

JW

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EX DIR	HDC	N	C	SW	S	ENF	AO ACK		
22 SEP 2000									
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FPDSavills

INTERNATIONAL PROPERTY CONSULTANTS

20 September 2000
KRJLP345

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London W1X 0HQ

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J Wade Esq
Department of Planning & Conservation
Royal Borough of Kensington & Chelsea
Town Hall
Hornton Street
London W8 7NX

Email:
pkentish@fpdsavills.co.uk
Home Page: www.fpd Savills.co.uk

Handwritten: 22/9

FPDSavills International

Dear Mr Wade

JOHN LEWIS PLC - PETER JONES DEPARTMENT STORE, SLOANE SQUARE, SW3 (PLANNING PERMISSION REF TP/98/1098/F/52/4012 AND LISTED BUILDING CONSENT REF. TP/98/1099/Z/52/4013)

I would refer to the submission made pursuant to condition 11 (listed building consent), condition 18 (listed building consent) / condition 2 planning permission, condition 26 (listed building consent) / condition 9 (planning permission) and condition 28 (listed building consent) / condition 12 (planning permission) on 18 August 2000 and to the visit which took place on 7 September 2000 to the Library of Imperial College and to 40 Grosvenor Place.

At the former the proposed cladding system (shuco type number FW 50 S colour satin anodised silver) was inspected and it was agreed that photographs of Imperial College's cladding and a technical sheet would be sufficient to be regarded as "details" pursuant to condition 18 (listed building consent) / condition 2 (planning permission). I therefore enclose same to supplement the submission of 18 August 2000.

It was also agreed that photographs and a technical sheet specifying the Naco louvres, the former "in situ" at 40 Grosvenor Place would be provided in support of the actual sample provided on 18 August 2000. I enclose same. Details of these louvres is sought by conditions 26 and 28 (listed building consent) and 9 and 12 (planning permission). In addition the details should be regarded as being submitted pursuant to condition 16 (listed building consent) as that condition relates to the main roof top plant at seventh floor level and the remodelled plant tower.

Whilst not included as a condition but approved as a non material amendment by way of your letter dated 31 August 2000, are louvres to the "Cathedral" plant room at the corner of King's Road and Cadogan Gardens. It is proposed that these louvres should be of the same Naco type but white rather than silver.

I await your approval pursuant to the above mentioned conditions.

Yours sincerely

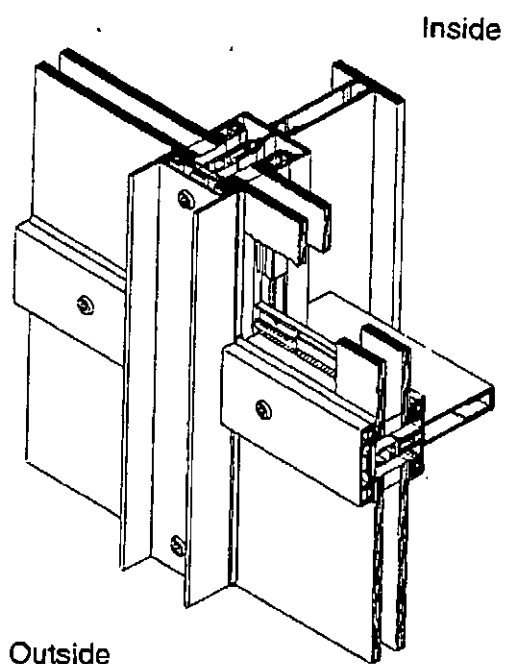
Handwritten signature: Paul D Kentish

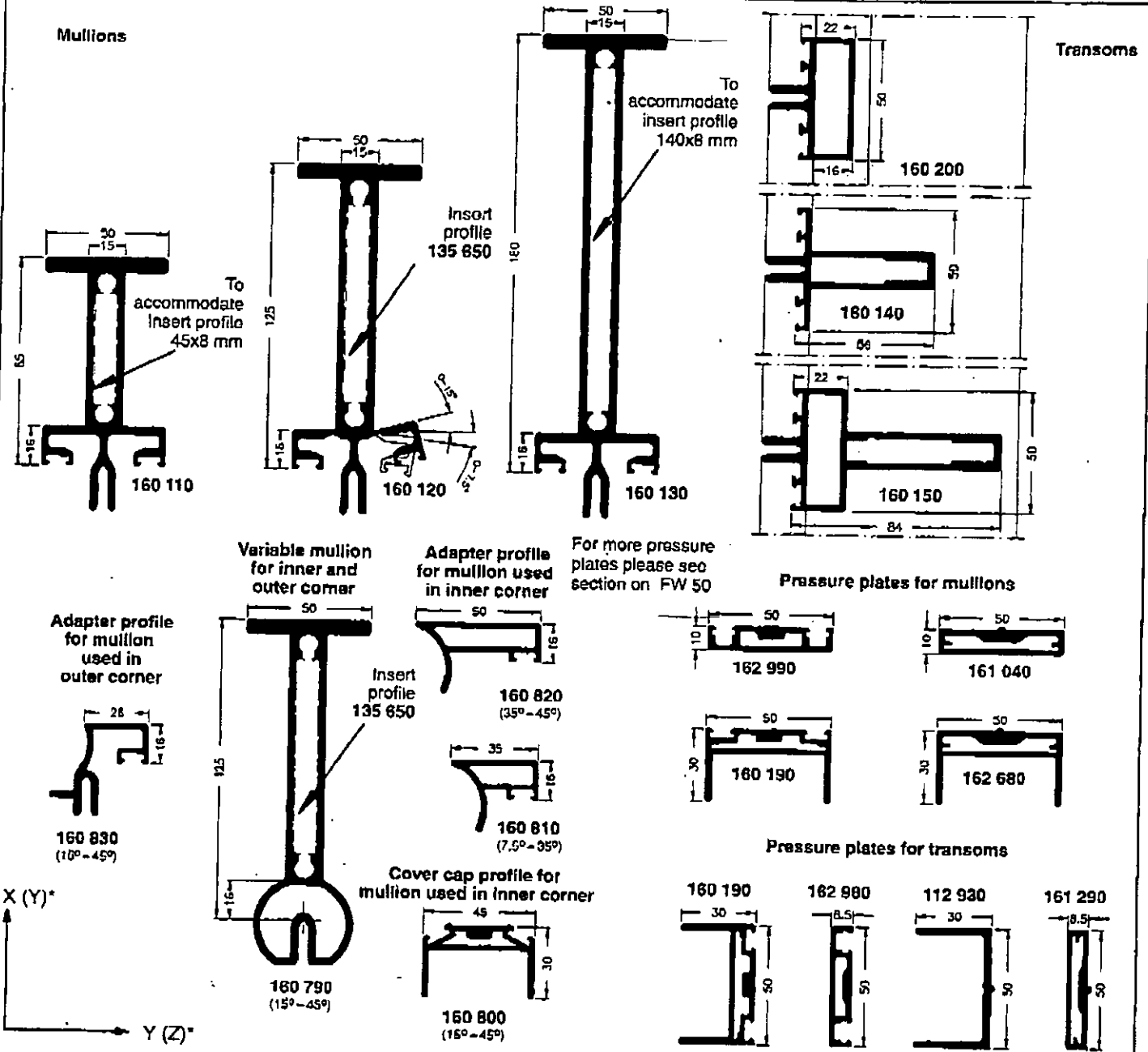
PAUL D KENTISH
Director

- Cc A Hucklesby : John Lewis Partnership
- S Lawrie : John McAsian & Partners
- D Clarkson : Clarson Goff
- S Howard : Cadogan Estates Management

System characteristics FW-50 S

- * A self-supporting thermally insulated mullion/transom design for multi-storey curtain walling.
- * The design has a special filigree effect by virtue of the I- and T-shaped load-bearing profiles.
- * The U-contour of the pressure plate profiles with visible screw fastenings emphasises the technical character of the system.
- * Specially designed profiles for the top and bottom attachment members of the curtain wall allow very small floor construction heights, all-round sealing of the attachments to the building structure, and also positive location of the vapourproof foils without additional mechanical fixings.
- * May be combined with the basic FW 50 system.
- * The system FW 50 S has been classified into frame material groups 1 and 2.1 (in accordance with DIN 4108) by the approval certificates No. R 26/94 (32 mm and 42 mm thermal insulation profiles) and R 32/90 (smaller thermal insulation profiles) respectively.
- * With very few additions, the FW 50 S façade will conform to burglar-resistance classification EF1.
- * All loadbearing mullion profiles have an internal sight line of 50 mm and have radiused corners.
- * Hollow cavities for location and precise fitting of connecting elements.
- * Transom and mullion profiles are available in graduated dimensions to meet varying structural requirements.
- * Glass thicknesses from 4 to 52 mm can be used.
- * The geometry of the profiles with rebate base drainage, combined with the external use of butyl tape and EPDM gaskets, or pane edge to pane edge EPDM gaskets, assures weather protection.
- * Ventilation of the transom/mullion glazing rebates via the four corners of each pane field provides pressure equalisation. If requested, field ventilation is also feasible.
- * The mullion profiles are not notched in the transom area.
(No sleeve required)
- * All external screws are grade A4 quality stainless steel.
- * Isolators made of Polythermid®
- * Special profiles are available for wall attachment and attachment to substructure as well as for insert units (integrated concealed turn/tilt vents, doors, roof vents and façade fixing brackets).





Page	Profile Art. No.	Structural values		Page	Profile Art. No.	Structural values	
		I_x (cm ⁴)	I_y (cm ⁴)			I_x (cm ⁴)	I_y (cm ⁴)
VII-67	112 930	-	-	VII-70	160 800	-	-
VII-70	135 650	34,10	0,34	VII-70	160 810	-	-
VII-65	160 110	127,46	16,19	VII-71	160 820	-	-
VII-68	160 120	315,82	16,89	-	160 830	-	-
VII-65	160 130	761,49	18,26	-	161 040	-	-
VII-87	160 140	23,08	4,66	VII-67	161 290	-	-
VII-87	160 150	63,4	10,44	-	162 680	-	-
VII-65	160 190	-	-	VII-67	162 980	-	-
VII-67	160 200	3,76	9,16	-	162 990	-	-
VII-70	160 790	337,61	13,60				

* With steel profiles, the axis names are given in brackets. The assignment of axis names to the SCHÜCO profiles and of the necessary steel profiles is given in the diagram.

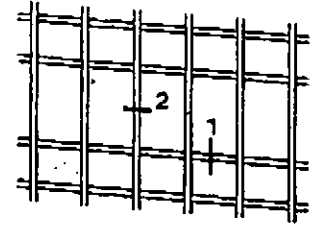


SCHÜCO
INTERNATIONAL

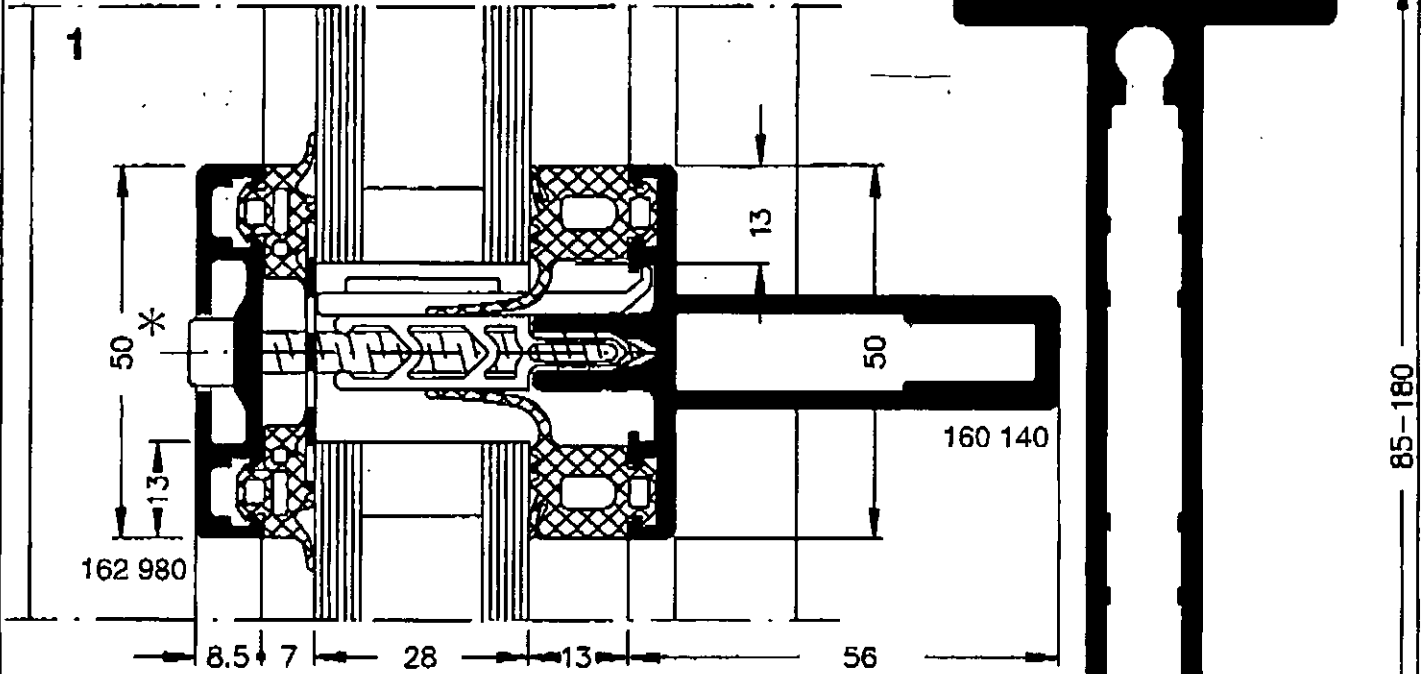
SYSTEM FW 50 S.1

Frame Material Group 1

* For visible screws,
use only A4 quality.



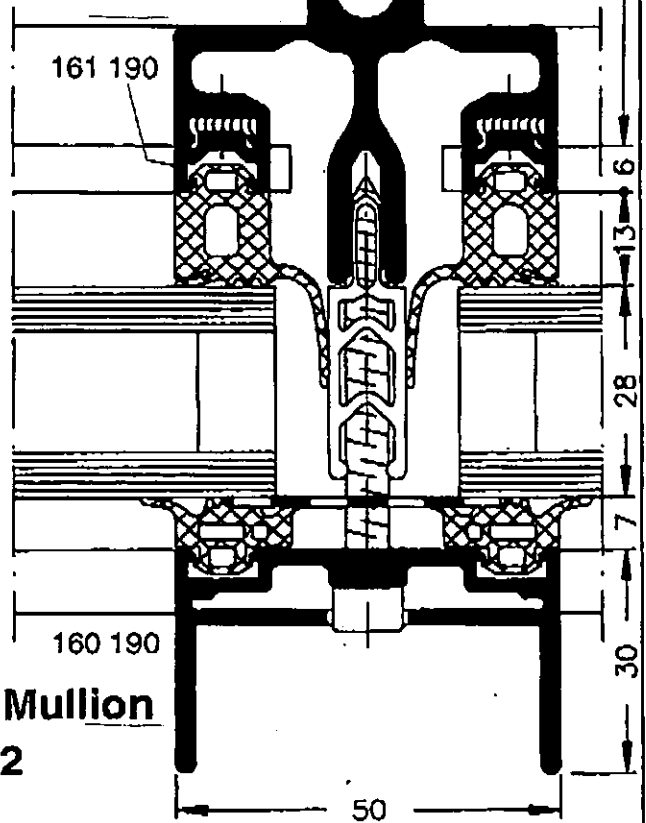
Transom



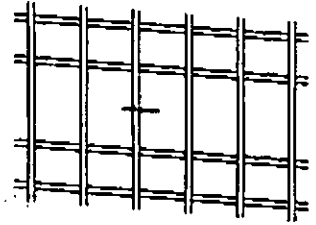
The thermal insulation of the Systems FW 50 and FW 50 S conform to Frame Material Group 1 in accordance with DIN 4180 as specified in certificate No. R 26/94

For use with isolator profiles: 26 mm, 32 mm or 42 mm

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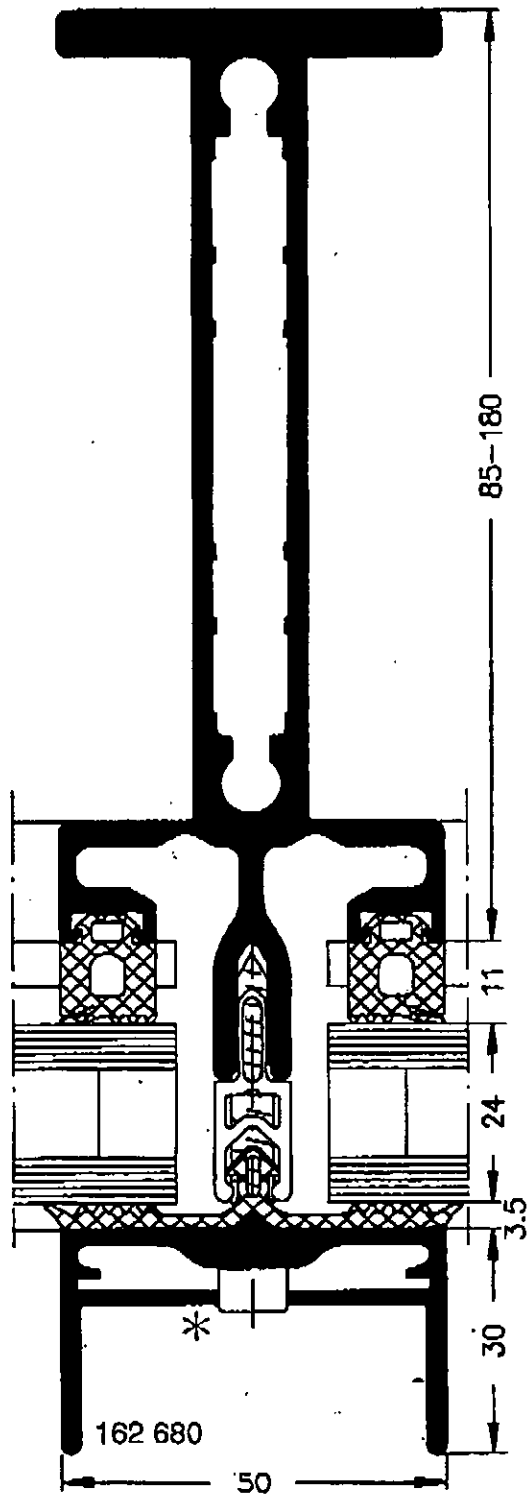


Mullion
2

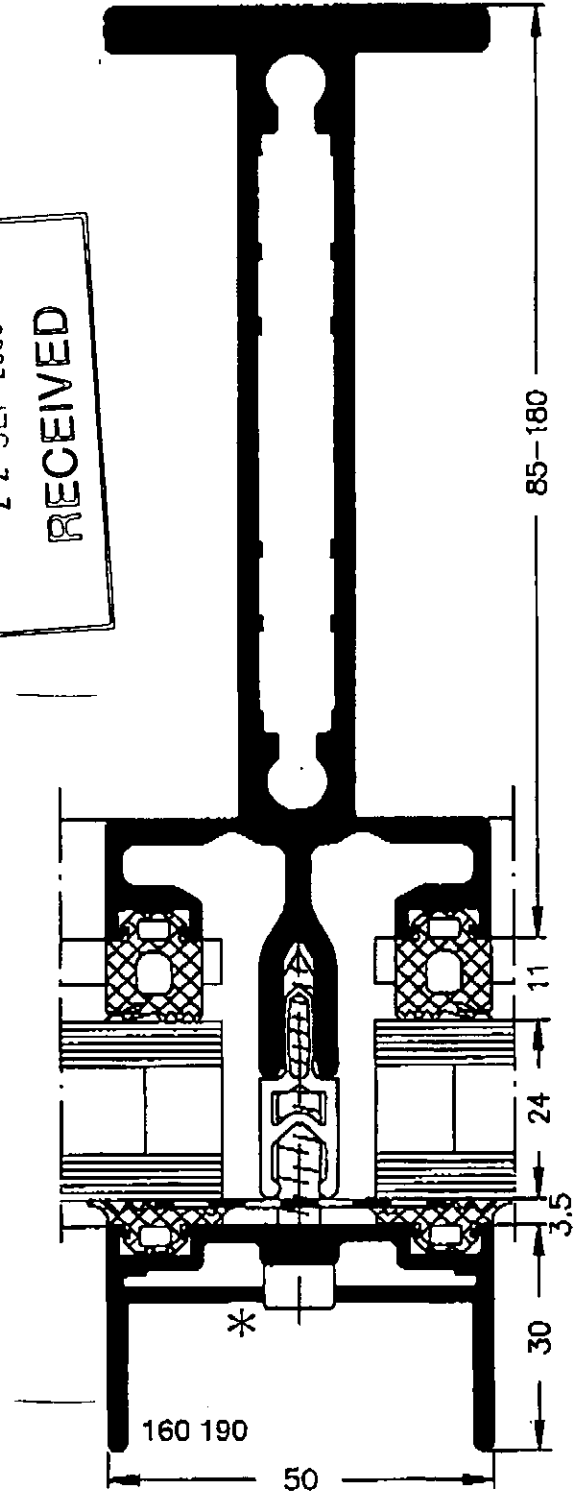


* For visible screws, use only A4 quality.

