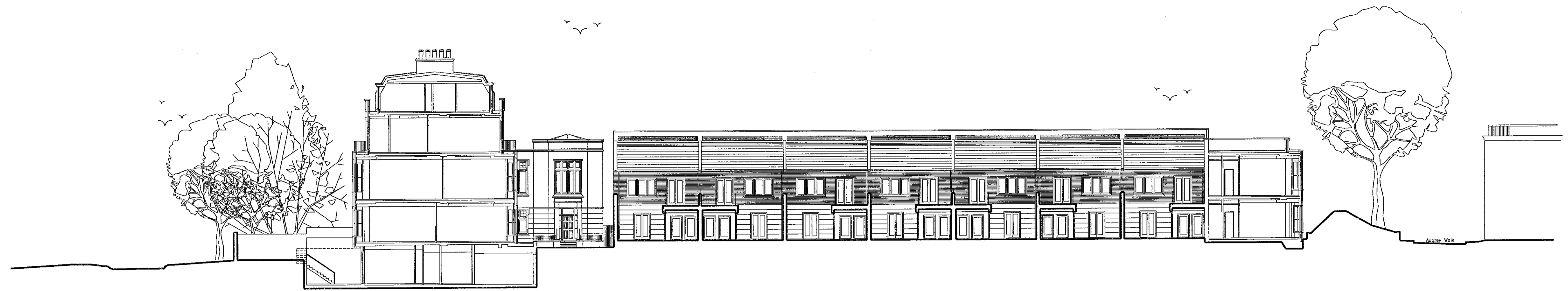
BroadwayMalyan
Architects & Designers
Woburn Hill, Addlestone
Weybridge, Surrey KT15 2QA
T: +44(0)1932 845599
F: +44(0)1932 856206
E: Wey@BroadwayMalyan.com

Client
St. James Homes Ltd
Project
Campden Hill Reservoir
Description
East Terrace
Front & Rear Elevations

Status
Planning
Scale
1:200
Job number
7650
Drawn
Date
Dec '99
Drawing number
P103
Revision
j
Original size 100mm
Copyright Broadway Malyan Limited

TP/99/10733 (2)
 Contractors are not to scale dimensions from this drawing

Revision	Date
A	Elevations and key plan updated. 16.03.99
B	Revised for resubmission. 01.00
C	Minor revisions to west terrace flats roof. 12.07.00
D	West terrace extensions added. 10.8.00
E	Windows within bays amended. 24.10.01
F	Chimney design to houses revised. 04.04.02



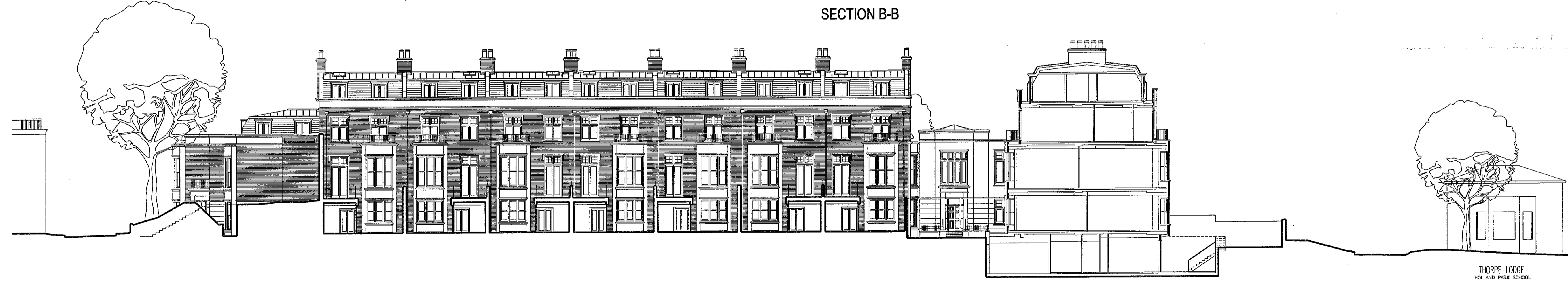
STUDIO EAST ELEVATION - WEST TERRACE
SECTION A-A

EX	HDC	TP	CAO	AD	CLU	AO	AK
DIR							
R.B.	15 APR 2002		PLANNING				
K.C.							
N	C	SW	ISE	APP	IO	REC	
			ARE	FPLN	DES	FEES	