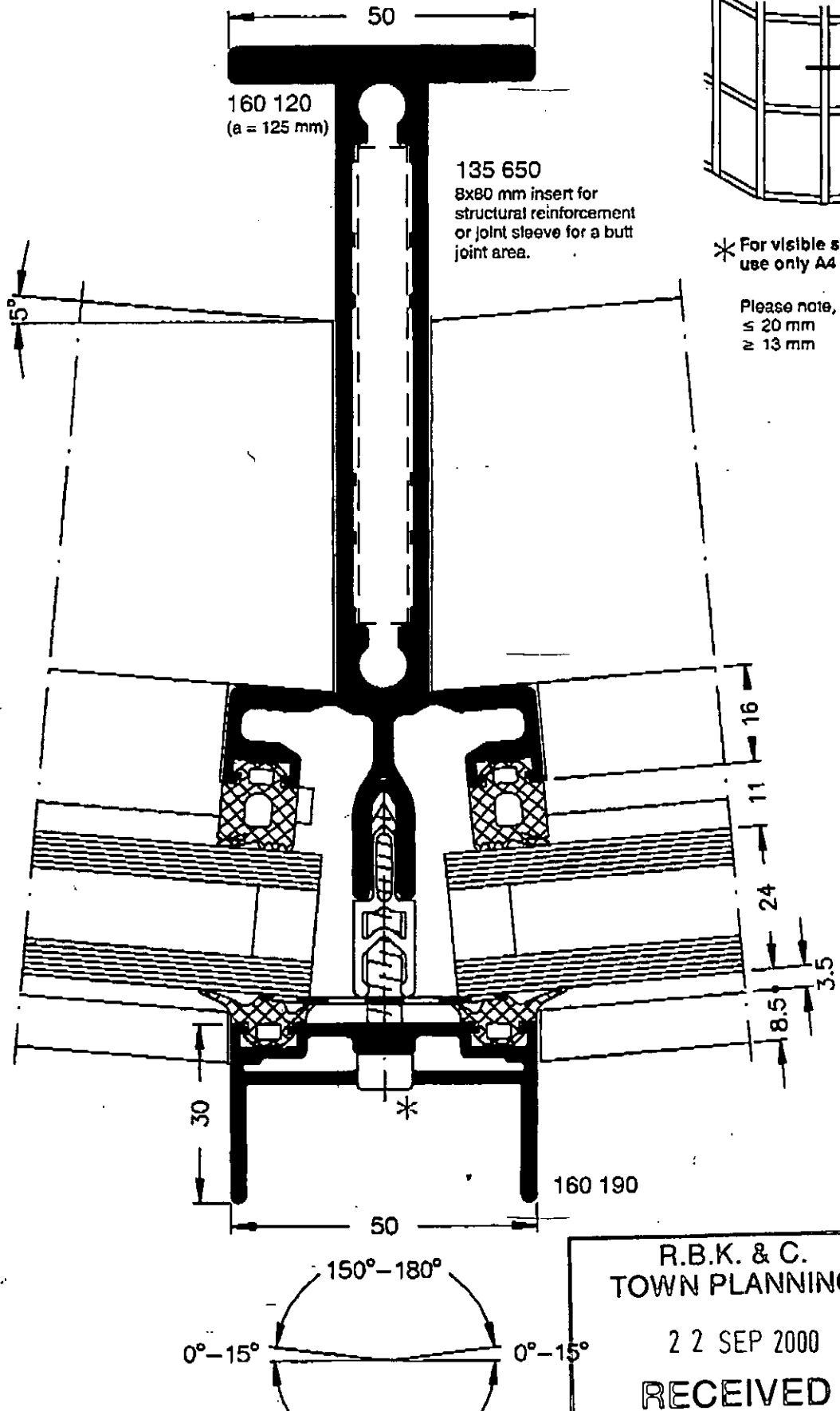
Alternative



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2 2 SEP 2000
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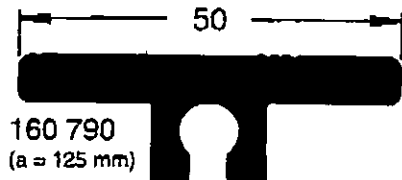
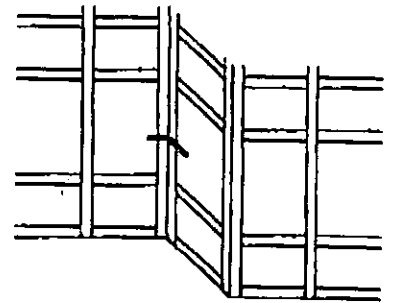
Alternatively, one continuous EPDM gasket can be used from pane edge to pane edge.



* For visible screws, use only A4 quality.

Please note, glass edge cover
≤ 20 mm
≥ 13 mm

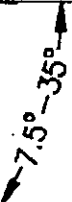
R.B.K. & C.
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2 2 SEP 2000
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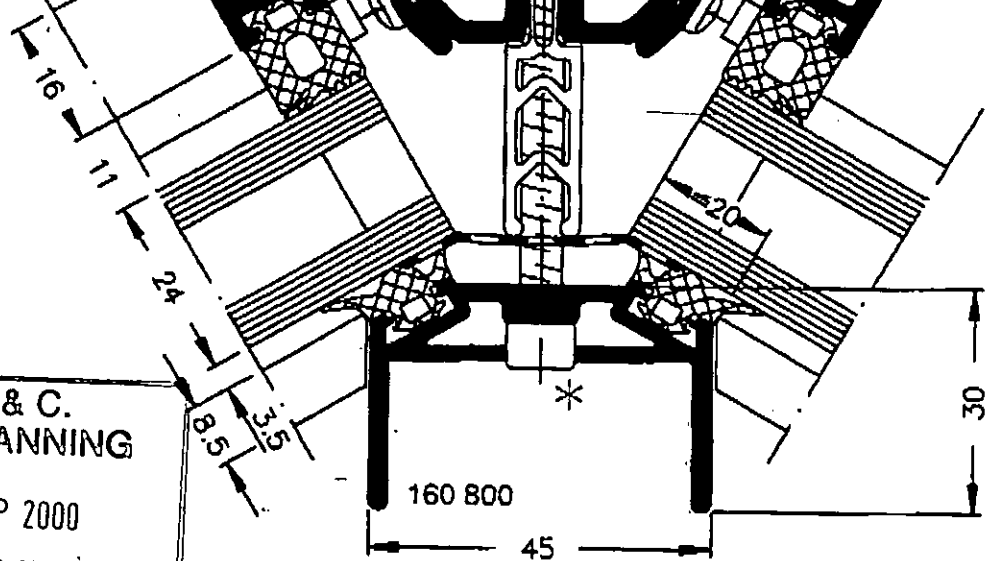
* For visible screws use only A4 quality.

Please note, glass edge cover
≤ 20 mm
≥ 13 mm

135 650
8x80 mm insert for structural reinforcement or joint sleeve for a butt joint area.



160 810

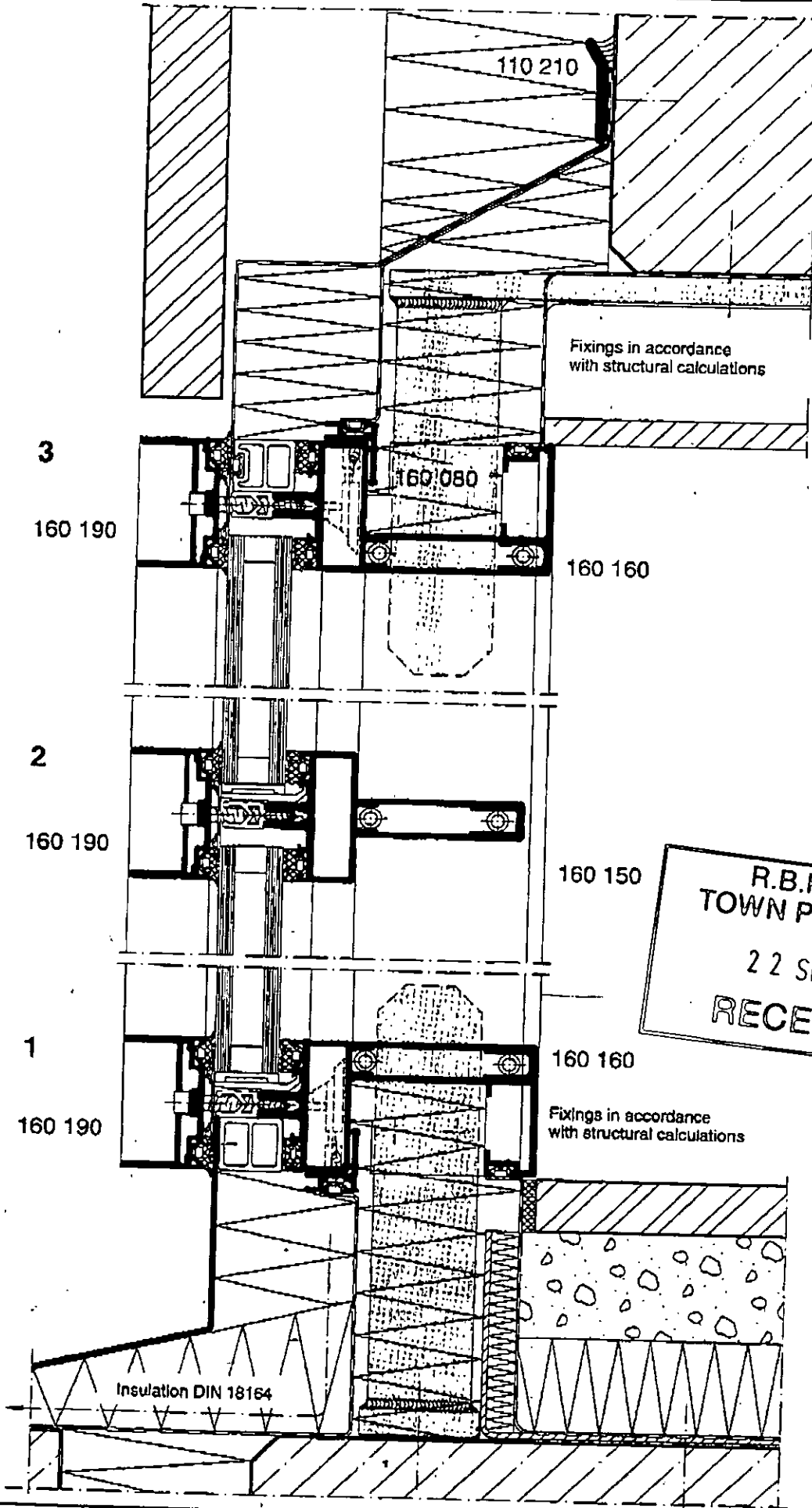


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45

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8 September 2000
KRJLP342

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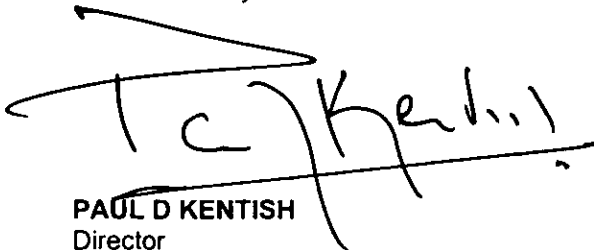
Dear Mr Wade

PETER JONES

Following our meeting yesterday, and as promised, I enclose a copy of my minutes for the meeting which took place on 26 May 2000 which was held in your absence on holiday.

I have also copied to David Stabb and Hilary Bell.

Yours sincerely



PAUL D KENTISH
Director

Cc Ms H Bell : Royal Borough of Kensington & Chelsea
D Stabb : English Heritage
S Lawrie : John McAslan & Partners

PETER JONES
SLOANE SQUARE
TP/98/1098

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12 SEP 2000							
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEES	

PETER JONES REFURBISHMENT

MINUTES OF SITE MEETING 2.00PM 26 MAY 2000

Attendees:	Hilary Bell	:	RBKC
	David Stabb	:	English Heritage
	Scott Lawrie	:	John McAslan & Partners
	Jose Aguilar-Garcia	:	John McAslan & Partners
	Paul Kentish	:	FPD Savills

1.0 BALUSTRADES

- 1.1 Scott Lawrie explained the proposed design for new balustrading around the central well on third, fourth, fifth and sixth floors. Meeting agreed that the design was in keeping with the character of the existing first and second floors. The design would overcome the building regulations requirement of 1100mm height for all new balustrades by replicating the height of the handrail to the first and second floors (circa 900mm) with a 1100mm high glass pane fixed on the well side of it.
- 1.2 David Stabb questioned the width of the proposed clamping detail in relation to the width of the post.
- 1.3 Scott Lawrie suggested a button detail in the middle. Meeting agreed that this would be worthy of pursuance. Scott Lawrie explained that the final design would be a single post with back bull nose and no fixings, similar to existing at first and second floor level.
- 1.4 Hilary Bell suggested that a kick plate may be included above second floor as with the existing. Scott Lawrie explained how the depth of the bulkhead and kick plate would change the proportion of bulkhead to glass. Meeting agreed.
- 1.5 Hilary Bell questioned whether we needed manifestation in the glass for safety reasons but agreed that a raised stone plinth would equally serve this purpose.
- 1.6 Scott Lawrie explained to the meeting that at the sixth floor restaurant level there would be 1400mm glass height and 1100mm height for handrail for safety reasons.
- 1.7 At first and second floor levels the proposal would be to remove the existing posts and glass panels – the handrail cover would be removed and replaced on the new

balustrading which would mirror that above. The existing posts would not be capable of reuse due to the need for strengthening.

- 1.8 A formal submission would be made pursuant to condition 10 upon the listed building consent for approval to remove the existing "posts" and the "modernist glass mesh" at first and second floor levels in order to replicate that to be provided at upper floor levels (excluding 6th floor restaurant level). Details would be submitted for the new balustrading pursuant to condition 12.

2.0 ESCALATORS

- 2.1 Scott Lawrie presented finishes samples. Black rubber handrail, glass parapet and white GRG to base. Hilary Bell and David Stabb thought these to be acceptable.

3.0 CEILINGS

- 3.1 English Heritage and RBKC were happy with the mock up and the overall design of the ceilings.
- 3.2 Scott Lawrie mentioned how floor to ceiling heights would vary across the store and that this would be reflected in the proportions on the bulkhead thickness i.e. fifth floor.

4.0 MACKMURDO YARD

- 4.1 Scott Lawrie presented the scheme and proposed rendering of both walls, from ground to roof level. Hilary Bell expressed the importance of preserving the existing appearance and in the careful choice of the replacing brick to match. Hilary Bell questioned the need for rendering above the canopy. Scott Lawrie explained the idea of bringing light down into the yard and also weather proofing Mackmurdo building. Hilary Bell questioned how much light was needed and whether there could not be other methods. Hilary Bell mentioned the fact that white render would minimise the effect of the new canopy below and create a sense of corridor. Final agreement was to not present samples of the brick to be used for replacement at this stage or carry out any cleaning but instead wait until the walls adjacent are demolished and then review.
- 4.2 Scott Lawrie proposed to reuse existing bricks from Symons building flank wall to be demolished to fill in existing openings to the Mackmurdo building flank wall. This was thought to be both sensible and acceptable.

- 4.3 Scott Lawrie described the recessing of the new gates into both the new wall and the Mackmurdo sidewall in order to minimise their effect when open. Meeting found this acceptable.
- 4.3 Scott Lawrie described the intention of keying in the render on the corner return to Mackmurdo Yard. Meeting agreed this proposal to be of benefit.
- 4.4 English Heritage and RBKC agreed to the design of the centre handrail within the courtyard as presented viz simple metal flat encasement and glass infill panes.

5.0 SHOP FRONTS

- 5.1 Scott Lawrie presented options for colour of the render on the pilasters. White was seen as the preferred option. David Stabb questioned how this will be done and proposed a Bath Stone finish paint. Hilary Bell described how this side of Peter Jones has always had a residential character that should be maintained and therefore attention should be given to its new elements. Scott Lawrie agreed to present options on render.
- 5.2 David Stabb suggested that samples should be submitted by contractor for approval prior to the removal of elements. Meeting agreed to replacement of the existing upstand glass with black ceramic tiles to match those used elsewhere around the building and yorkstone to cover the positions of the existing pavement lights.

6.0 MACKMURDO LOWER WINDOWS TO YORKSTONE PAVEMENT

- 6.1 Meeting discussed the detail, JMCP to forward detail for approval to Hilary Bell.

7.0 SASH CASE WINDOW TO SYMONS STREET

- 7.1 Scott Lawrie mentioned how a mock up at first floor had been intended to be presented but explained that it had not been possible due to delivery problems. Agreement was made that it would be presented at the next meeting.

8.0 LOADING DOORS

- 8.1 Scott Lawrie presented the proposed scheme with use of aluminium honey comb back panel and 10mm perspex top panel with an inter layer of coloured vinyl. David Stabb questioned what the colour was to be and whether there was going to be any advertisement display. Scott Lawrie confirmed the proposed use of John Lewis

corporate green and confirmed that there would be no logo. Meeting agreed that black rubber tiles should be used at the base of the doors. Timber effect trims also.

9.0 ROOFLIGHT

- 9.1 Hilary Bell questioned the need for fritting. Scott Lawrie explained the requirement for protection from solar gain. Meeting agreed that design was acceptable.

10.0 SYMONS STREET DOME

- 10.1 Hilary Bell questioned the difficulty of achieving a good overall finish in slate. Meeting discussed materials for finishing the dome stainless steel, zinc and copper. Pre-patinated copper was stated to be preferred by Hilary Bell/David Stabb.
- 10.2 Scott Lawrie presented the meeting with amended proposals for the Symons Street dome. Meeting agreed to proceed with single dormer to three faces "Bulls eye design."
- 10.3 Proposed louvered option was agreed to the cupola. David Stabb questioned the thickness of supporting frame. Final details to be submitted at next meeting.
- 10.4 Initial agreement was given to the lighting proposals. Confirm scheme at next meeting.

11.0 SYMONS STREET

- 11.1 Scott Lawrie presented various types of slate samples and agreement was reached upon Dark Blue Grey CWY-Y-Bugail.

12.0 NEW MATERIALS

- 12.1 Scott Lawrie presented the various types of render cladding Sto, RockWall, Warm Wall. Meeting agreed either would be acceptable.
- 12.2 Meeting reviewed the proposed revised louvre positions for the Cathedral Plant Room, Cadogan Gardens elevation. Meeting agreed that this was acceptable, finished in white to match adjacent wall.

IMPORTANT

To: Hilary Bell Date: 25/9/00

The attached document(s) is/are forwarded:

- as discussed
 for action by you
 for your information
 for your consideration and comments
 for noting and returning

Notes:

Re: Peter Jones

Please note the following.

**THE ROYAL
BOROUGH OF**



**KENSINGTON
AND CHELSEA**

With the Compliments of

The Executive Director of Planning & Conservation

The Town Hall, Hornton Street, London, W8 7NX

Telephone: 0171 - 937 5464 FAX: 0171 - 361 3463

JW

70 Cowcross Street
London EC1M 6EJ
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THE TWENTIETH CENTURY SOCIETY

Jon Wade
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Royal Borough of Kensington and Chelsea
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e-mail:
Director@
Caseworker@
Administrator@
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Founded in 1979
as The Thirties Society
to protect British
Architecture and Design
after 1914

20th September 2000

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Dear Mr Wade

Peter Jones, Slone Square, London, W1
Planning Application: 98/1098

21/5

Following my letter of 19th May 2000 I would like to formally request further information and a site visit on the property above

The Casework Committee are concerned that works to the internal features of the building have not received listed building consent. A member of the Society has viewed perspective drawings within the store and these differ from the proposed drawings referred to the caseworker.

Surviving features of interest within the building we consider important and wish to be consulted on are:

- 1) any proposed works to the existing lightwells, handrails and balustrades;
- 2) any proposed works to stairs, handrails and balustrades from the Kings Road entrance;
- 3) any proposed works to the doors and windows;
- 4) any proposed works to the spiral stair;
- 5) and any proposed works to the entrance from Cadogan Gardens.

I would be grateful if you could contact me at the above address and confirm if these internal alterations have consent and involve the Society in any future negotiations and site visits.

Yours sincerely,

Emmanuelle Morgan
Emmanuelle Morgan

Cc. David Stabb (English Heritage)

John McAslan & Partners
202 Kensington Church
Street
London W8 4DP
020 7 727 2663

To: rbkc
Company:
Fax Number: 73613463
From: Scott L
Date: 14/9/2000
Subject: Peter Jones
Number of pages including cover page: 6

3:55 pm

JW

~~CPB~~
15/9

Minutes of last meeting with RBKC/EH held on the 07.09.00

R.B.K. & C.
TOWN PLANNING
16 SEP 2000
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Jw. Noted & agreed
H/B 15.9.00

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MINUTES

1
 FILE REF SL/717/3.0
 NUMBER
 JOB NO 717
 TITLE PETER JONES REFURB
 SUBJECT RBKC/EH Visit 07th
 September 00
 DATE 7th September 2000
 TIME 11 30 am
 VENUE PETER JONES

DISTRIBUTION

PRESENT Jonathan Wade RBKC
 Hillary Bell
 David Stabb English Heritage
 Paul Kentish FPD Savills
 Scott Lawrie John McAslan & Partners

PLUS Beverly Bolton John Lewis Partnership
 Peter Jeffree John Lewis Partnership
 Douglas Cooper John Lewis Partnership
 Andrew Hucklesby John Lewis Partnership
 Derek Clarkson Clarkson Goff
 Terry Spraggett Bovis Land Lease
 Joe George Bovis Land Lease
 Gordon Hallowell Davis Langdon and Everest

John McAslan + Partners

John McAslan
 Director
 Richard Smith
 Richard Smith
 Richard Smith
 Richard Smith
 Richard Smith

John McAslan + Partners
 2nd Floor
 100 Broad Street
 London W1P 3JQ
 Telephone: 020 7277 9000
 Fax: 020 7277 9001
 Email: info@mcaslan.com
 www.mcaslan.com

M	SUBJECT	ACTION
1 0	<u>Items viewed</u>	Initials
1 1	<p><u>Schuco glazing at Imperial College Library</u> Meeting reviewed the 4th and 5th floor glazing. SL explained that the system (FW50s) and finish were the same as the one being proposed for the new areas of curtain wall on Peter Jones. Meeting agreed that this was an acceptable cladding system and finish for Peter Jones and in relation to Listed Building Condition 18/PP2 SL to forward photographs of library curtainwall and technical information on Schuco System to allow sign off of above condition</p>	Record SUJMP
	<p>Meeting discussed the potential overview concerns of the proposed Restaurant and the fritting of the windows onto Symonds Street. SL explained that with the Senior Partners Dining area now having been removed from the scheme and having been replaced with cold rooms and storage the problem has all but been resolved. It was agreed that the scheme could move forward on the basis that the glazing is constructed in clear glass and the situation reviewed on site once the area is completed and could be fritted retrospectively</p>	Record
	<p><u>Louvres at The Forty Building Grosvenor Place</u> Meeting reviewed the louvres which have been used on the above building and SL explained that the same system is proposed for the louvres above the 6th floor Restaurant glazing on the Symonds Street façade. Meeting agreed that these would be acceptable for the Peter Jones project and that SUJMP should submit photographs and technical information to allow sign off of Listed Building Conditions 16, 18, 26, 28 and PP9 and 12</p>	SUJMP
2 0	<u>Detail design arising from last meeting</u>	
2.1	<p><u>Detail design for dome</u> Meeting reviews the revised drawings for the dome showing the resized and repositioned dormers. SI explains that it is now proposed to have vertical running joints and have the copper patinated. DS asked that the base of the dormer be extended slightly, more in line with the original sketch. SL to amend drawing and submit with revised elevations set</p>	SUJMP
2.2	<p><u>LB10 + 12 Balustrades</u> SL summarised to the Meeting the various evolutions that the design for the balustrades had gone through. Following on from the last meeting SL explained that work had been done to remove the need for the side clamp detail to the glass panels and replace this with "button" fixtures back onto the handrail at the 940mm AFF level (drawing attached). This then allowed the new posts to be designed in the same dimensions and form as the existing. SL confirmed that all the existing posts at 1st and 2nd floor level would be replaced, the need for a new base fixing detail being required to counter the cantilever action of the increased height of glass. DS requested that a cross section of the proposed post be submitted to English Heritage. SL confirmed also that the existing handrail metal work would be retained and refitted to the new balustrades at 1st and 2nd floor level the new post being finished in a powder coating to RAL 9010. Meeting agrees to progress on this basis with SUJMP to submit revised drawings. Meeting agreed that when putting in the application a statement of justification which states the reasons for the replacement of the current posts on 1st and 2nd floor should also be submitted. JW stated that the Twentieth Century Society had expressed a specific interest in the balustrades and that a meeting may therefore be sensible to inform them of the proposed changes</p>	SUJMP RBKC
2 3	<p><u>Cameo window Stair B</u> Meeting reviewed the revised proposal for the cameo window adjacent to stair B entrance. SL explained that it was necessary to move the existing wall forward flush with the main wall to accommodate the sprinkler valve chambers behind. SL explained that it was proposed to carry out this work to replicate the existing stair A window. Meeting agreed that this was acceptable provided that the new areas of polished and riven slate match perfectly the existing. Samples to be submitted at the earliest convenience for approval. SUJMc to submit revised drawings.</p>	SUJMP

ITEM	SUBJECT	ACTION
3 0	<u>Proposed Program for submissions</u>	
3 1	PK explained that it was proposed to now submit the revised elevation drawings which encompass the changes to the dome and rooflights on Symons Street along with the Cameo Window on Stair B (See also paragraphs 5 3,5 4,5 5 below) This was in relation to having received the sign off from RBKC in the last week to the previously submitted floor plan changes	FPD/JMP
4 0	<u>Satisfaction of Conditions</u>	
4.0a	<u>Material to discuss (Mackmurdo)</u>	
	LB1 Stair L – SL explained and meeting reviewed on site the proposed change to the approved scheme This entailed not removing the existing 1 st floor within the lightwell and making a minor amendment to how the new stairs were designed Meeting agreed that the change to the proposed scheme was acceptable SL to forward drawings	SL/JMP
	LB3 Skirting in Mackmurdo – meeting agreed that the existing skirtings could be removed where repairs are required and replaced with new to match JW confirmed that this was a standard condition and not specific to the Mackmurdo Building	Record
	LB4 Mackmurdo existing door onto Cadogan Gardens Meeting agreed that the clarification that this door would not now be replaced was acceptable	Record
4 0b	<u>Material submitted on the 8th and 18th August awaiting determination</u>	
	PK confirmed that the relevant information had been submitted to RBKC on the above dates in relation to the following conditions	
	LB6 Rooflight - Submitted	
	LB11 Escalators - Submitted	
	LB15 Proposed ceiling treatment - Submitted	
	LB26 / PP9 External Materials- Lightwell, Plant Room, Partners Rest Room - Submitted	
	LB28/ PP2 Plant Tower- - Submitted	
	JW/HB/DS to review and confirm acceptance	RBKC/EH

EM	SUBJECT		ACTION
4 0c	<u>Material to be submitted</u>		
LB9	Photographic survey of plaster ceiling	- Meeting reviewed the photographs at the meeting SL explained that BLL were continuing to find a way of taking an area of the ceiling down to be kept	BLL
LB14	Lighting system sample	- Meeting agreed that the sample shown at the meeting was not required to be submitted but a photograph of the lighting system within the mock up ceiling should be submitted	FPD
LB25	Reinstated shopfront to Symons Street	- Meeting discussed the finish that the replaced shop front should have, SL to forward samples of different finishes available in mahogany	SL/JMP
5 0	<u>New Development Changes</u>		
5 1	Pilasters	- colour to Symons Street shopfront SL/JMP to forward proposals for colour at next meeting	SL/JMP
5 2	Loading Dock	- Meeting discussed the floor finish within the loading dock and agreed that it would be more pragmatic and aesthetically acceptable to have a coloured concrete slab SL/JMP to forward samples or examples of this material in use for review at the next meeting Meeting then reviewed the mock up of the loading dock door and agreed that the proposed design could be somewhat simplified SL to forward revised sketches for comment	SL/JMP
5 3	Symons Street Rooflights	- SL explained the proposed inclusion of new rooflights onto the top of the reformed Symons Street roof Meeting agreed that this would be acceptable but that SL was to forward 1 5 details to show that they were basically flat to the roof finish	SL/JMP
5 4	(Note JW/HB leave meeting) New doors to Customer Entrances	- The proposals were reviewed on site and it was agreed that SL/JMP should forward detail elevations of the proposals	SL/JMP
5 5	Lightning tape and Finials	- Meeting discussed the need for the flues to have finials added and to run a tape down the side of staircase E SL to incorporate these changes onto the revised set of elevations that are to be submitted	SL/JMP
6 0	<u>Next Meeting to be arranged</u>		

CBB
ISLS

JW

John McAslan & Partners
202 Kensington Church
Street
London W8 4DP
020 7 727 2663

To: RBKC
Company:
Fax Number: 0207 3613463

From: Roger W

Date: 15/9/2000 11:14 am

Subject: Peter Jones

Number of pages including cover page: 6

Minutes of the last meeting with EH/RBKC

R.B.K. & C.
TOWN PLANNING
15 SEP 2000
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John McAslan + Partners

John McAslan
Erica Smith
Richard Keable
Beverly Bolton
Adam Knowlton

MINUTES

FILE REF SL/717/3 0

NUMBER

JOB NO 717

TITLE PETER JONES REFURB

SUBJECT RBKC/EH Visit 07th
September 00

DATE 7th September 2000

TIME 11 30 am

VENUE PETER JONES

DISTRIBUTION

PRESENT	Jonathan Wade Hillary Bell David Stabb Paul Kentish Scott Lawrie	RBKC English Heritage FPD Savills John McAslan & Partners
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PLUS	Beverly Bolton Peter Jeffree Douglas Cooper Andrew Hucklesby Derek Clarkson Terry Spraggett Joe George Gordon Hallewell	John Lewis Partnership John Lewis Partnership John Lewis Partnership John Lewis Partnership Clarkson Goff Bovis Land Lease Bovis Land Lease Davis Langdon and Everest
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John McAslan + Partners Ltd
287 Kensington Church St
London W8 4BP
Telephone 020 7227 8000
Facsimile 020 7227 8001
E-mail jmc@jmc.com
www.jmc.com

ITEM	SUBJECT	ACTION
1 0	<u>Items viewed</u>	Initials
1 1	<p><u>Schuco glazing at Imperial College Library</u> Meeting reviewed the 4th and 5th floor glazing. SL explained that the system (FW50s) and finish were the same as the one being proposed for the new areas of curtain wall on Peter Jones Meeting agreed that this was an acceptable cladding system and finish for Peter Jones and in relation to Listed Building Condition 18/PP2 SL to forward photographs of library curtainwall and technical information on Schuco System to allow sign off of above condition</p> <p>Meeting discussed the potential overview concerns of the proposed Restaurant and the fritting of the windows onto Symonds Street SL explained that with the Senior Partners Dining area now having been removed from the scheme and having been replaced with cold rooms and storage the problem has all but been resolved It was agreed that the scheme could move forward on the basis that the glazing is constructed in clear glass and the situation reviewed on site once the area is completed and could be fritted retrospectively</p> <p><u>Louvres at The Forty Building Grosvenor Place</u> Meeting reviewed the louvres which have been used on the above building and SL explained that the same system is proposed for the louvres above the 6th floor Restaurant glazing on the Symons Street façade Meeting agreed that these would be acceptable for the Peter Jones project and that SL/JMP should submit photographs and technical information to allow sign off of Listed Building Conditions 16, 18,26,28 and PP9 and 12</p>	Record SL/JMP Record SL/JMP
2 0	<u>Detail design arising from last meeting</u>	
2 1	<p><u>Detail design for dome</u> Meeting reviews the revised drawings for the dome showing the resized and repositioned dormers, SI explains that it is now proposed to have vertical running joints and have the copper patinated DS asked that the base of the dormer be extended slightly, more in line with the original sketch SL to amend drawing and submit with revised elevations set</p>	SL/JMP
2 2	<p><u>LB10 + 12 Balustrades</u> SL summarised to the Meeting the various evolutions that the design for the balustrades had gone through Following on from the last meeting SL explained that work had been done to remove the need for the side clamp detail to the glass panels and replace this with "button" fixtures back onto the handrail at the 940mm AFF level(drawing attached) This then allowed the new posts to be designed in the same dimensions and form as the existing SL confirmed that all the existing posts at 1st and 2nd floor level would be replaced, the need for a new base fixing detail being required to counter the cantilever action of the increased height of glass DS requested that a cross section of the proposed post be submitted to English Heritage SL confirmed also that the existing handrail metal work would be retained and refitted to the new balustrades at 1st and 2nd floor level the new post being finished in a powder coating to RAL 9010 Meeting agrees to progress on this basis with SL/JMP to submit revised drawings</p> <p>Meeting agreed that when putting in the application a statement of justification which states the reasons for the replacement of the current posts on 1st and 2nd floor should also be submitted JW stated that the Twentieth Century Society had expressed a specific interest in the balustrades and that a meeting may therefore be sensible to inform them of the proposed changes</p>	SL/JMP SL/JMP RBKC
2 3	<p><u>Cameo window Stair B</u> Meeting reviewed the revised proposal for the cameo window adjacent to stair B entrance SL explained that it was necessary to move the existing wall forward flush with the main wall to accommodate the sprinkler valve chambers behind SL explained that it was proposed to carry out this work to replicate the existing stair A window Meeting agreed that this was acceptable provided that the new areas of polished and riven slate match perfectly the existing, samples to be submitted at the earliest convenience for approval SL/JMc to submit revised drawings</p>	SL/JMP

ITEM	SUBJECT	ACTION
3 0	<u>Proposed Program for submissions</u>	
3 1	PK explained that it was proposed to now submit the revised elevation drawings which encompass the changes to the dome and rooflights on Symons Street along with the Cameo Window on Stair B (See also paragraphs 5 3,5 4,5 5 below) This was in relation to having received the sign off from RBKC in the last week to the previously submitted floor plan changes	FPD/JMP
4 0	<u>Satisfaction of Conditions</u>	
4 0a	<u>Material to discuss (Mackmurdo)</u>	
	LB1 Stair L - SL explained and meeting reviewed on site the proposed change to the approved scheme This entailed not removing the existing 1" floor within the lightwell and making a minor amendment to how the new stairs were designed Meeting agreed that the change to the proposed scheme was acceptable SL to forward drawings	SL/JMP
	LB3 Skirting in Mackmurdo - meeting agreed that the existing skirtings could be removed where repairs are required and replaced with new to match JW confirmed that this was a standard condition and not specific to the Mackmurdo Building	Record
	LB4 Mackmurdo existing door onto Cadogan Gardens Meeting agreed that the clarification that this door would not now be replaced was acceptable	Record
4 0b	<u>Material submitted on the 8th and 18th August awaiting determination</u>	
	PK confirmed that the relevant information had been submitted to RBKC on the above dates in relation to the following conditions	
	LB6 Rooflight - Submitted	
	LB11 Escalators - Submitted	
	LB15 Proposed ceiling treatment - Submitted	
	LB26 / PP9 External Materials- Lightwell, Plant Room, Partners Rest Room - Submitted	
	LB28/ PP2 Plant Tower- - Submitted	
	JW/HB/DS to review and confirm acceptance	RBKC/EH

ITEM	SUBJECT		ACTION
4 0c	<u>Material to be submitted</u>		
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6 0	<u>Next Meeting to be arranged</u>		





FPDSavills

INTERNATIONAL PROPERTY CONSULTANTS

12 September 2000
KRJLP347

20 Grosvenor Hill, Berkeley Square,
London W1X 0HQ

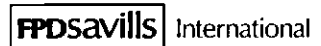
Tel: +44 (0) 20 7499 8644

Direct Line: +44 (0) 20 7409 8875
Direct Fax: +44 (0) 20 7753 8939

Email:
pkentish@fpdsavills.co.uk
Home Page: www.fpdsavills.co.uk

J Wade Esq
Department of Planning & Conservation
Royal Borough of Kensington & Chelsea
Town Hall
Hornton Street
London W8 7NX

1419



Dear Mr Wade

JOHN LEWIS PLC - PETER JONES DEPARTMENT STORE, SLOANE SQUARE, SW3 (LISTED BUILDING CONSENT REF. TP/98/1099/Z/52/4013)

I would refer to the above listed building consent dated 27 October 1999.

Imposed upon the consent are conditions 3 and 4 which relate to the Mackmurdo building.

Condition 4 requires that details of the proposed front door for customer collections to the building including design and materials shall be submitted for approval. I am writing to confirm that as the access for customer collections has been relocated, it will no longer be necessary for any alterations to be undertaken to the existing door, the subject of condition 4. As such no submission for approval will be made. Would you please therefore note on your records that no action is required in respect of this condition.

Condition 3 requires, inter alia, that the original skirting boards within the building shall not be removed without your express consent in writing. During our site visit on 7 September 2000 it was agreed that where repair (which may involve replacement) is required to those original skirting boards still existing, this could be undertaken without express consent being sought. My clients will be proceeding on this basis.

Yours sincerely

PAUL D KENTISH
Director

Cc A Hucklesby : John Lewis Partnership
S Lawrie : John McAslan & Partners
D Clarkson : Clarson Goff

RECEIVED BY PLANNING SERVICES									
EX DIR	HDC	N	C	SW	SE	ENF	AO ACK		
35 14 SEP 2000									
PREP	IO	RE	AB	FWD PLN	CON DES	FEES			

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INTERNATIONAL PROPERTY CONSULTANTS

12 September 2000
KRJLP346

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J Wade Esq
Department of Planning & Conservation
Royal Borough of Kensington & Chelsea
Town Hall
Hornton Street
London W8 7NX

FPDSavills International

Dear Mr Wade

JOHN LEWIS PLC - PETER JONES DEPARTMENT STORE, SLOANE SQUARE, SW3 (LISTED BUILDING CONSENT REF. TP/98/1099/Z/52/4013)

I would refer to the above listed building consent dated 27 October 1999 and in particular to its condition 14.

Condition 14 requires details of the new lighting systems (except for spotlight display) to be submitted and approved.

The lighting system incorporated within the ceiling has been the subject of inspection of a full size mock up. As agreed at the meeting on 7 September 2000, a photograph of the "mock up" would be sufficient for your purposes in discharging this condition. I therefore enclose a copy of same and await your letter of confirmation that this condition has been discharged.

Yours sincerely



PAUL D KENTISH
Director

Cc A Hucklesby : John Lewis Partnership
S Lawrie : John McAslan & Partners
D Clarkson : Clarson Goff



PHOTOGRAPH RECORD SUBMITTED
PURSUANT TO CONDITION 14 - LISTED
BUILDING CONSENT

REF: TP/98/1099/Z/52/4013

Pc Ack/JW

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(30) M
14/8

8 August 2000
KRJLP334

J Wade Esq
Department of Planning & Conservation
Royal Borough of Kensington & Chelsea
Town Hall
Hornton Street
London W8 7NX

Dear Mr Wade

JOHN LEWIS PLC - PETER JONES DEPARTMENT STORE, SLOANE SQUARE, LONDON SW1

On behalf of John Lewis plc I hereby submit details for approval to conditions 6 and 15 imposed upon the listed building consent (TP/08/1099/Z/52/4013), dated 27 October 1999 and approving the renovation and extension of the above.

1. Condition 6

The condition requires that "details and sections at scale 1:20 of the glazed roof lantern to the main central lightwell shall be submitted to and approved in writing by the Executive Director, Planning & Conservation, prior to the relevant part of the works commencing and the approval details shall be implemented and maintained thereafter."

In satisfaction of this condition I enclose four copies of :

- LL156 rev 00 Rooflight plan (7th floor)
- LL157 rev 00 Rooflight plan (8th floor)
- LL158 rev 00 Rooflight Section 3
- LL159 rev 00 Rooflight Section 1

I also enclose as materials a double glazed sample and cast stainless steel spider bracket produced by Space Decks Ltd, the glazed unit would be fritted in accordance with the second glass sample no BAR-04. The framing material is that of the sample manufactured by John Desmond Ltd.

For illustrative purposes I also enclose a montage of the new glazed roof lantern.

2. Condition 15

This condition requires:

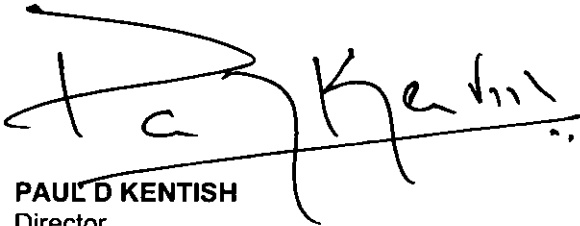
"A section of the proposed ceiling treatment, including relevant profiles shall be inspected and approved by or on behalf of the Executive Director, Planning & Conservation prior to ceiling works commencing. The approved treatment shall be implemented and maintained thereafter."

This inspection has taken place and I would therefore request that an appropriate approval letter be issued.

For record purposes I enclose two colour photographs of the "mock up" which has been inspected together with a copy of drawing LL-256 rev 02 providing appropriate details.

I await your early response.

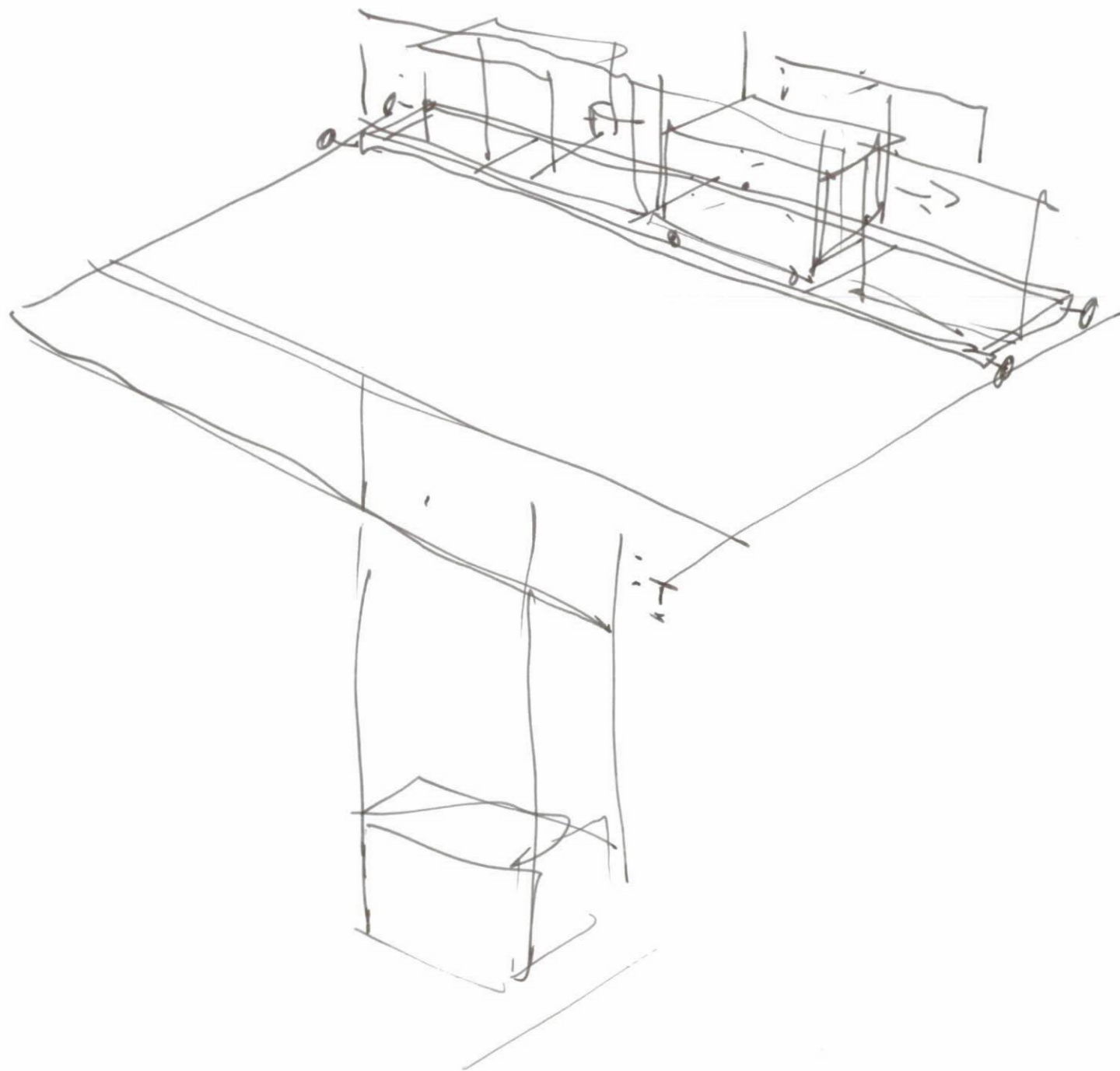
Yours sincerely

A handwritten signature in black ink, appearing to read "Paul D Kentish". The signature is written in a cursive style with a large, sweeping initial "P".