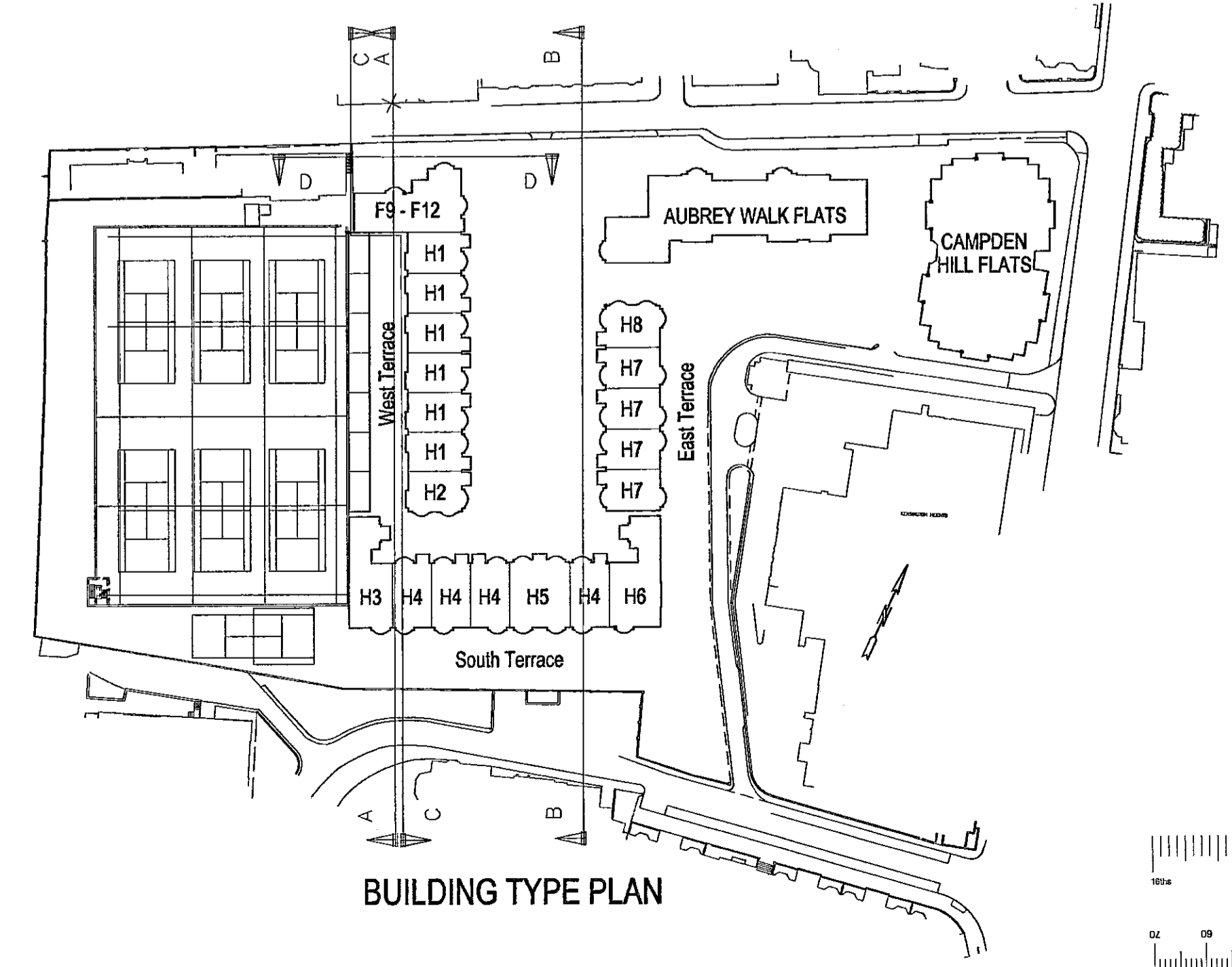


EAST ELEVATION - WEST TERRACE
SECTION B-B

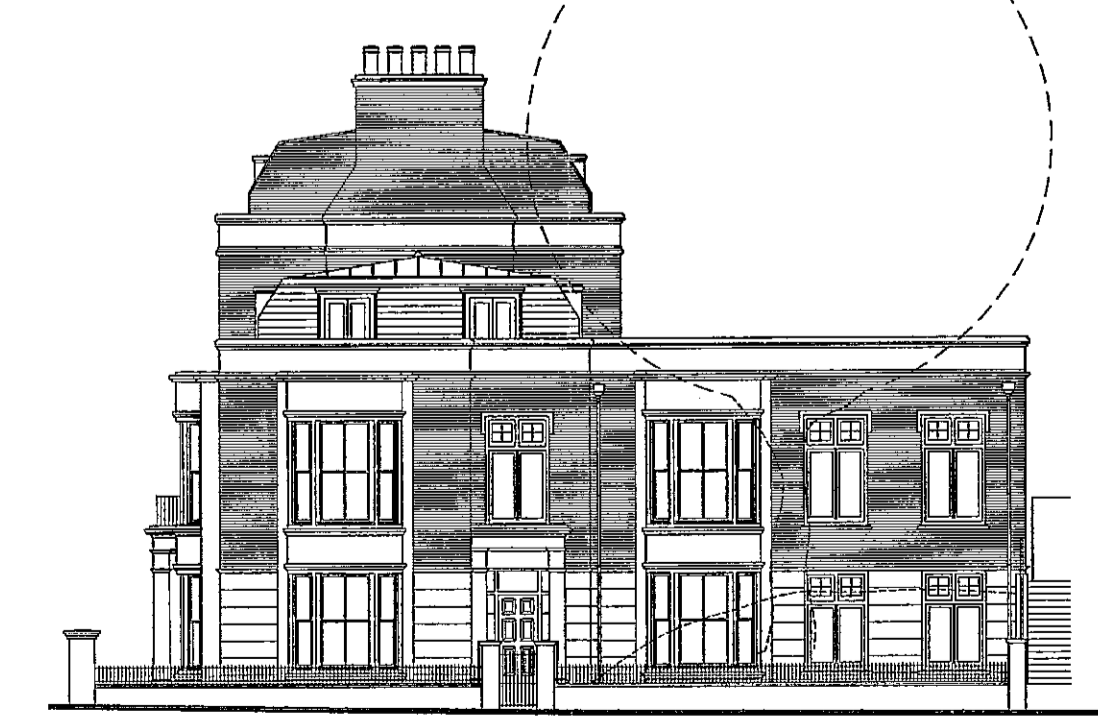
NOTE: BASEMENT LEVEL NOT SHOWN



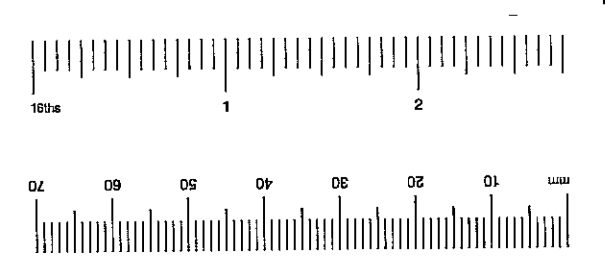
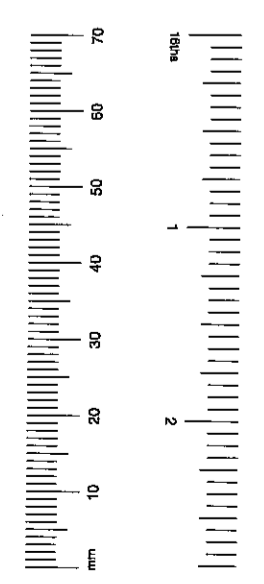
WEST ELEVATION (REAR) - WEST TERRACE
SECTION C-C



BUILDING TYPE PLAN



NORTH ELEVATION - WEST TERRACE
SECTION D-D



BroadwayMalyan
Architects & Designers

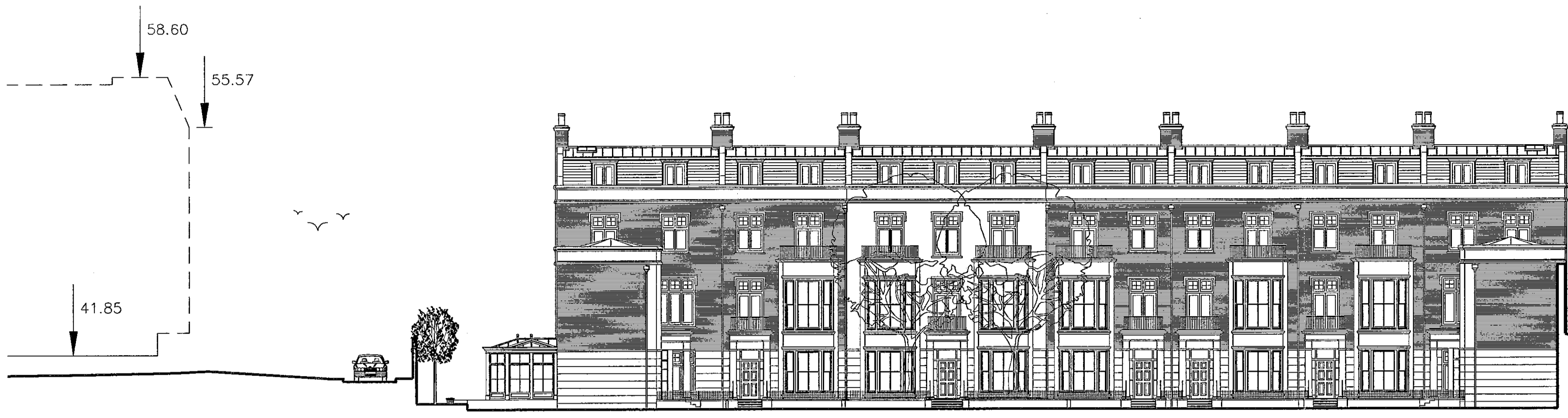
Woburn Hill, Addlestone
 Weybridge, Surrey KT15 2QA
 T: +44(0)1932 845599
 F: +44(0)1932 856205
 E: Wey@BroadwayMalyan.com

Client
St. James Homes Ltd
 Project
Campden Hill Reservoir
 Description
Studio & West Terrace Elevations

Status		
Planning		
Scale	Drawn	Date
1:200		Dec '99
Job number	Drawing number	Revision
7650	P104	F
Original size 100mm Copyright Broadway Malyan Limited		

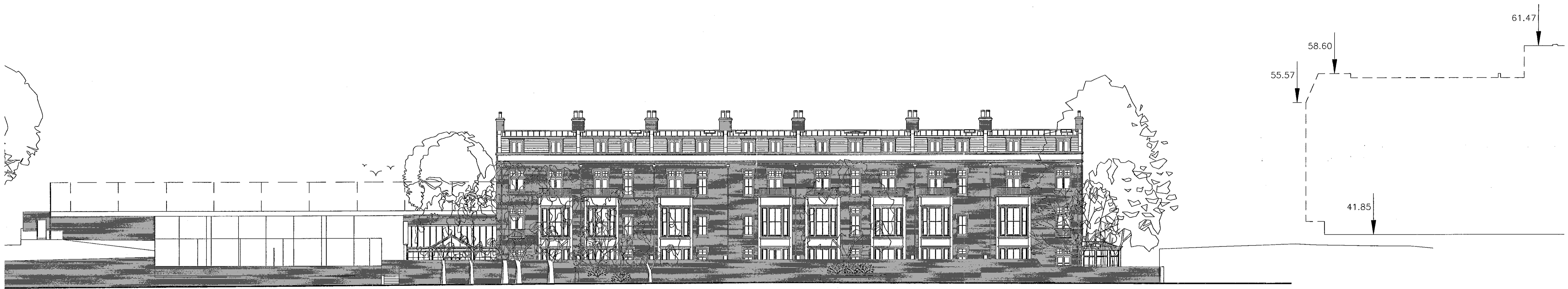
EX DIR	HDC	TP	CAC	AD	CLU	AO	AK
R.B.	K.C.	15 APR 2002	PLANNING				
N	C	SW	SE	APP	IO	REC	
		ARB	PLN	DES	FEE		

Revision	Date	
A	Elevations and key plan updated.	16.03.99
B	Revised for resubmission.	01.00
C	Section A-A boundary & landscape revised for resubmission.	29.11.00
D	Windows of Formal Dining and Reception on West and East end houses of South Terrace revised. House type H5 front & rear elevations revised on South Terrace. Orangery room added to House type H3.	21.01.01
E	Windows within bays amended.	24.10.01
F	Conservatory added to Plot 6	17.12.01
G	Conservatory revised to Plot 6	20.02.02
H	H5 Conservatory reduced in size.	26.02.02
J	Chimney design to houses revised	09.04.02