PAUL D KENTISH
Director

Cc A Hucklesby : John Lewis plc
 D Clarkson : Clarson Goff
 S Lawrie : John McAslan & Partners









40mm Ø ANODIZED ALUMINIUM EXTERNAL BALUSTRADE BY CURTAIN WALL CONTRACTOR, FIXED OF MAIN SLAB OR TOP OF GLAZING FRAME (DEPENDENT ON POSITION TO BE DETERMINED BY CONTRACTOR) WITH SLEEVES AND FLASHINGS TO WEATHERPROOF

50mm RIGID INSULATION BOARD ON BREATHER MEMBRANE ON 12mm EXTERIOR GRADE PLY ON BATTEN AND GLAZING FRAME

±28.175 TOP OF COPING

ANODIZED ALUMINIUM COPING WITH HOLES FOR BALUSTRADE POSTS

TANALISED S/W SUPPORT UPSTAND

PROPRIETARY INSULATED RENDER SYSTEM TO ACHIEVE A U VALUE OF .45 FIXED TO GLAZING FRAME BY CURTAIN WALL CONTRACTOR, TO MATCH RENDER CLADDING BY OTHERS

FIXING BRACKET TO CURTAIN WALL MANUFACTURE APPROVED DETAIL

PROPRIETARY ONE HR RATED FIRE STOPPING, ROCKWALL SP OR EQUIVALENT

MULLION TAKEN UP ABOVE GLAZED CLADDING HEAD FOR FIXING TO STRUCTURAL SLAB AND EXTENDED FURTHER UP TO PROVIDE MEANS FOR FIXING OF ALUMINIUM CAPPING SECTIONS.

STRUCTURAL STEEL AND FIRE ENCASEMENT BY OTHERS

REMOVABLE CONTINOUS ALUMINIUM CAPPING PIECE

ANODIZED ALUMINIUM BRISE-SOLEIL FIXING TO APPROVED CONTRACTORS DETAIL

MASTIC SEALANT TO SPECIFICATION AND MANUFACTURERS DETAILS.

DETAIL 1

500

60

305

180

125

240

227

170

HOLORIB SLAB

TANALISED TIMBER FRAMING FOR GUTTER AND HEATER COVER SUPPORT

VARIES

CO-ORDINATE SUPPORT FOR SUSPENDE CEILING EDGE BY OTHERS

±27.255 FCL

SUSPENDE CEILING BY OTHERS

INNER FACE OF SILLS TO BE FLUSH WITH THAT OF THE MULLIONS. STEEL REINFORCEMENT TO ALUMINIUM MULLIONS AND TRANSOMS SUPPLIED AND FIXED BY THE CONTRACTOR TO APPROVED DETAILS.

ANODIZED ALUMINIUM GUTTER ON 50mm BREATHER MEMBRANE ON SLAB OR 12mm EXTERIOR GRADE PLY ON TANALISED TIMBER FRAMING

BLINDS BY OTHERS

SILL UNIT AND PERIMETER HEATING BY OTHERS. CO-ORDINATE WITH CURTAIN WALL CONTRACTOR FOR FIXING

RAIS

R.B.K. & C.
TOWN PLANNING

22 SEP 2000

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		Illustrative Plans																	
IL-002	Basement Plan - Alterations	A2	200	0	0														
IL-003	Ground Floor Plan - Alterations	A2	200	0	0														
IL-004	First Floor Plan - Alterations	A2	200	0	0														
IL-005	Second Floor Plan - Alterations	A2	200	0	0														
IL-006	Third Floor Plan - Alterations	A2	200	0	0	1													
IL-007	Fourth Floor Plan - Alterations	A2	200	0	0	1													
IL-008	Fifth Floor Plan - Alterations	A2	200	0	0	1													
IL-009	Sixth Floor Plan - Alterations	A2	200	0	0	1													
IL-010	Seventh Floor Plan - Alterations	A2	200	0	0	1													
IL-011	Eighth Floor Plan - Alterations	A2	200	0	0	1													
		Isometric Drawings																	
IL-101	Existing Building	A2	NTS	0	0														
IL-102	Proposed Building	A2	NTS	0	0	1													
		Computer Generated Images																	
IL-201	External View from Sloane Square (NW)	A3		0	0														
IL-202	External View from Sloane Square (SW)	A3		0	0														
IL-203	External View from Kings Road (SW)	A3		0	0	1													
IL-204	External View from Kings Road (W)	A3		0	0														
IL-205	External View from Cadogan Gardens	A3		0	0	1													
IL-206	External View from Symons Street	A3		0	0	1													
IL-207	External View from Pavilion Road	A3		0	0														
IL-211	Internal View of Main Well	A3		0	0														
IL-212	Internal View of Selling Area	A3		0	0														

DISTRIBUTION

John Lewis Partnership			3																
Davis Langdon & Everest			1																
Hurst Pierce & Malcolm			1																
Troup Bywater & Anders			2																
JMP Consultants			1																
Ove Arup & Partners																			
Dunbar & Boardman			1																
Savills				6+1		6+6													
Lighting Design International																			
B&H Mechanical Commissioning Ltd.																			

Numbers in italics represents sets of drawings at A2 size.

W SERIES

R.B.K. & C.
TOWN PLANNING
- 2 JUN 1998
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SECTIONS AND EXEMPTIONS

W-141 to W-271 #3

(see 028)

TP981099

SUPERSEDED

PETER JONES
SLOANE SQUARE
TP 98/1098

Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JMR. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

Revisions				
Rev	Date	Description	Drawn	Check
00	22.05.98	Application for Listed Building Consent	RW	MS

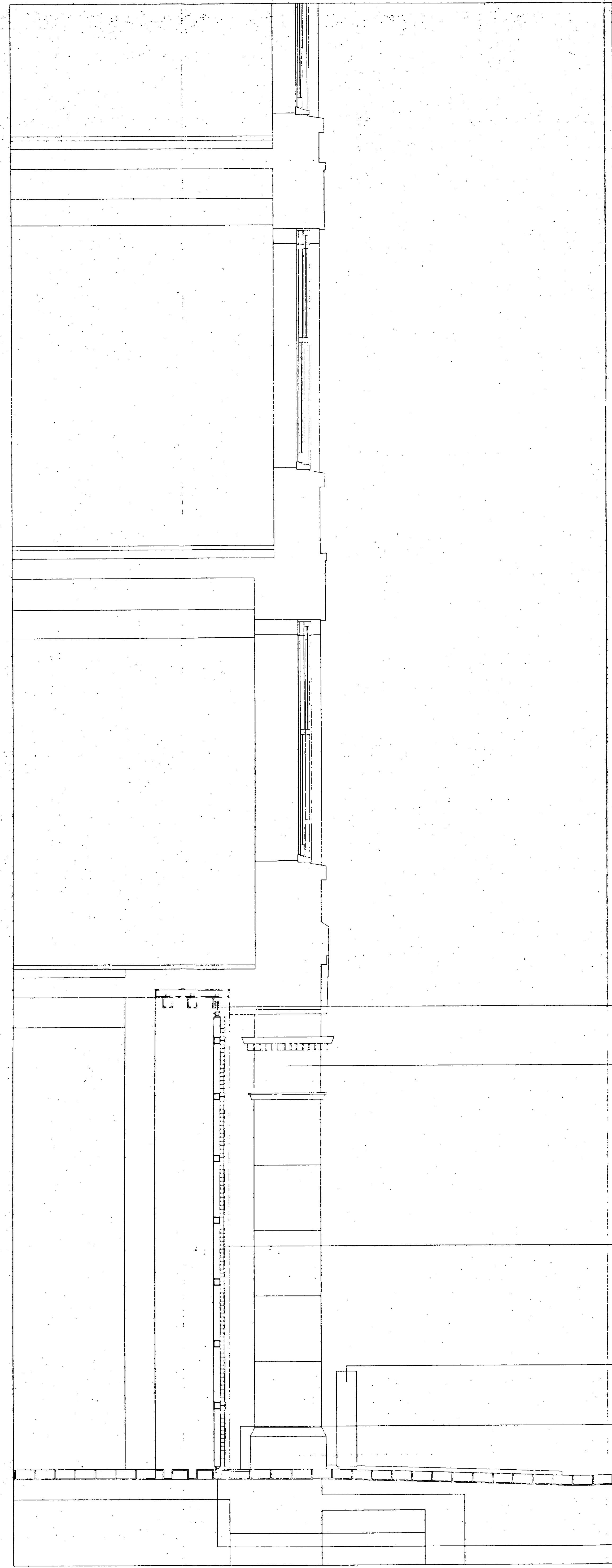
- Key
- Cladding**
- 01 Painted render
 - 02 Prefinished insulated dry render panel
 - 03 Travertine marble panel
- External Metalwork**
- 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium panel
 - 09 Anodised aluminium louvre panel
 - 10 Anodised aluminium louvre panel
 - 11 Painted galvanised steel
 - 12 Stainless steel handrail
 - 13 Painted galvanised steel balustrade
- Glazing**
- 16 Clear double glazed unit
 - 17 Solar coated clear double glazed unit
 - 18 Translucent double glazed unit
 - 19 Opaque double glazed unit
 - 20 Opaque fritted zone within double glazed unit
 - 21 Clear double glazed unit with interstitial blinds
 - 22 Clear toughened glass
 - 23 Translucent toughened glass
 - 24 Clear laminated glass
 - 25 Flush silicone joint
 - 26 Anodised aluminium mullion section
 - 27 Galvanised steel glazing section
 - 28 Fixed open galvanised steel frame unit
 - 29 Stainless steel bolted glass fixing
 - 30 Framed glass control screen
 - 31 Coated glass fibre glass control blind
- Roofing**
- 33 Aluminium standing seam roofing system
 - 34 Galvanised steel access way way
 - 35 Galvanised steel stair
 - 36 Precast concrete pavours
 - 37 Precast concrete coping
 - 40 Pebble infill
 - 41 Maintenance cradle
 - 42 Maintenance cradle track
- Internal Finishes**
- 45 Glass fibre reinforced gypsum bulkhead and soffit
 - 46 Plasterboard drylining
 - 47 Painted plaster finish
 - 48 Powder coated steel tie with circular perforations
 - 49 Powder coated aluminium ceiling suspension rail
 - 50 Indicative snop fitting
- Internal Metalwork**
- 56 Painted mild steel
 - 57 Clear toughened glass
 - 58 Stainless steel cladding panel
 - 59 Silver bronze finished handrail
 - 60 Silver bronze finished louvre panel
- Services**
- 61 Flush recessed downlight
 - 62 Linear backlight
 - 63 Galvanised steel louvre air intake grille
 - 64 Anodised aluminium air intake grille
 - 65 Anodised aluminium automated air make-up dampers
 - 66 Powder coated aluminium circular air supply nozzle
 - 67 Anodised aluminium linear slot air diffuser
 - 68 Anodised aluminium trench heater grille
 - 69 Sprinkler head
 - 70 Coated glass fibre smoke control curtain
 - 71 Boiler flue
 - 72 Chiller unit
 - 73 Air handling unit
 - 74 Ductwork perim
- Streetscape**
- 81 High strength bonded opaque glass sliding door
 - 82 Timber facing panels on painted mild steel frame
 - 83 Flush recessed stainless steel fixings
 - 84 Galvanised steel track
 - 85 Yorkstone pavours
 - 86 Yorkstone stile sett
 - 87 Granite kerb
 - 88 Precast concrete setts
 - 89 Stainless steel bollards
 - 90 Painted galvanised steel drainage channel

R.B.K. & C.
TOWN PLANNING
-2 JUN 1998
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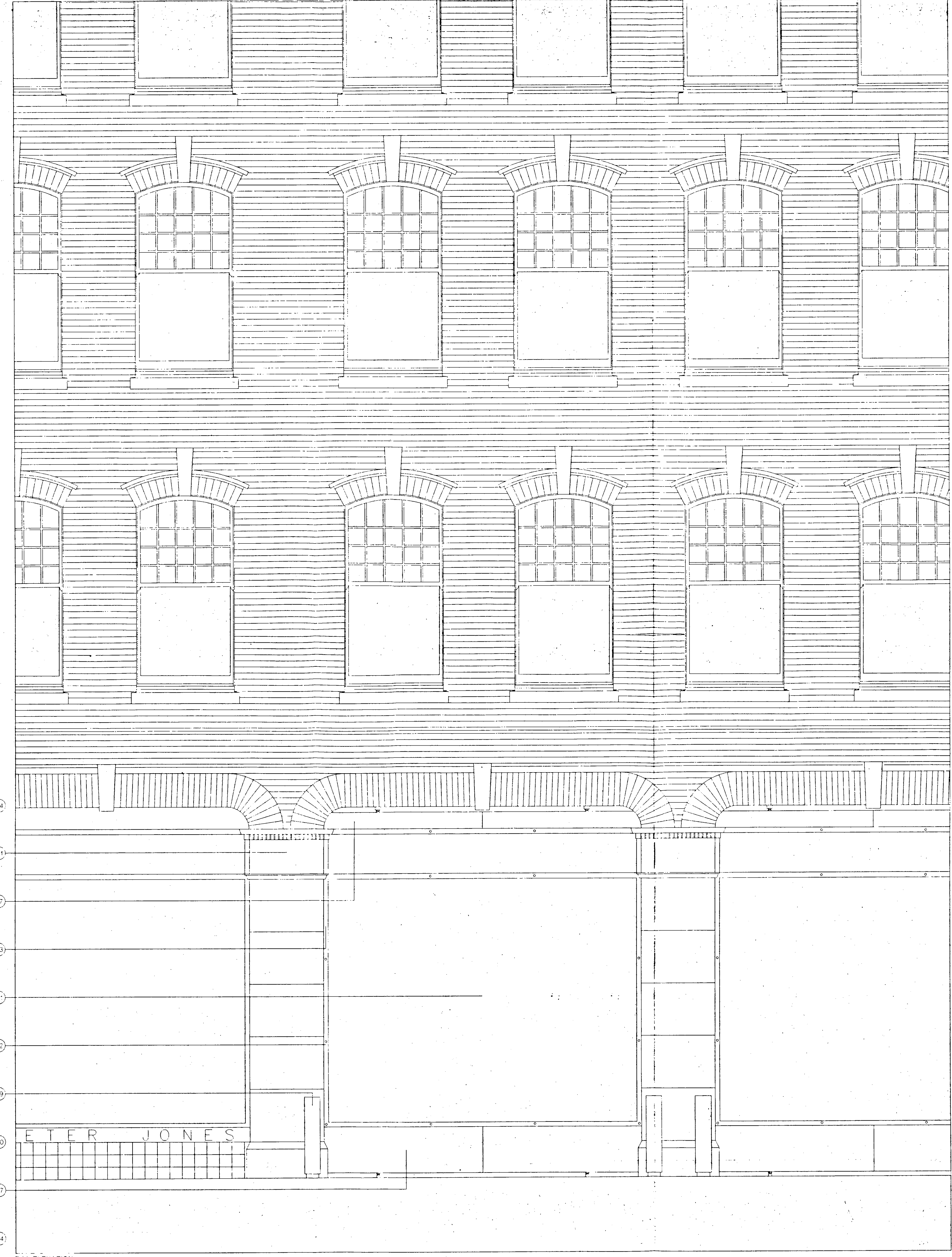
TF981099

0 5m 10m 15m 20m

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D01: SECTION



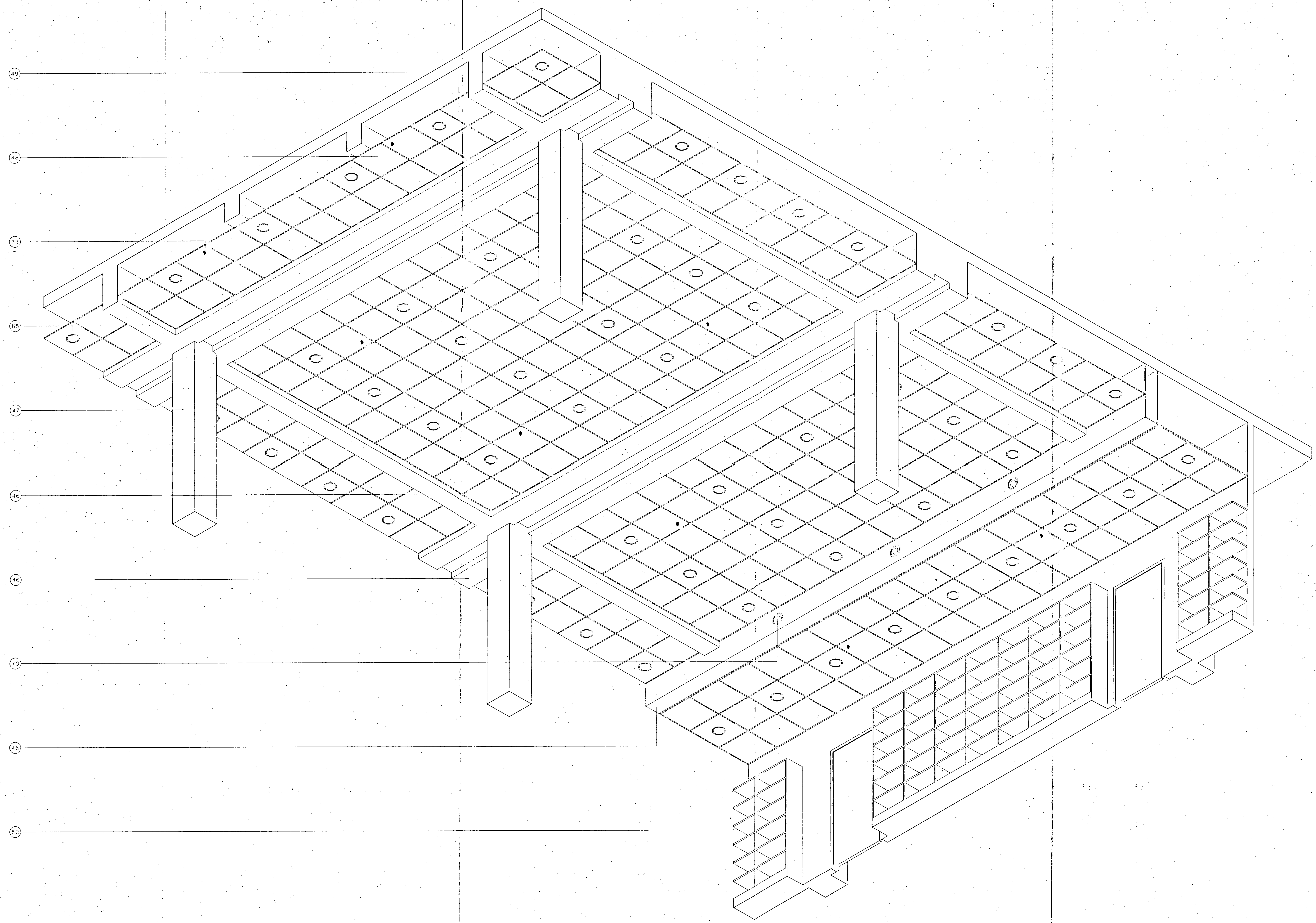
D02: ELEVATION

Peter Jones Refurbishment		John McAlan & Partners	
Enlarged Section and Elevation of Loading Bays and Windows on Symons Street		203 Kennington Church Street London W8 4DP	
scale 1:20 at A0	job no. 717	telephone 44 (0) 171 727 2663	
date April 98	drawn by RW	fax 44 (0) 171 221 8835	
drawing status Listed Building	checked by MS	email jmc@architectural.pjpr.com	
drawing no. LL-271	revision 00		

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Revisions

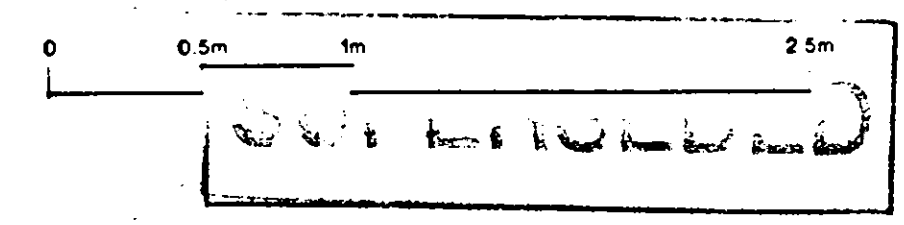
Rev	Date	Description	Drawn	Check
00	22.05.98	Application for Listed Building Consent	RW	MS