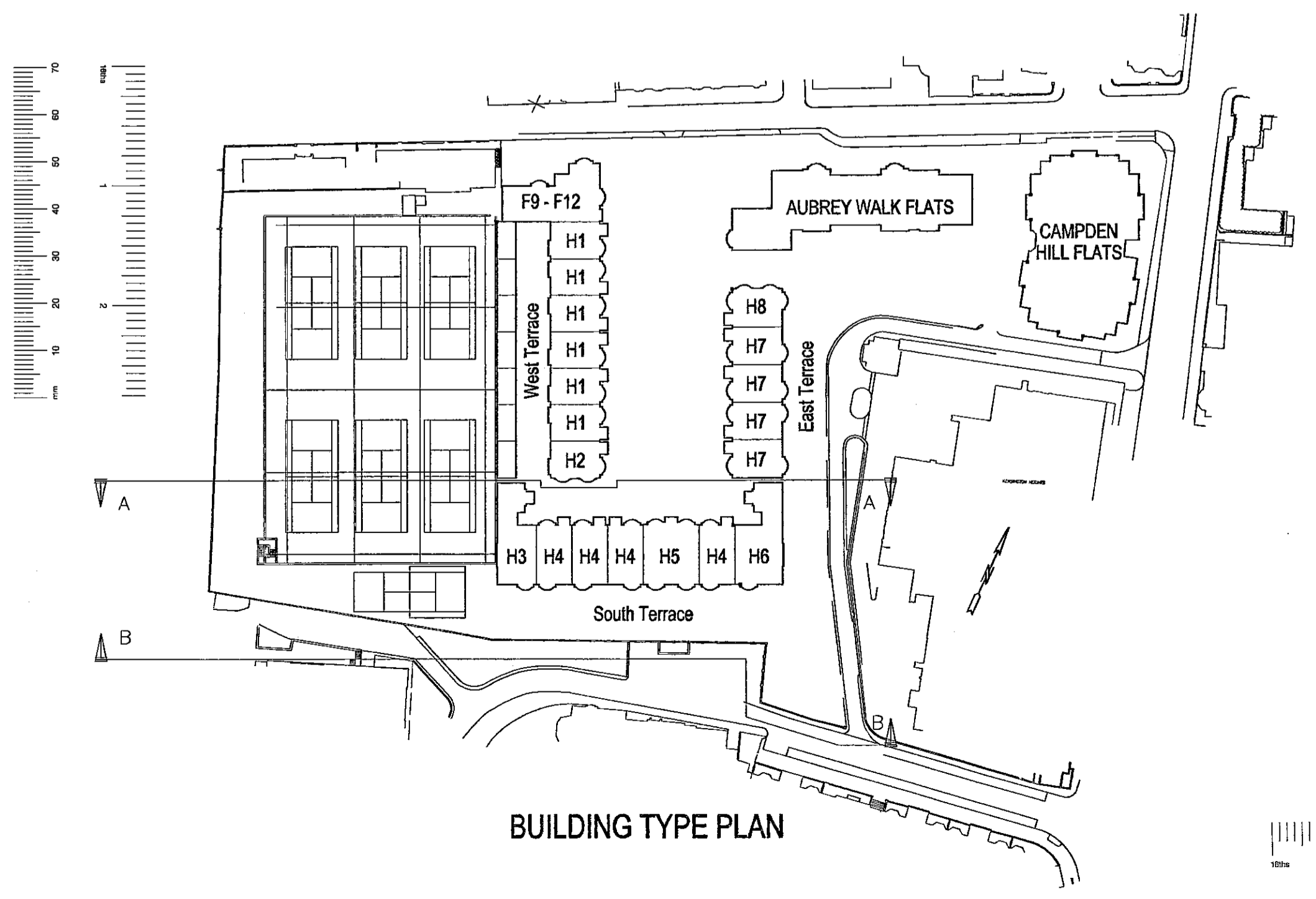


NOTE: BASEMENT LEVEL NOT SHOWN

NORTH ELEVATION - SOUTH TERRACE
SECTION A-A



SOUTH ELEVATION (REAR) - SOUTH TERRACE
SECTION B-B



BUILDING TYPE PLAN

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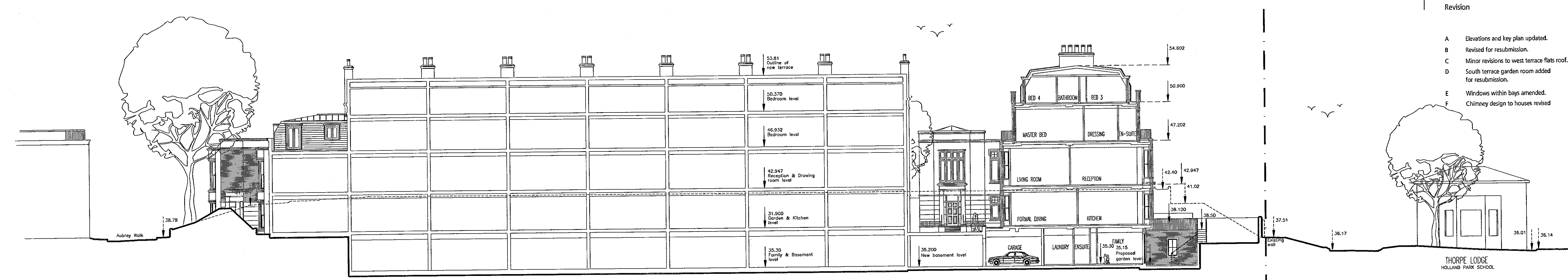
Client
St. James Homes Ltd
 Project
Campden Hill Reservoir
 Description
South Terrace Front & Rear Elevations

Status
Planning
 Scale
1:200
 Job number
7650
 Original size 100mm

Drawn
 Date
Dec '99
 Drawing number
P105
 Revision
J
 Copyright Broadway Malyan Limited

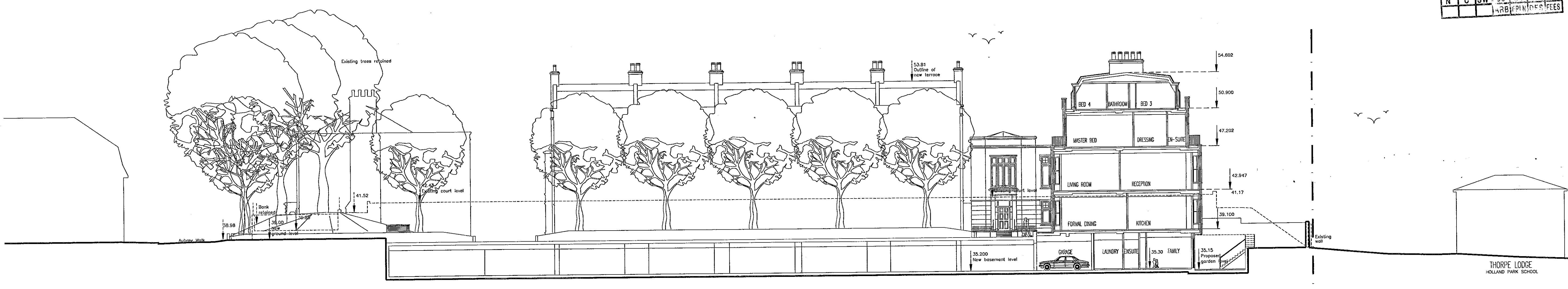
TP/99/0733 (29)
 Contractors are not to scale dimensions from this drawing

Revision	Date
A	Elevations and key plan updated. 16.03.99
B	Revised for resubmission. 23.12.99
C	Minor revisions to west terrace flats roof. 12.07.00
D	South terrace garden room added for resubmission. 23.08.00
E	Windows within bays amended. 24.10.01
F	Chimney design to houses revised. 09.04.02