- Key
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 - C2 Prefinished insuisted dry render panel
 - C3 Travertine marble panel
- External Metalwork**
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 - E2 Powder coated aluminium flashing
 - E3 Powder coated aluminium gutter grille
 - E4 Powder coated aluminium parapet panel
 - E5 Anodised aluminium
 - E6 Anodised aluminium louvre panel
 - E7 Painted galvanised steel
 - E8 Stainless steel handrail
 - E9 Painted galvanised steel balustrade
- Glazing**
- G1 Clear double glazed unit
 - G2 Solar coated clear double glazed unit
 - G3 Translucent double glazed unit
 - G4 Opaque double glazed unit
 - G5 Glass fitted zone within double glazed unit
 - G6 Clear double glazed unit with interstitial blinds
 - G7 Clear toughened glass
 - G8 Translucent toughened glass
 - G9 Clear laminated glass
 - G10 Flush silicone joint
 - G11 Anodised aluminium mullion section
 - G12 Galvanised steel glazing section
 - G13 Fixed open galvanised steel framed unit
 - G14 Stainless steel turnbuckle glass fixing
 - G15 Framed glass control screen
 - G16 Coated gasket/bre glass control bird
- Roofing**
- R1 Aluminium standing seam roofing system
 - R2 Galvanised steel access walkway
 - R3 Galvanised steel stair
 - R4 Precast concrete paviours
 - R5 Precast concrete coping
 - R6 Petco mat
 - R7 Maintenance cradle
 - R8 Maintenance cradle track
- Internal Finishes**
- F1 Gypsum fibre reinforced gypsum bulkhead and soffit
 - F2 Plasterboard drylining
 - F3 Painted plaster finish
 - F4 Powder coated steel tie with circular perforations
 - F5 Powder coated aluminium ceiling suspension rail
 - F6 Indicative snap fitting
- Internal Metalwork**
- M1 Painted mild steel
 - M2 Clear toughened glass
 - M3 Stainless steel cladding panel
 - M4 Silver bronze finished handrail
 - M5 Silver bronze finished louvre panel
- Services**
- S1 Flush recessed downlight
 - S2 Linear backlight
 - S3 Galvanised steel covered air intake grille
 - S4 Anodised aluminium air intake grille
 - S5 Anodised aluminium automated air make up damper
 - S6 Powder coated aluminium circular air supply nozzle
 - S7 Anodised aluminium linear slot air diffuser
 - S8 Anodised aluminium trench heater grille
 - S9 Sprinkler head
 - S10 Coated gasket/bre smoke control curtain
 - S11 Boiler fuel
 - S12 Chiller unit
 - S13 Air handling unit
 - S14 Ductwork perim
- Streetscape**
- ST1 Rigid sheet bonded opaque glass sliding door
 - ST2 Timber facing panels on painted mild steel frame
 - ST3 Flush recessed stainless steel ring
 - ST4 Galvanised steel track
 - ST5 Yorkstone paviours
 - ST6 Yorkstone stile setts
 - ST7 Granite kerb
 - ST8 Precast concrete setts
 - ST9 Stainless steel bollards
 - ST10 Painted galvanised steel drainage channel

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-2 JUN 1998
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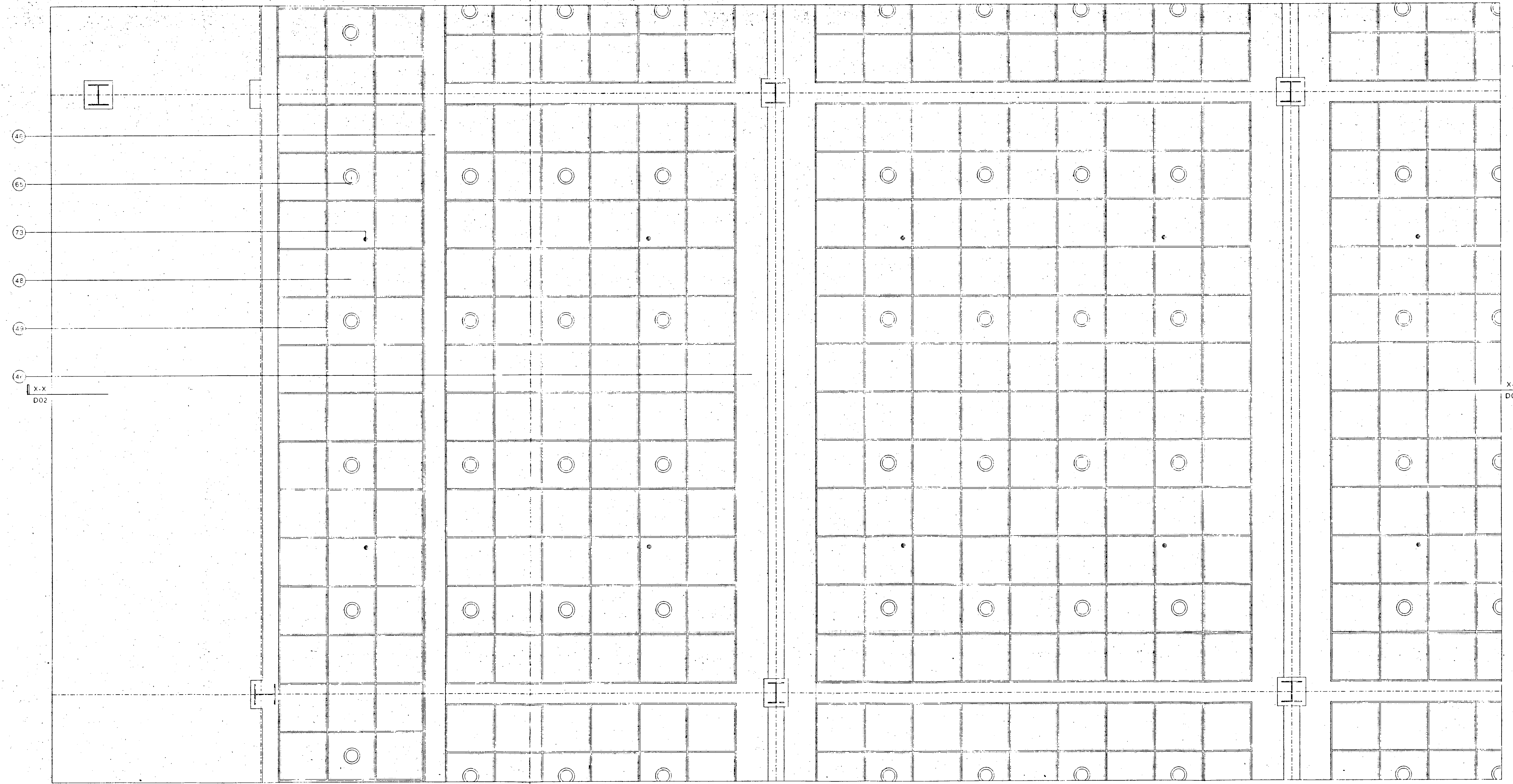
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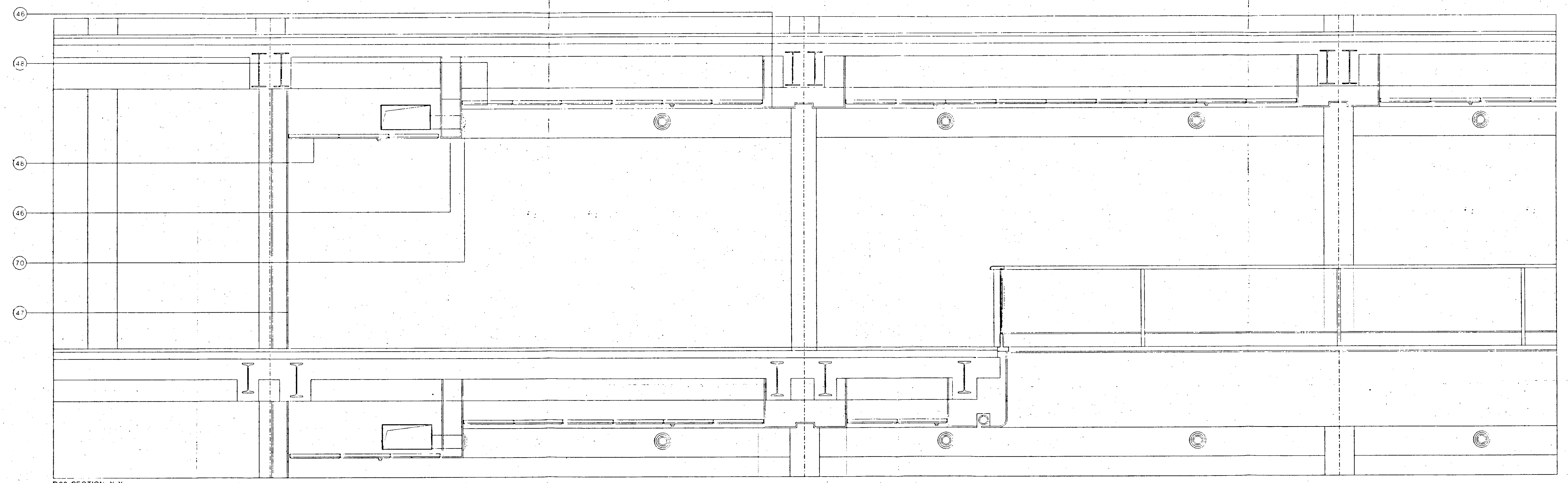
Peter Jones Refurbishment		John McAlan & Partners	
Typical Ceiling Isometric View		202 Kensington Church Street London W8 4DP	
scale NTS	job no. 717	telephone 44 (0) 207 737 2665	
date April 98	drawn by RW	fax 44 (0) 207 321 8835	
drawing status Listed Building	checked by MS	email jmarsh@pjdial.pipes.com	
drawing no. LL-257	revision 00		

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Revisions				Drawn	Check
Rev	Date	Description		RW	MS
00	22.05.98	Application for Listed Building Consent			



D01 REFLECTED CEILING PLAN OF TYPICAL BAY (SECOND FLOOR)

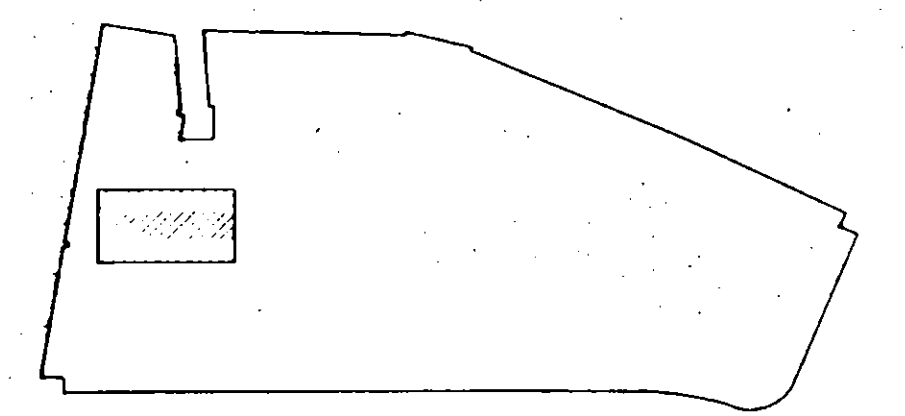


D02 SECTION X-X

- Key:
- Cladding**
 - 01 Painted render
 - 02 Prefinished insulated dry render panel
 - 03 Travertine marble panels
 - External Metalwork**
 - 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium parapet panel
 - 09 Anodised aluminium
 - 10 Anodised aluminium louvre panel
 - 11 Painted galvanized steel
 - 12 Stainless steel handrail
 - 13 Painted galvanneal steel baffle
 - Glazing**
 - 15 Clear double glazed unit
 - 16 Solar coated clear double glazed unit
 - 17 Translucent double glazed unit
 - 18 Opaque double glazed unit
 - 19 Clear double glazed unit with double glazed unit
 - 20 Clear double glazed unit with interstitial voids
 - 21 Clear toughened glass
 - 22 Translucent toughened glass
 - 23 Clear laminated glass
 - 24 Flush sloping joint
 - 25 Anodised aluminium Mullion section
 - 26 Galvanneal steel glazing section
 - 27 Fixed open galvanneal steel framed unit
 - 28 Stainless steel bonded glass fixing
 - 29 Framed glass control screen
 - 30 Coated glass fibre glare controlling
 - Roofing**
 - 35 Aluminium standing seam roofing system
 - 36 Galvanneal steel access way-way
 - 37 Galvanneal steel stair
 - 38 Precast concrete pavours
 - 39 Precast concrete coping
 - 40 Pave mla
 - 41 Maintenance crane
 - 42 Maintenance crane track
 - Internal Finishes**
 - 43 Glass fibre reinforced gypsum bulkhead and soffit
 - 44 Plasterboard drylining
 - 45 Painted plaster finish
 - 46 Powder coated steel tile with circular perforations
 - 47 Powder coated aluminium ceiling suspension rail
 - 48 Indicative shop fitting
 - Internal Metalwork**
 - 55 Painted mild steel
 - 56 Clear toughened glass
 - 57 Stainless steel cladding panel
 - 58 Silver bronze finished handrail
 - 59 Silver bronze finished louvre panel
 - Services**
 - 64 Flush recessed downlight
 - 65 Linear tracklight
 - 66 Galvanneal steel louvre air intake grille
 - 67 Anodised aluminium air intake grille
 - 68 Anodised aluminium automated air make-up drawers
 - 69 Powder coated aluminium circular air supply nozzle
 - 70 Anodised aluminium linear slot air diffuser
 - 71 Anodised aluminium trench heater grille
 - 72 Sprinkler head
 - 73 Coated glass fibre smoke control curtain
 - 74 Chiller unit
 - 75 Boiler fuel
 - 76 Air handling unit
 - 77 Dustwork plenum
 - Streetscape**
 - 81 Rigid sheet bonded opaque glass sliding door
 - 82 Timber facing panel on painted mild steel frame
 - 83 Flush recessed stainless steel fixings
 - 84 Galvanneal steel track
 - 85 Yorkstone pavours
 - 86 Yorkstone style setts
 - 87 Granite kerb
 - 88 Precast concrete setts
 - 89 Stainless steel bollards
 - 90 Painted galvanneal steel drainage channel

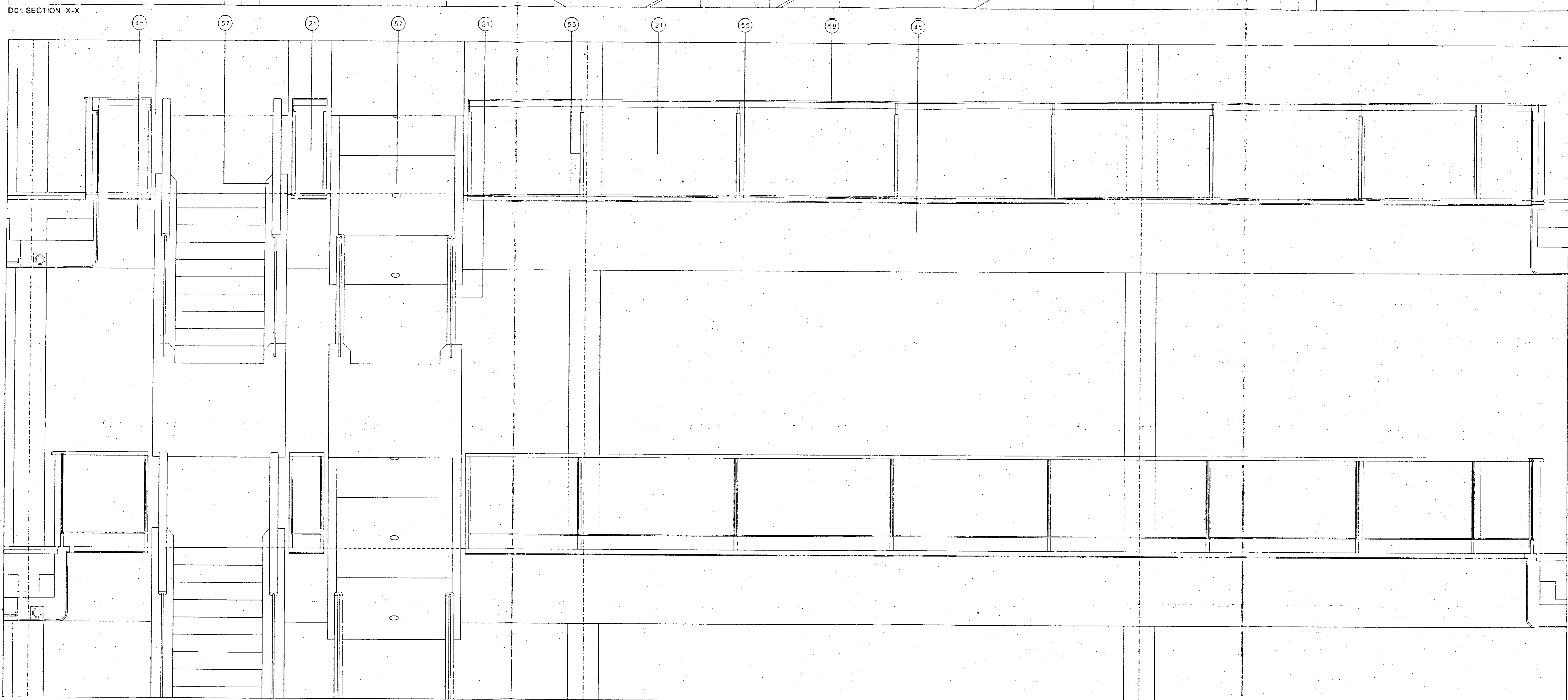
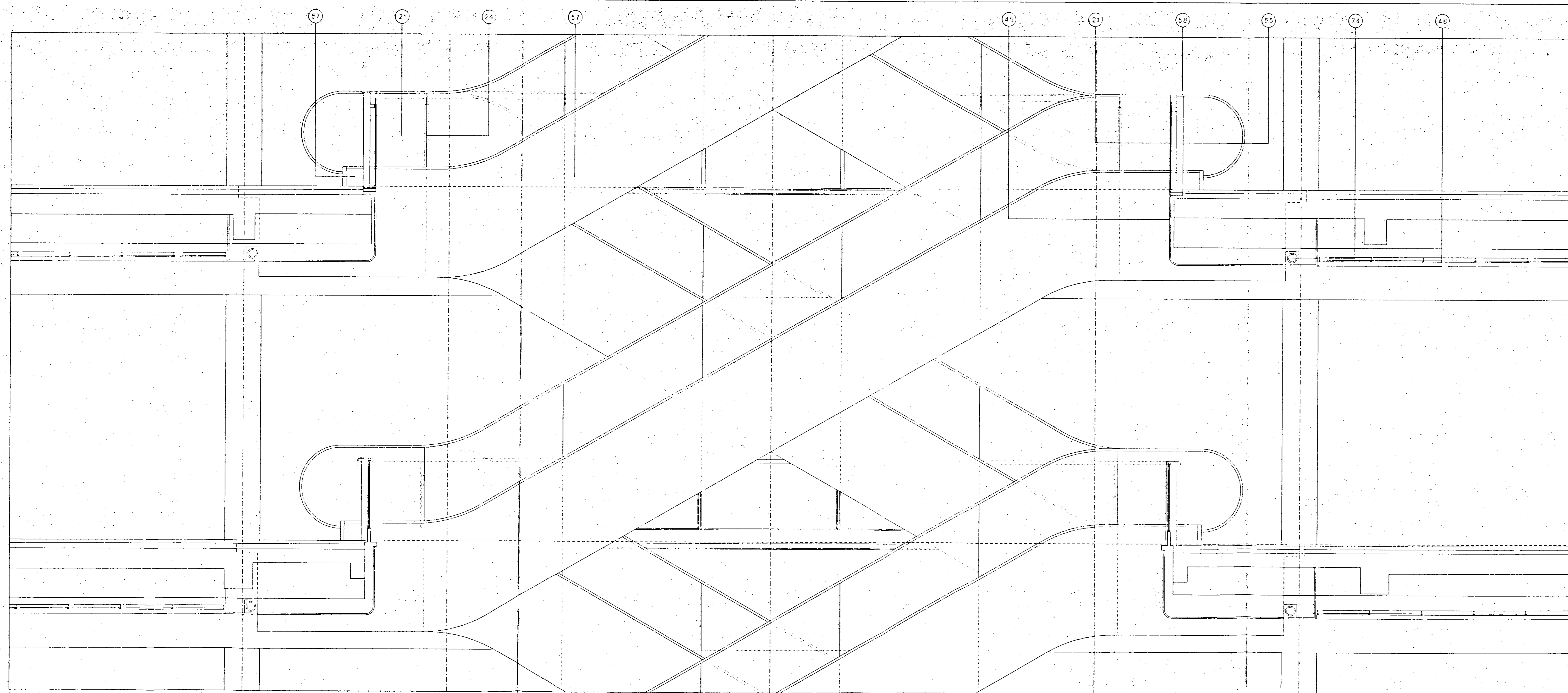
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TOWN PLANNING
- 2 JUN 1998
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0.5m
UNRECORDED

Peter Jones Refurbishment		John McAloon & Partners	
Enlarged Typical Reflected Ceiling Plans		201 Kensington Church Street London W8 4NP	
scale 1:20 at A0	job no 717	telephone 44 (0) 171 737 2663	
date April 98	drawn by RW	fax 44 (0) 171 331 8835	
drawing status Listed Building	checked by MS	email jma@architects@btinternet.com	
drawing no LL-256	revision 00		



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Revisions	Rev	Date	Description	Drawn	Check
	00	22/05/98	Application for Listed Building Consent	RW	MS