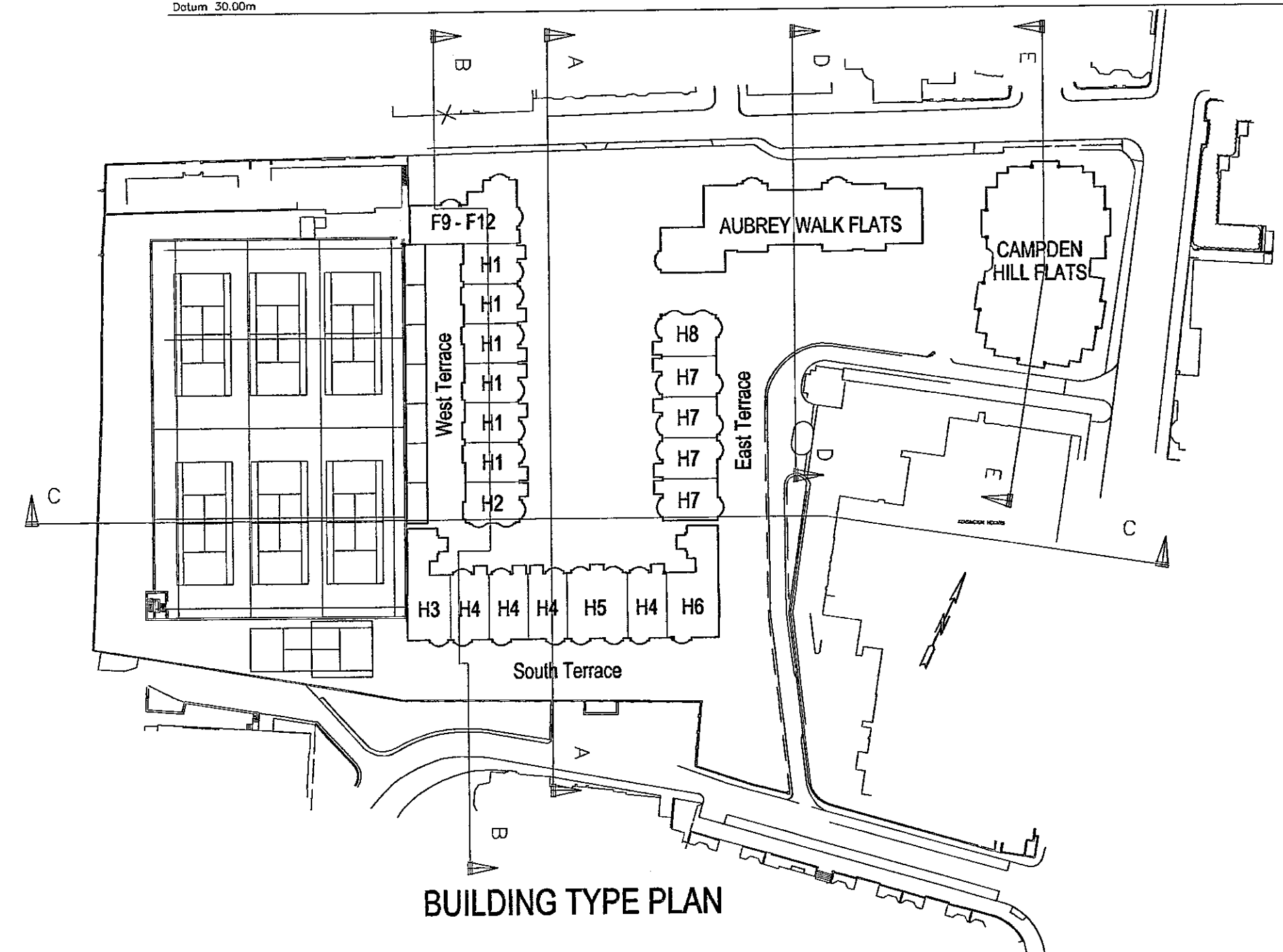


SECTION B-B

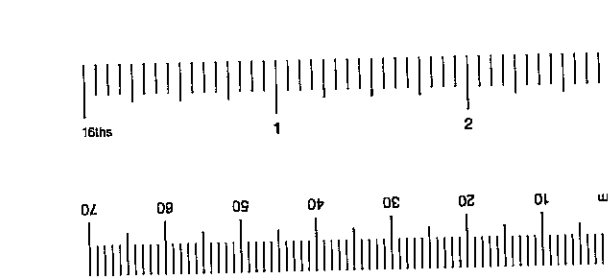
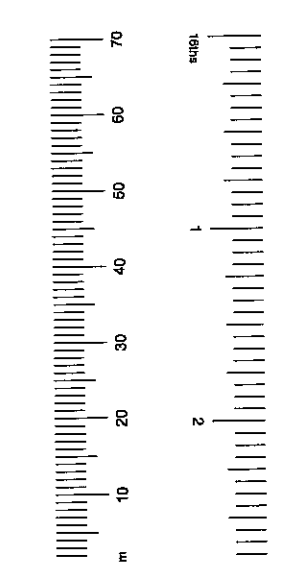
EX DIR	HDC TP	SAC AD	GLU AO	AK
R.B.	15	2007	ANNING	
K.C.				
N	C	SW	ISE	APP ID REC
				ARB PIPES FEELS



SECTION A-A



BUILDING TYPE PLAN

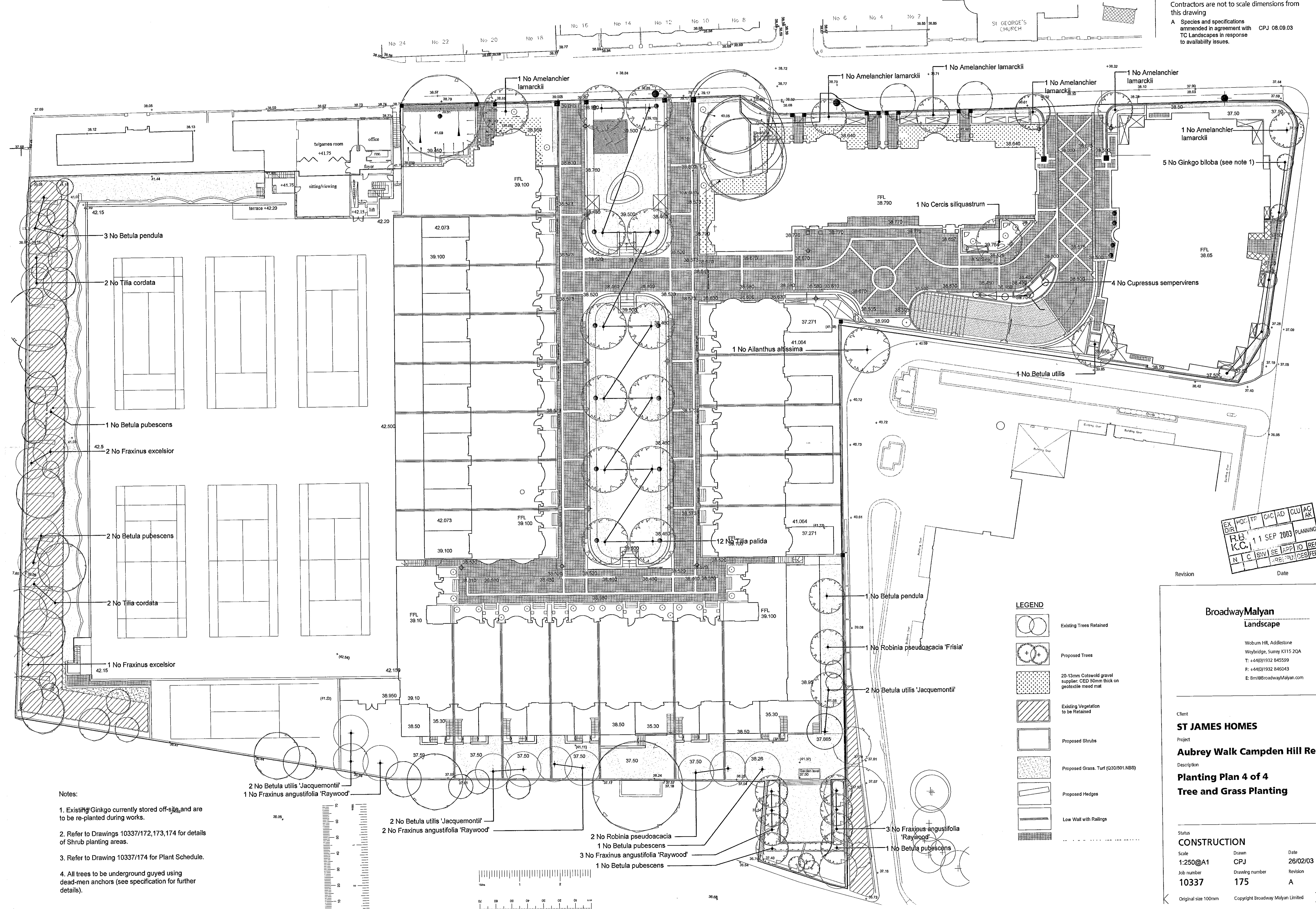


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Client
St. James Homes Ltd
 Project
Camden Hill Reservoir
 Description
Sections A-A & B-B

Status
Planning
 Scale 1:200 Drawn Date Dec '99
 Job number 7650 Drawing number P106 Revision F
 Original size 100mm Copyright Broadway Malyan Limited

Contractors are not to scale dimensions from this drawing
A Species and specifications amended in agreement with TC Landscapes in response to availability issues. CPJ 08.09.03



- Notes:
1. Existing Ginkgo currently stored off-site and are to be re-planted during works.
 2. Refer to Drawings 10337/172,173,174 for details of Shrub planting areas.
 3. Refer to Drawing 10337/174 for Plant Schedule.
 4. All trees to be underground guyed using dead-men anchors (see specification for further details).

EX	DIR	MD	TF	CAC	AD	GLU	AC	AK
RB	K.C.	11	SEP	2003	PLANNING			
N	C	SW	SE	APP	IO	REC		
							DES	FES

Revision _____ Date _____

BroadwayMalyan
Landscape

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Client
ST JAMES HOMES

Project
Aubrey Walk Campden Hill Res.

Description
**Planting Plan 4 of 4
Tree and Grass Planting**

Status
CONSTRUCTION

Scale
1:250@A1

Job number
10337

Drawn
CPJ

Drawing number
175

Date
26/02/03

Revision
A

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