- Key**
- 01 Painted render
 - 02 Prefinished insulated dry render panel
 - 03 Travertine marble panel
- External Metalwork**
- 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium parapet panel
 - 09 Anodised aluminium
 - 10 Anodised aluminium louvre panel
 - 11 Painted galvaneled steel
 - 12 Stainless steel handrail
 - 13 Painted galvanneled steel balustrade
- Glazing**
- 14 Clear double glazed unit
 - 15 Solar coated clear double glazed unit
 - 16 Translucent double glazed unit
 - 17 Opaque double glazed unit
 - 18 Opaque fritted zone with double glazed unit
 - 19 Clear double glazed unit with interstia chords
 - 20 Clear toughened glass
 - 21 Translucent toughened glass
 - 22 Clear laminated glass
 - 23 Flush silicone joint
 - 24 Anodised aluminium mullion section
 - 25 Galvanneled steel cladding section
 - 26 Fixed open galvanneled steel framed unit
 - 27 Stainless steel bonded glass fixing
 - 28 Framed glass control screen
 - 29 Coated galvanneled glass control blind
- Roofing**
- 30 Aluminium standing seam roofing system
 - 31 Galvanneled steel access walkway
 - 32 Galvanneled steel stair
 - 33 Precast concrete pavours
 - 34 Precast concrete coping
 - 35 Pebble finish
 - 36 Maintenance cradle
 - 37 Maintenance cradle track
- Internal Finishes**
- 38 Glass fibre reinforced gypsum bulkhead and soffit
 - 39 Gypsum board drylining
 - 40 Painted plaster finish
 - 41 Powder coated steel tie with circular perforations
 - 42 Powder coated aluminium ceiling suspension rail
 - 43 Indicative shop fitting
- Internal Metalwork**
- 44 Painted mild steel
 - 45 Clear toughened glass
 - 46 Stainless steel cladding panel
 - 47 Silver bronze finished handrail
 - 48 Silver bronze finished louvre panel
- Services**
- 49 Flush recessed downlight
 - 50 Linear tasklight
 - 51 Galvanneled steel louvred air intake grille
 - 52 Anodised aluminium air intake grille
 - 53 Anodised aluminium automated air make-up damper
 - 54 Powder coated aluminium circular air supply nozzle
 - 55 Anodised aluminium linear slot air diffuser
 - 56 Anodised aluminium trench heater grille
 - 57 Sprinkler head
 - 58 Coated galvanneled smoke control curtain
 - 59 Boiler fuel
 - 60 Chiller unit
 - 61 Air conditioning unit
 - 62 Ductwork plenum
- Streetscape**
- 63 Rigid sheet bonded opaque glass sliding door
 - 64 Timber facing panels on painted mild steel frame
 - 65 Flush recessed stainless steel fixings
 - 66 Galvanneled steel trap
 - 67 Yorkstone pavours
 - 68 Yorkstone style setts
 - 69 Granite kerb
 - 70 Precast concrete setts
 - 71 Stainless steel bollards
 - 72 Painted galvanneled steel drainage channel

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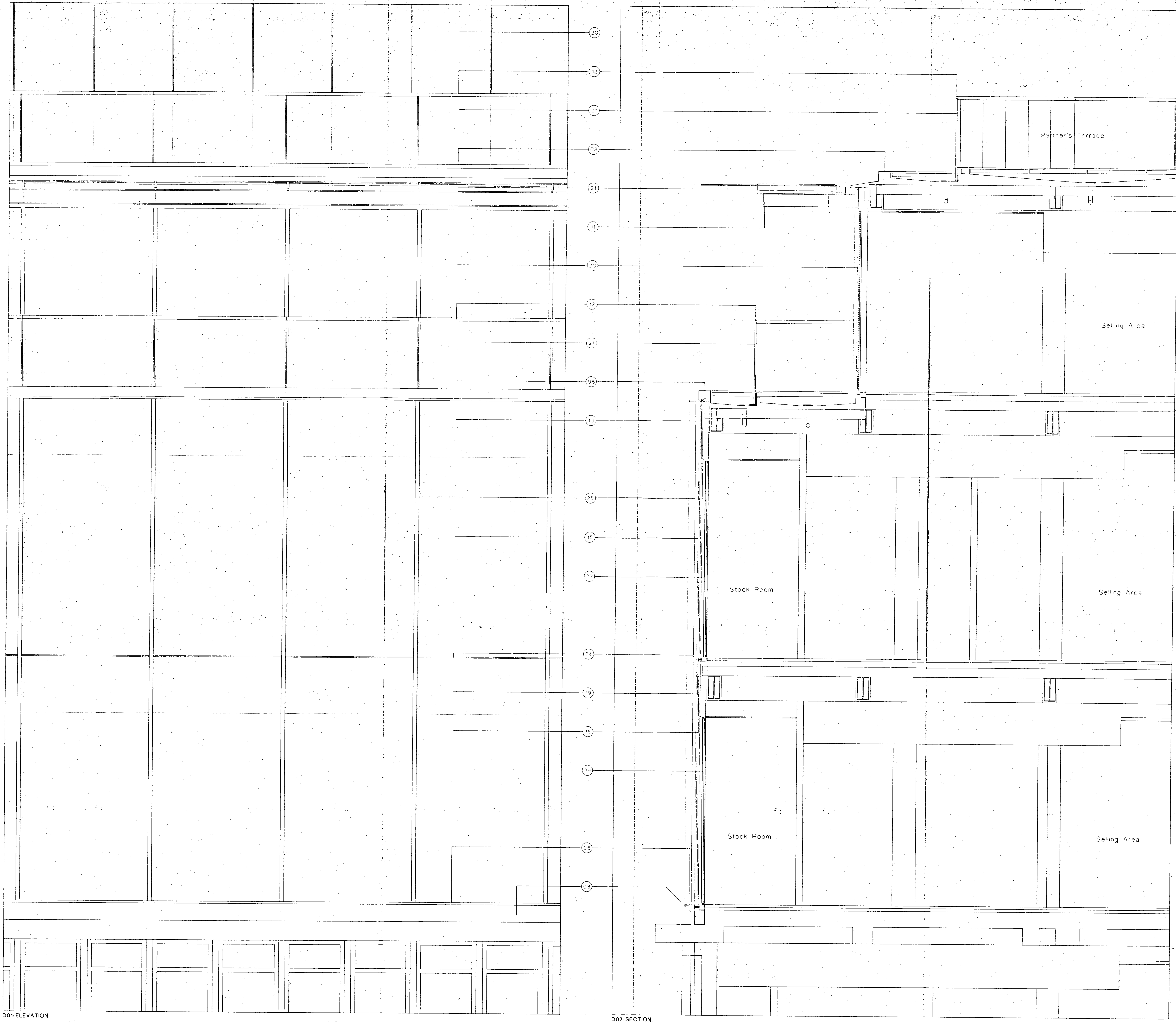
TP981099

APPROVED

Peter Jones Refurbishment		John McAuliffe & Partners	
Enlarged Section and Elevation of Escalators		803 Kensington Church Street London W8 4DP	
scale 1:20 at A0	job no. 717	telephone 44 (0) 171 231 2663	
date April 98	drawn by RW	fax 44 (0) 171 231 8835	
drawing status Listed Building	checked by MS	email jmauliffe@pajp.com	
drawing no. LL-254	revision 00		

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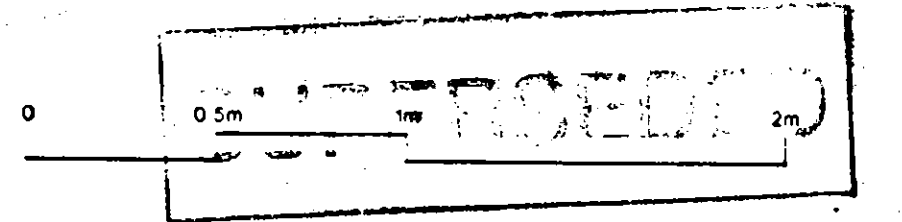
Revisions				
Rev.	Date	Description	Drawn	Check
00	22/05/98	Application for Listed Building Consent	RW	MS



- Key**
- Cladding**
- 01 Painted render
 - 02 Freshly finished dry render panel
 - 03 Travertine marble panel
- External Metalwork**
- 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium corner panel
 - 09 Anodised aluminium
 - 10 Anodised aluminium insulated panel
 - 11 Painted galvanised steel
 - 12 Stainless steel handrail
 - 13 Painted galvanised steel balustrade
- Glazing**
- 15 Clear double glazed unit
 - 16 Solar coated clear double glazed unit
 - 17 Translucent double glazed unit
 - 18 Coloured double glazed unit
 - 19 Coarse fritted zone within double glazed unit
 - 20 Clear double glazed unit with internal blinds
 - 21 Clear toughened glass
 - 22 Translucent toughened glass
 - 23 Clear laminated glass
 - 24 Flush silicone joint
 - 25 Anodised aluminium mullion section
 - 26 Galvanised steel glazing section
 - 27 Fixed open galvanised steel framed unit
 - 28 Stainless steel bolted glass fixing
 - 29 Framed glass control screen
 - 30 Coated glass fibre glare control blind
- Roofing**
- 35 Aluminium standing seam roofing system
 - 36 Galvanised steel access walkway
 - 37 Galvanised steel stair
 - 38 Precast concrete pavours
 - 39 Precast concrete coping
 - 40 Petle unit
 - 41 Maintenance cradle
 - 42 Maintenance cradle track
- Internal Finishes**
- 45 Glass fibre reinforced gypsum bulkhead and soffit
 - 46 Plasterboard drying
 - 47 Painted plaster finish
 - 48 Powder coated ceiling with circular perforations
 - 49 Powder coated aluminium ceiling suspension rail
 - 50 Indicative shop fitting
- Internal Metalwork**
- 55 Painted mild steel
 - 56 Clear toughened glass
 - 57 Stainless steel cladding panel
 - 58 Silver bronze finished handrail
 - 59 Silver bronze finished louvre panel
- Services**
- 65 Flush recessed downlight
 - 66 Linear backlight
 - 67 Galvanised steel covered air intake grille
 - 68 Anodised aluminium air intake grille
 - 69 Anodised aluminium automated air make-up dampers
 - 70 Powder coated aluminium circular air supply nozzle
 - 71 Anodised aluminium linear slot air diffuser
 - 72 Anodised aluminium trench heater grille
 - 73 Sprinkler head
 - 74 Coated glass fibre smoke control curtain
 - 75 Boiler flue
 - 76 Chimney unit
 - 77 Air handling unit
 - 78 Ductwork plenum
- Streetscape**
- 81 Rigid sheet bonded opaque glass sliding door
 - 82 Timber facing panels on painted mild steel frame
 - 83 Flush recessed stainless steel fixings
 - 84 Galvanised steel track
 - 85 Yorkstone pavours
 - 86 Yorkstone slye setts
 - 87 Granite kerb
 - 88 Precast concrete setts
 - 89 Stainless steel bollards
 - 90 Painted galvanised steel drainage channel

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D01 ELEVATION

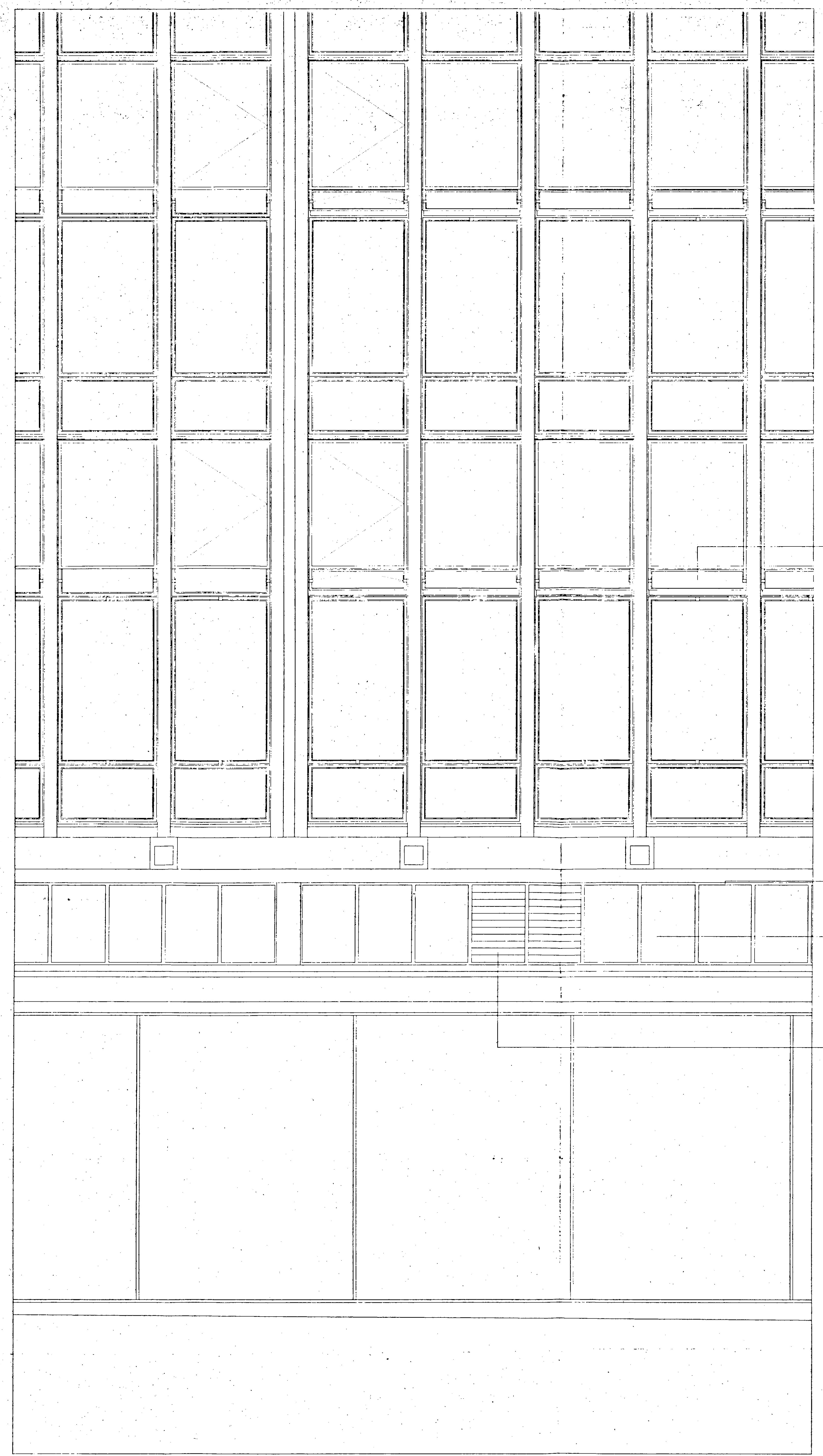
D02 SECTION

Peter Jones Refurbishment		John McAlin & Partners	
Enlarged Section and Elevation of Extension to Prototype Building		302 Kensington Church Street London W8 4DP	
scale 1:20 at A0	job no. 717	telephone 44 (0) 171 737 1663	
date April 98	drawn by RW	fax 44 (0) 171 221 8833	
drawing status Listed Building	checked by MS	email jmr@architects@btinternet.com	
drawing no. LL-253	revision 00		

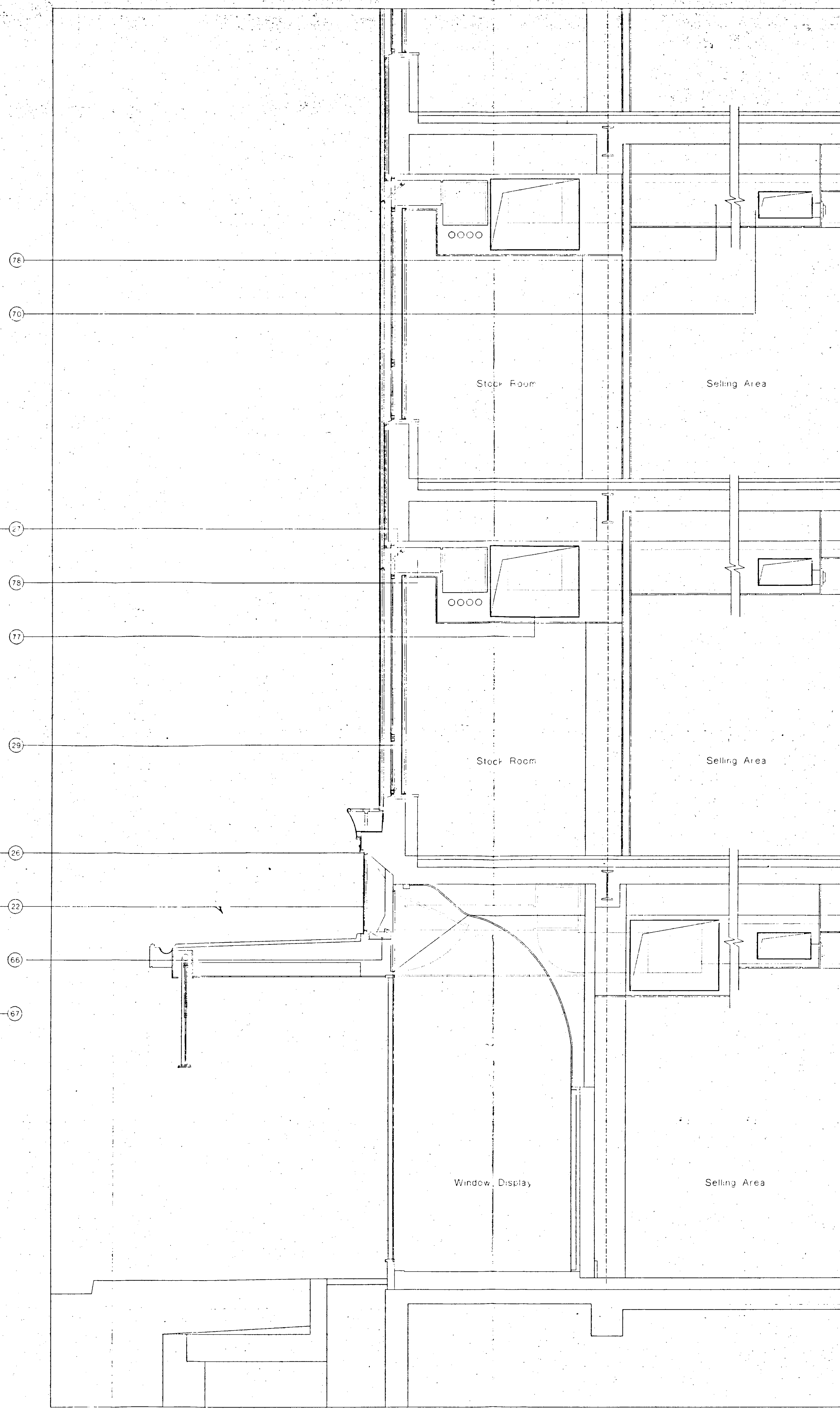
Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JMF. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

Revisions			
Rev	Date	Description	Drawn / Check
00	22.05.98	Application for Listed Building Consent	GM / MS

- Key**
- Cladding**
- 01 Painted render
 - 02 Pre-finished insulated dry render panel
 - 03 Travertine marble panel
- External Metalwork**
- 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium carcase panel
 - 09 Anodised aluminium
 - 10 Anodised aluminium louvre panel
 - 11 Painted galvanised steel
 - 12 Stainless steel handrail
 - 13 Painted galvanised steel balustrade
- Glazing**
- 15 Clear double glazed unit
 - 16 Solar coated clear double glazed unit
 - 17 Tinted double glazed unit
 - 18 Opaque double glazed unit
 - 19 Opaque tinted zone with double glazed unit
 - 20 Clear double glazed unit with interstitial blinds
 - 21 Clear toughened glass
 - 22 Translucent toughened glass
 - 23 Clear laminated glass
 - 24 Flush silicone joint
 - 25 Anodised aluminium mullion section
 - 26 Galvanised steel glazing section
 - 27 Fixed clear glass window framed unit
 - 28 Stainless steel bolted glass fixing
 - 29 Frames glare control screen
 - 30 Coated glass fibre glare control blind
- Roofing**
- 35 Aluminium standing seam roofing system
 - 36 Galvanised steel access way-way
 - 37 Galvanised steel stair
 - 38 Precast concrete pavours
 - 39 Precast concrete coping
 - 40 Pettle in
 - 41 Maintenance cradle
 - 42 Maintenance cradle track
- Internal Finishes**
- 45 Glass fibre reinforced gypsum bulkhead and soffit
 - 46 Plasterboard drylining
 - 47 Painted plaster finish
 - 48 Powder coated steel tile with circular perforations
 - 49 Powder coated aluminium ceiling suspension rail
 - 50 Indicative shop fitting
- Internal Metalwork**
- 55 Painted mild steel
 - 56 Clear toughened glass
 - 57 Stainless steel cladding panel
 - 58 Silver bronze finished handrail
 - 59 Silver bronze finished louvre panel
- Services**
- 65 Flush recessed downlight
 - 66 Linear backlight
 - 67 Galvanised steel/wood air intake grille
 - 68 Anodised aluminium air intake grille
 - 69 Anodised aluminium automated air make-up dampers
 - 70 Powder coated aluminium circular air supply nozzle
 - 71 Anodised aluminium linear slot air diffuser
 - 72 Anodised aluminium trench heater grille
 - 73 Sprinkler head
 - 74 Coated glass fibre smoke control curtain
 - 75 Boiler flue
 - 76 Chiller unit
 - 77 Air conditioning unit
 - 78 Ductwork plenum
- Streetscape**
- 81 1/2" sheet bonded opaque glass sliding door
 - 82 Timber facing panels on painted mild steel frame
 - 83 Flush recessed stainless steel fixings
 - 84 Galvanised steel track
 - 85 Yorkstone pavours
 - 86 Yorkstone slye sets
 - 87 Granite kerb
 - 88 Precast concrete sets
 - 89 Stainless steel bollards
 - 90 Painted galvanised steel drainage channel



D01: ELEVATION



D02: SECTION

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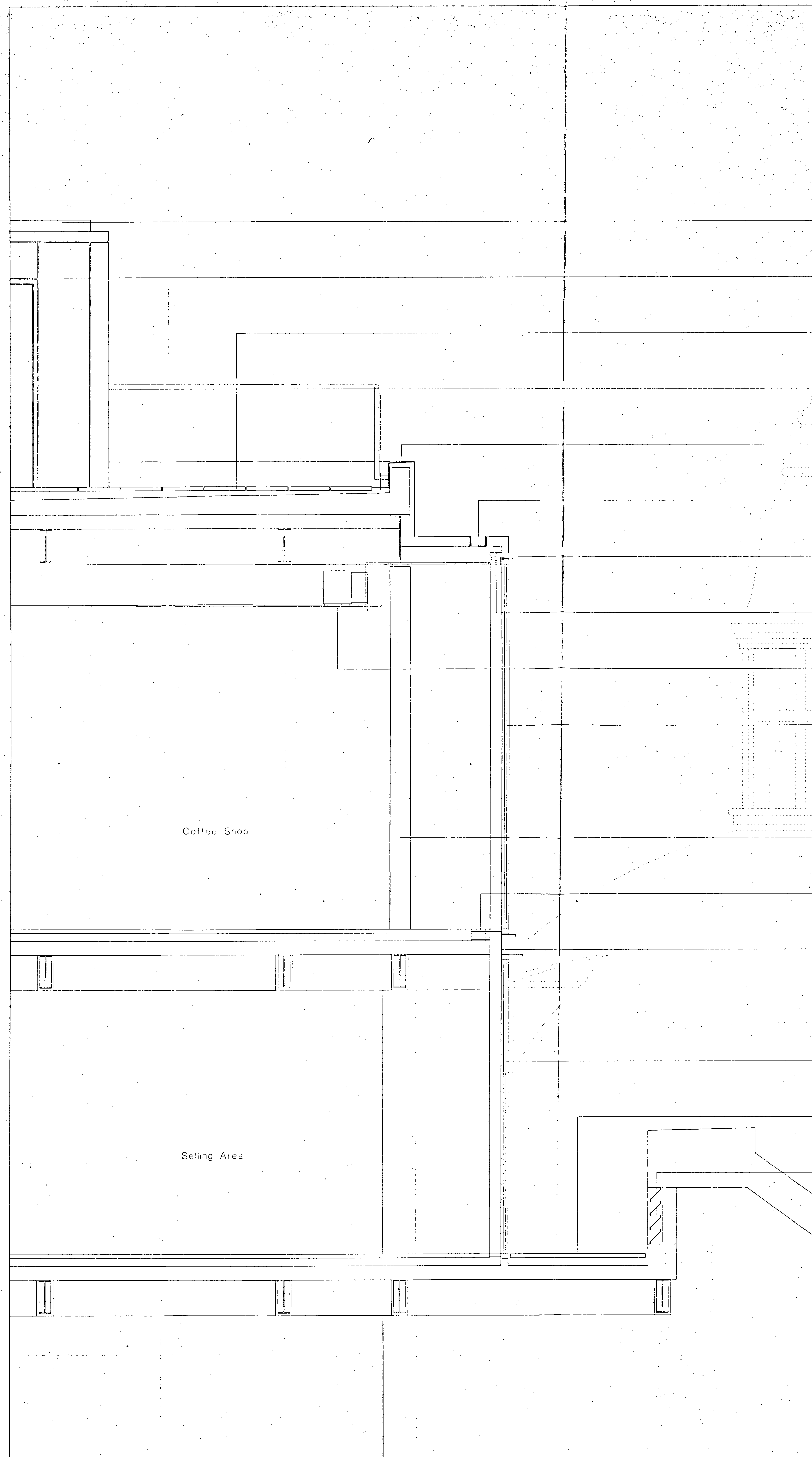
Peter Jones Refurbishment		John McAtlan & Partners	
Enlarged Section and Elevation of Kings Road Curtain Walling and Shop Window		202 Kennington Church Street London W8 4DP	
scale 1:20 at A0	job no. 717	date April 98	drawn by RW / GM
drawing status Listed Building	checked by MS	telephone 44 (0) 171 727 2663	fax 44 (0) 171 221 8835
drawing no. LL-252	revision 00	email jmarchitect@peterjones.com	

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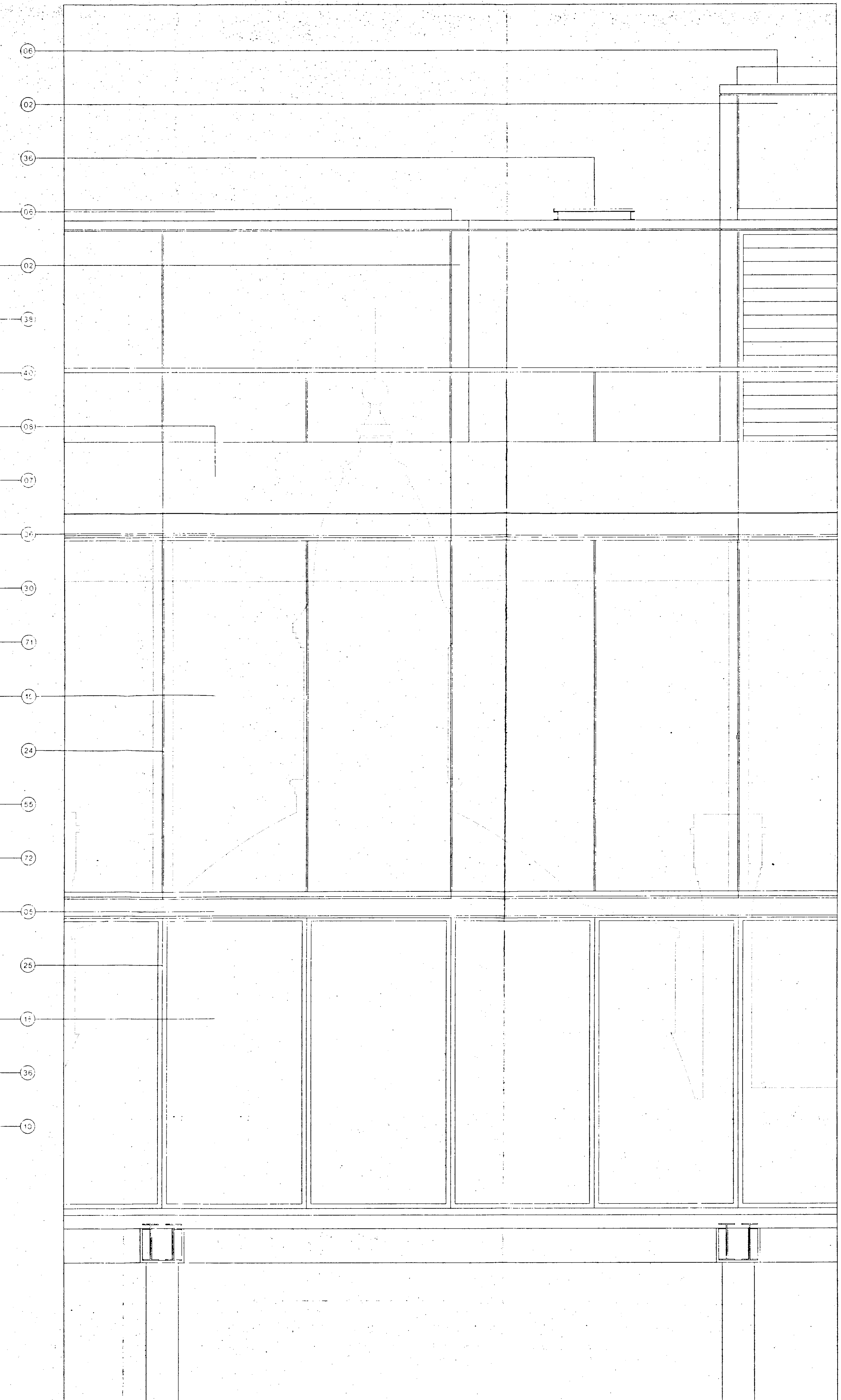
Revisions

Rev	Date	Description	Drawn	Check
00	22/05/98	Application for Listed Building Consent	RW	MS

- Key
- Cladding**
 - 01 Painted render
 - 02 Pre-finished insulated dry render panel
 - 03 Travertine marble panel
 - External Metalwork**
 - 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium parascot panel
 - 09 Anodised aluminium
 - 10 Anodised aluminium louvre panel
 - 11 Painted galvanised steel
 - 12 Stainless steel handrail
 - 13 Painted galvanised steel balustrade
 - Glazing**
 - 14 Clear double glazed unit
 - 15 Solar control clear double glazed unit
 - 16 Translucent double glazed unit
 - 17 Double double glazed unit
 - 18 Double double glazed unit
 - 19 Double fritted zone with double glazed unit
 - 20 Clear double glazed unit with interstitial bonds
 - 21 Clear toughened glass
 - 22 Translucent toughened glass
 - 23 Clear laminated glass
 - 24 Flush silicone joint
 - 25 Anodised aluminium mullion section
 - 26 Galvanised steel glazing section
 - 27 Fixed open galvanised steel framed unit
 - 28 Stainless steel bolted glass fixing
 - 29 Framed glass control screen
 - 30 Coated glass fibre gate controlling blind
 - Roofing**
 - 35 Aluminium standing seam roofing system
 - 36 Galvanised steel access walkway
 - 37 Galvanised steel stair
 - 38 Precast concrete paviours
 - 39 Precast concrete coping
 - 40 Pebble infill
 - 41 Maintenance cradle
 - 42 Maintenance cradle track
 - Internal Finishes**
 - 43 Gypsum reinforced gypsum bulkhead and soffit
 - 44 Plasterboard drylining
 - 45 Painted plaster finish
 - 46 Powder coated steel tile with circular perforations
 - 47 Powder coated aluminium ceiling suspension rail
 - 48 Indicative shop fitting
 - Internal Metalwork**
 - 49 Painted mild steel
 - 50 Clear toughened glass
 - 51 Stainless steel cladding panel
 - 52 Silver bronze finished handrail
 - 53 Silver bronze finished louvre panel
 - Services**
 - 54 Flush recessed downlight
 - 55 Linear bulkhead
 - 56 Galvanised steel louvre air intake grille
 - 57 Anodised aluminium air intake grille
 - 58 Anodised aluminium automated air make-up dampers
 - 59 Powder coated aluminium circular air supply nozzle
 - 60 Anodised aluminium linear slot air diffuser
 - 61 Anodised aluminium trench heater grille
 - 62 Sprinkler head
 - 63 Coated glass fibre smoke control curtain
 - 64 Boiler flue
 - 65 Chiller unit
 - 66 Air handling unit
 - 67 Ductwork plenum
 - Streetscape**
 - 68 Biga street bonded or acrylic glass sliding door
 - 69 Timber facing panels on painted mild steel frame
 - 70 Flush recessed stainless steel fixings
 - 71 Galvanised steel track
 - 72 Yorkstone paviours
 - 73 Yorkstone style setts
 - 74 Granite kerb
 - 75 Precast concrete setts
 - 76 Stainless steel bollards
 - 77 Painted galvanised steel drainage channel



D01 SECTION



D02 ELEVATION

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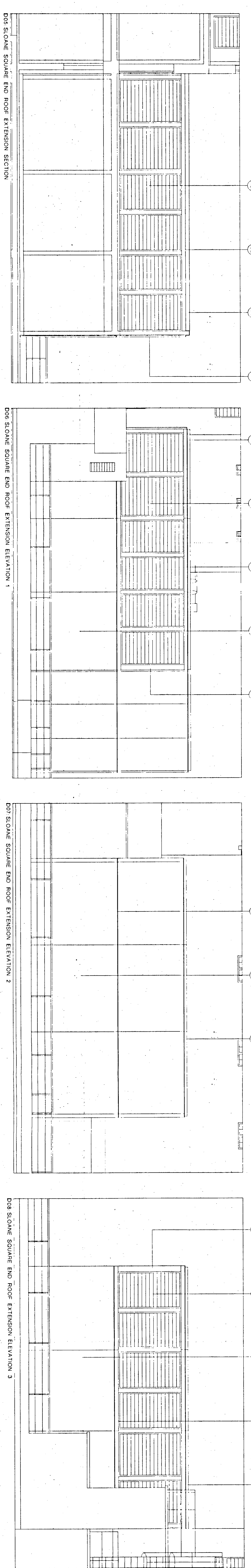
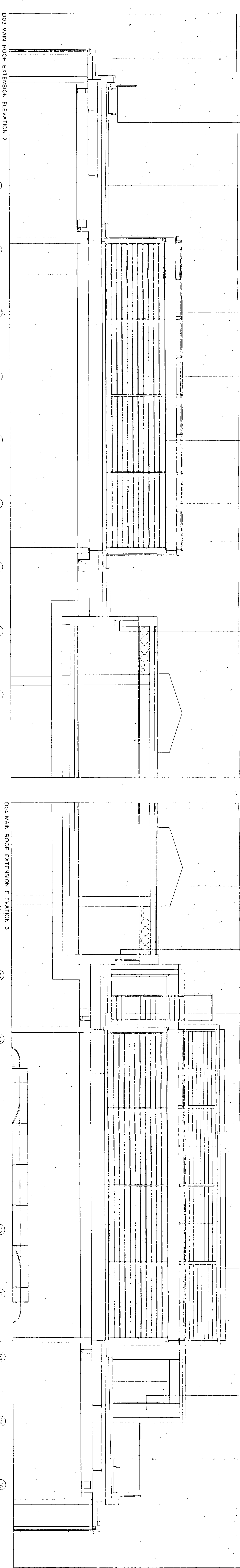
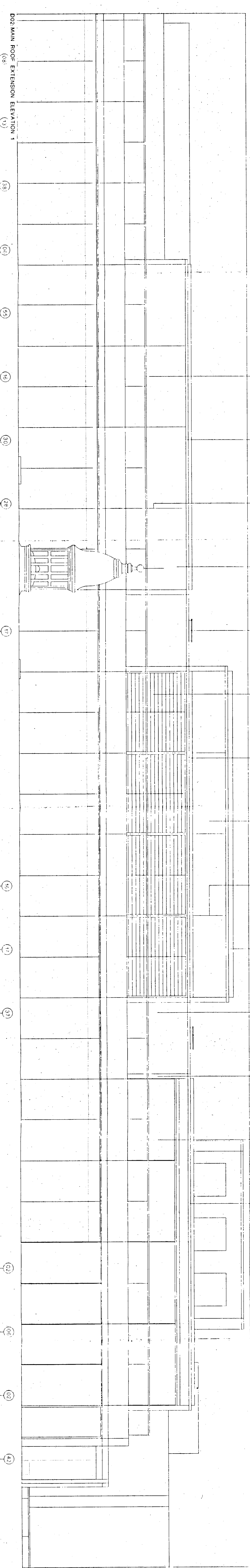
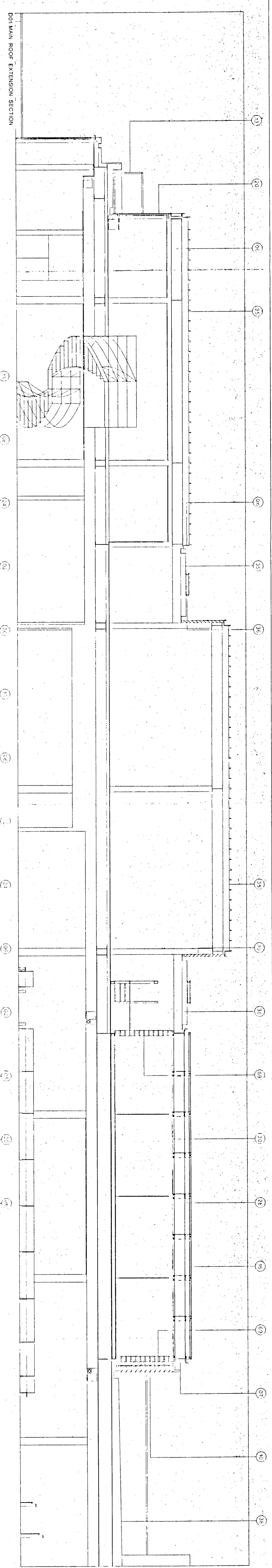
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Peter Jones Refurbishment		John McAuliffe & Partners	
Enlarged Section and Elevation of Extension above Symons Street Building		301 Kensington Church Street London W8 4DP	
scale 1:20 at A0	job no. 717	date April 98	drawn by RW
drawing status Listed Building	checked by MS	revision 00	telephone 44 (0) 202 727 2663
drawing no. LL-251			fax 44 (0) 202 727 2635
			email jma@mcaculiffe.com

Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JMF. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

Revisions
 Rev. Date Description for Later Building Consent Drawn Check
 00 22.05.98 Application for Later Building Consent RW MS

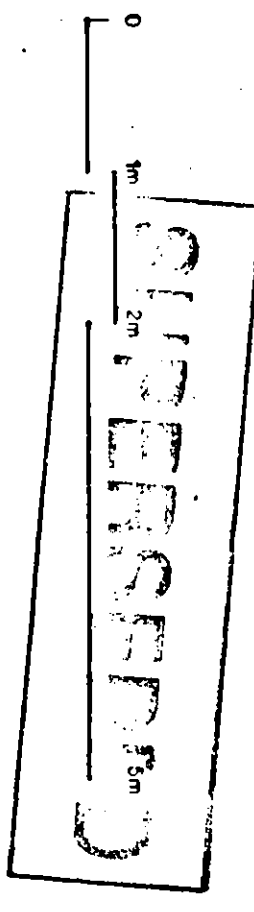
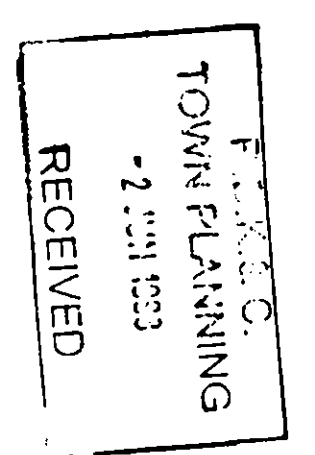


- 01 Cladding
- 02 Reinforced concrete dry render finish
- 03 Timber frame cladding
- 04 External metalwork
- 05 Floor slab concrete
- 06 Floor slab concrete
- 07 Floor slab concrete
- 08 Floor slab concrete
- 09 Floor slab concrete
- 10 Floor slab concrete
- 11 Floor slab concrete
- 12 Floor slab concrete
- 13 Floor slab concrete
- 14 Floor slab concrete
- 15 Floor slab concrete
- 16 Floor slab concrete
- 17 Floor slab concrete
- 18 Floor slab concrete
- 19 Floor slab concrete
- 20 Floor slab concrete
- 21 Floor slab concrete
- 22 Floor slab concrete
- 23 Floor slab concrete
- 24 Floor slab concrete
- 25 Floor slab concrete
- 26 Floor slab concrete
- 27 Floor slab concrete
- 28 Floor slab concrete
- 29 Floor slab concrete
- 30 Floor slab concrete
- 31 Floor slab concrete
- 32 Floor slab concrete
- 33 Floor slab concrete
- 34 Floor slab concrete
- 35 Floor slab concrete
- 36 Floor slab concrete

- 37 Roofing - standing seam roofing system
- 38 Galvanised steel cladding
- 39 Galvanised steel cladding
- 40 Galvanised steel cladding
- 41 Galvanised steel cladding
- 42 Galvanised steel cladding
- 43 Galvanised steel cladding
- 44 Galvanised steel cladding
- 45 Galvanised steel cladding
- 46 Galvanised steel cladding
- 47 Galvanised steel cladding
- 48 Galvanised steel cladding
- 49 Galvanised steel cladding
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- 75 Galvanised steel cladding
- 76 Galvanised steel cladding
- 77 Galvanised steel cladding
- 78 Galvanised steel cladding
- 79 Galvanised steel cladding
- 80 Galvanised steel cladding

- 81 Roof concrete/brick/stone/brick
- 82 Timber framing panels on painted mild steel frame
- 83 Galvanised steel cladding
- 84 Vertical stone panels
- 85 Vertical stone panels
- 86 Vertical stone panels
- 87 Vertical stone panels
- 88 Vertical stone panels
- 89 Vertical stone panels
- 90 Vertical stone panels
- 91 Vertical stone panels
- 92 Vertical stone panels
- 93 Vertical stone panels
- 94 Vertical stone panels
- 95 Vertical stone panels
- 96 Vertical stone panels
- 97 Vertical stone panels
- 98 Vertical stone panels
- 99 Vertical stone panels
- 100 Vertical stone panels

T9981099



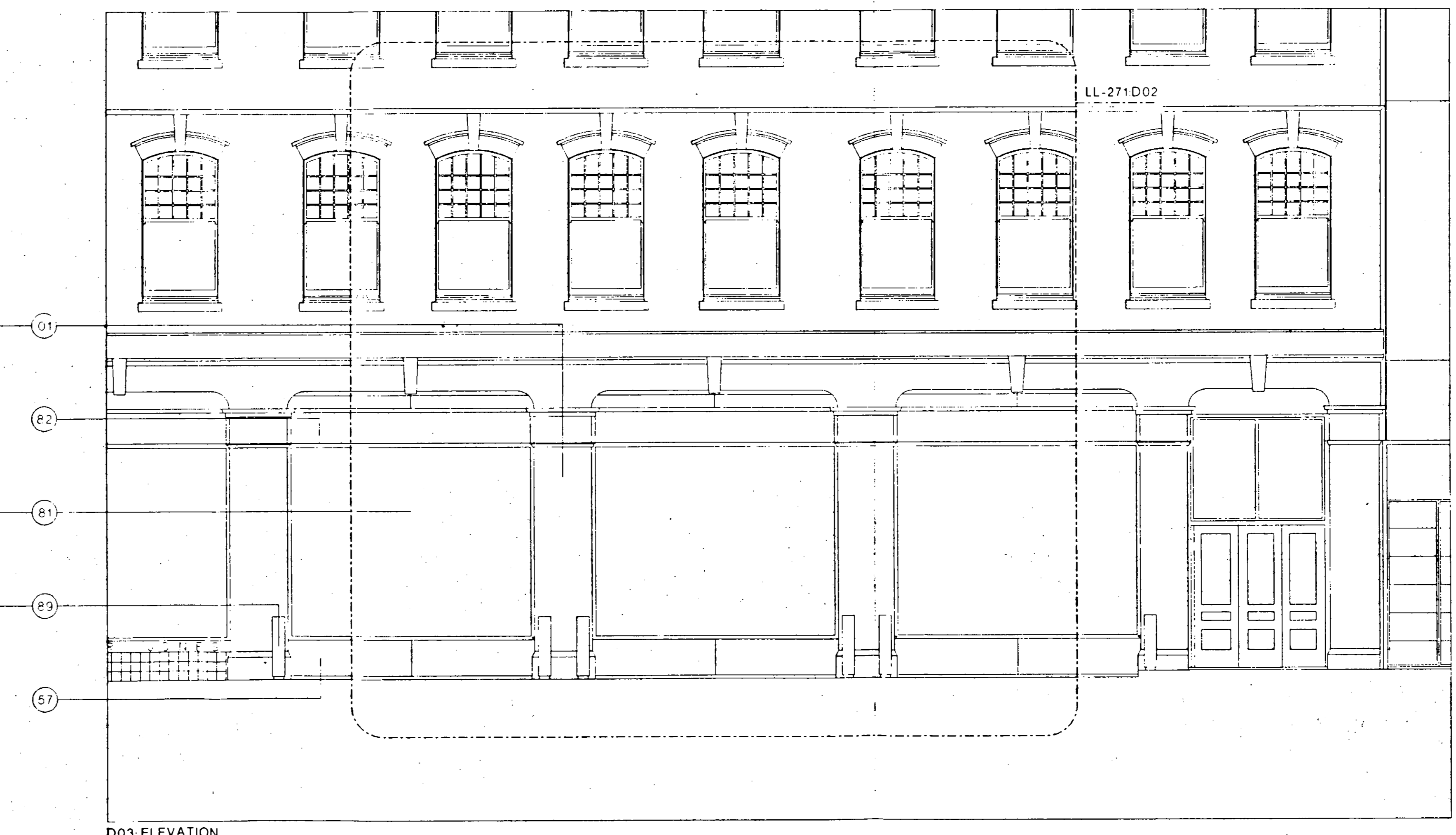
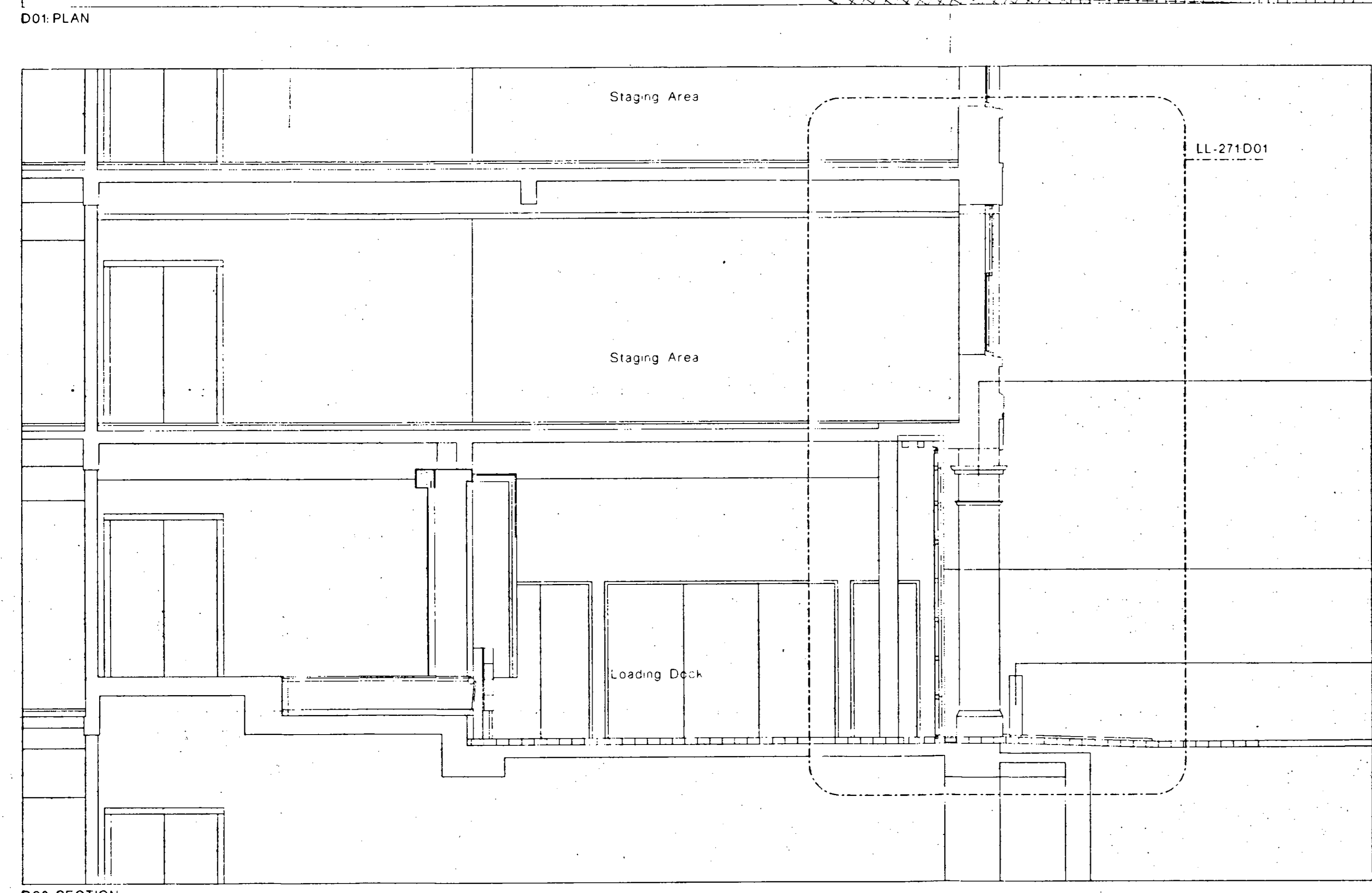
Peter Jones Refurbishment
 New Roof Elements Section and Elevations
 Ref No: 150, Bl A10
 Date: 22.05.98
 Drawn by: RW
 Check by: MS
 Date: 22.05.98
 Rev: 00

John Walker & Partners
 40 Tottenham Court Street
 London W1P 0LP
 Telephone: 41 01773 7166
 Fax: 41 01773 7167
 Email: jwalk@jwalk.co.uk

Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JJP. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

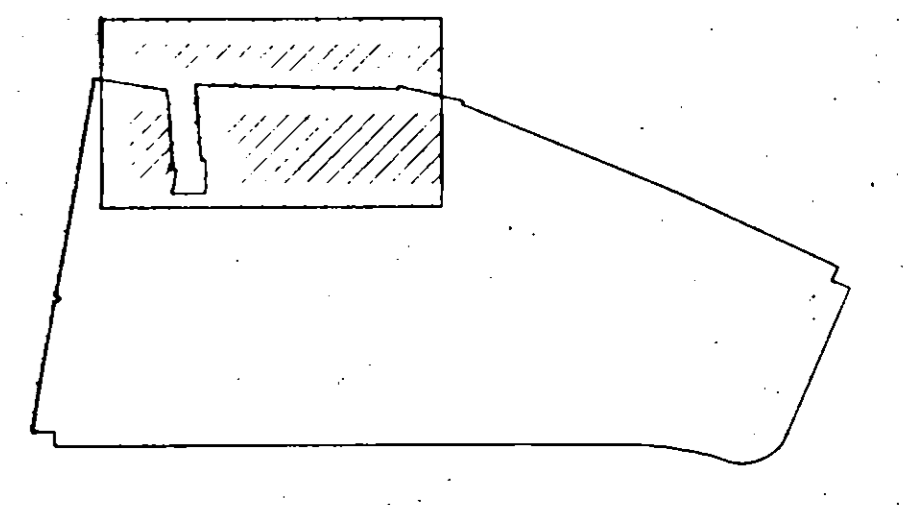
Revisions	Rev	Date	Description	Drawn	Check
	00	22.05.98	Application for Listed Building Consent	RW	MS

- Key**
- Cladding**
- 01 Painted render
 - 02 Prefinished insulated dry render panel
 - 03 Travertine marble panel
- External Metalwork**
- 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium parapet panel
 - 09 Anodised aluminium
 - 10 Anodised aluminium louvre panel
 - 11 Painted galvanised steel
 - 12 Stainless steel handrail
 - 13 Painted galvanised steel balustrade
- Glazing**
- 14 Clear double glazed unit
 - 15 Solar coated clear double glazed unit
 - 16 Translucent double glazed unit
 - 17 Opaque double glazed unit
 - 18 Opaque double glazed unit with double glazed unit
 - 19 Clear double glazed unit with interstitial blinds
 - 20 Clear toughened glass
 - 21 Translucent toughened glass
 - 22 Clear laminated glass
 - 23 Flush recessed glazing
 - 24 Anodised aluminium mullion section
 - 25 Galvanised steel glazing section
 - 26 Fixed open galvanised steel framed unit
 - 27 Stainless steel bolted glass fixing
 - 28 Framed gate control screen
 - 29 Coated glass fibre gate control blind
- Roofing**
- 35 Aluminium standing seam roofing system
 - 36 Galvanised steel access walkway
 - 37 Galvanised steel stair
 - 38 Precast concrete paviours
 - 39 Precast concrete coping
 - 40 Fence stile
 - 41 Maintenance crate
 - 42 Maintenance crate track
- Internal Finishes**
- 45 Glass fibre reinforced gypsum bulkhead and soffit
 - 46 Plasterboard drylining
 - 47 Painted plaster finish
 - 48 Powder coated steel tile with circular perforations
 - 49 Powder coated aluminium ceiling suspension rail
 - 50 Indicative spot lighting
- Internal Metalwork**
- 55 Painted mild steel
 - 56 Clear toughened glass
 - 57 Stainless steel glazing panel
 - 58 Silver bronze finished handrail
 - 59 Silver bronze finished louvre panel
- Services**
- 65 Flush recessed downlight
 - 66 Linear tracklight
 - 67 Galvanised steel louvre air intake grille
 - 68 Anodised aluminium air intake grille
 - 69 Anodised aluminium automated air make-up damper
 - 70 Powder coated aluminium circular air supply nozzle
 - 71 Anodised aluminium linear slot air diffuser
 - 72 Anodised aluminium front heater grille
 - 73 Spring head
 - 74 Coated glass fibre smoke control curtain
 - 75 Boiler flue
 - 76 Chiller unit
 - 77 Air handling unit
 - 78 Ductwork plenum



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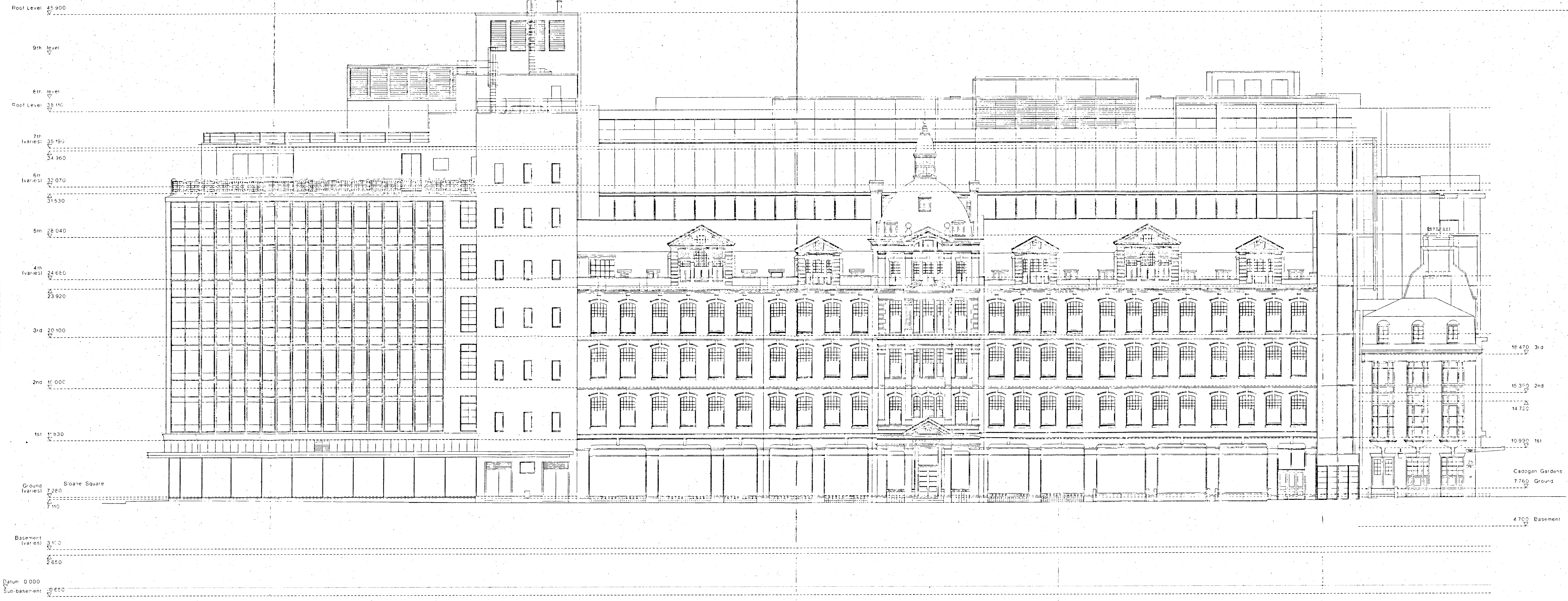
SUPERSEDED

Peter Jones Refurbishment		John McAlan & Partners	
Loading Bays Enlarged Plan, Section and Elevation		302 Kensington Church Street London W8 4DP	
scale 1:50 at A0	job no. 717	telephone 44 (0) 171 737 2663	
date April 98	drawn by RW	fax 44 (0) 171 321 8835	
drawing status Listed Building	checked by MS	email jmc@architect@tdial.pipex.com	
drawing no. LL-171	revision 00		

Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to J.M.P. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

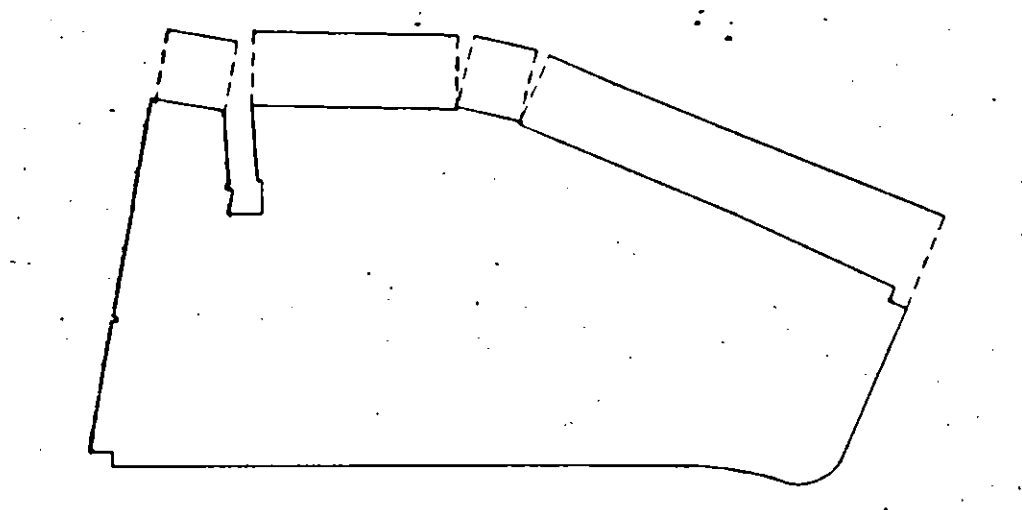
Revisions

Rev	Date	Description	Drawn	Check
00	22.05.98	Application for Listed Building Consent	RW	MS



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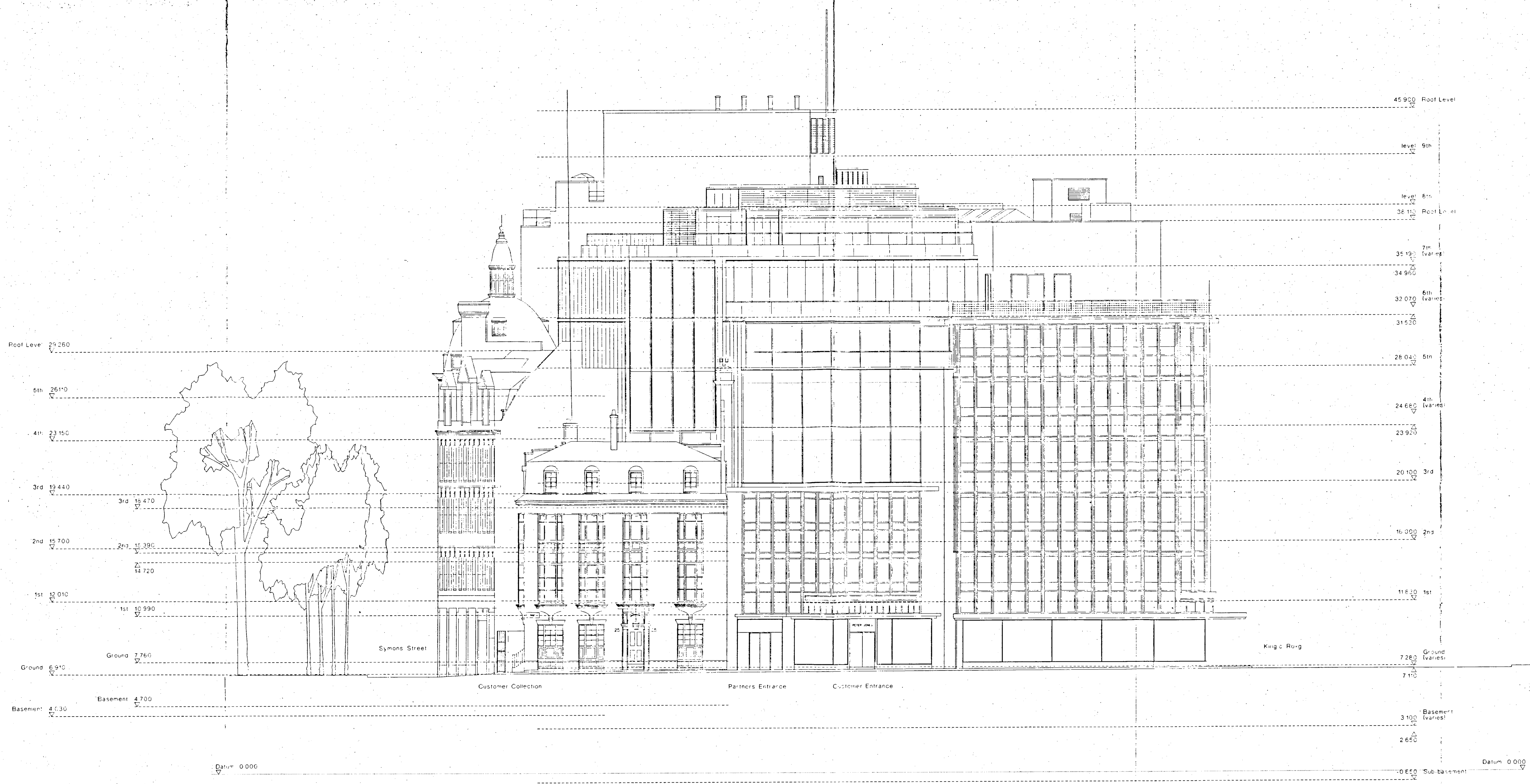


0 10m
SUPERSEDED

Peter Jones Refurbishment		John McAuliffe & Partners	
North Elevation - Symons Street		302 Kensington Church Street London W8 4BP	
scale: 1:100 at A0	job no: 717	date: January 98	drawn by: RVP
drawing status: Listed Building	checked by: MS	telephone: 44 (0) 202 720 2553	fax: 44 (0) 202 332 8815
drawing no: LL-164	revision: 00	email: jma@architecturalpipes.com	

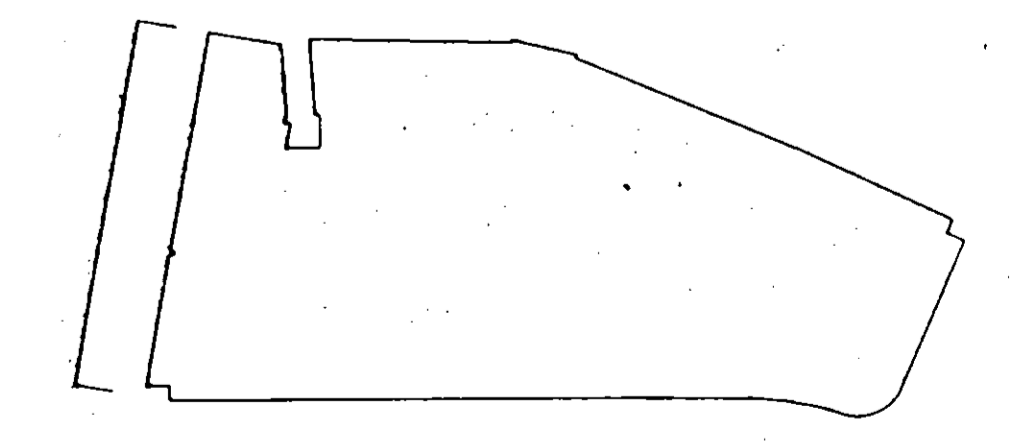
Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JMP. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

Revisions		Drawn	Check
Rev	Date	Description	
00	22.05.98	Application for Listed Building Consent	RW MS



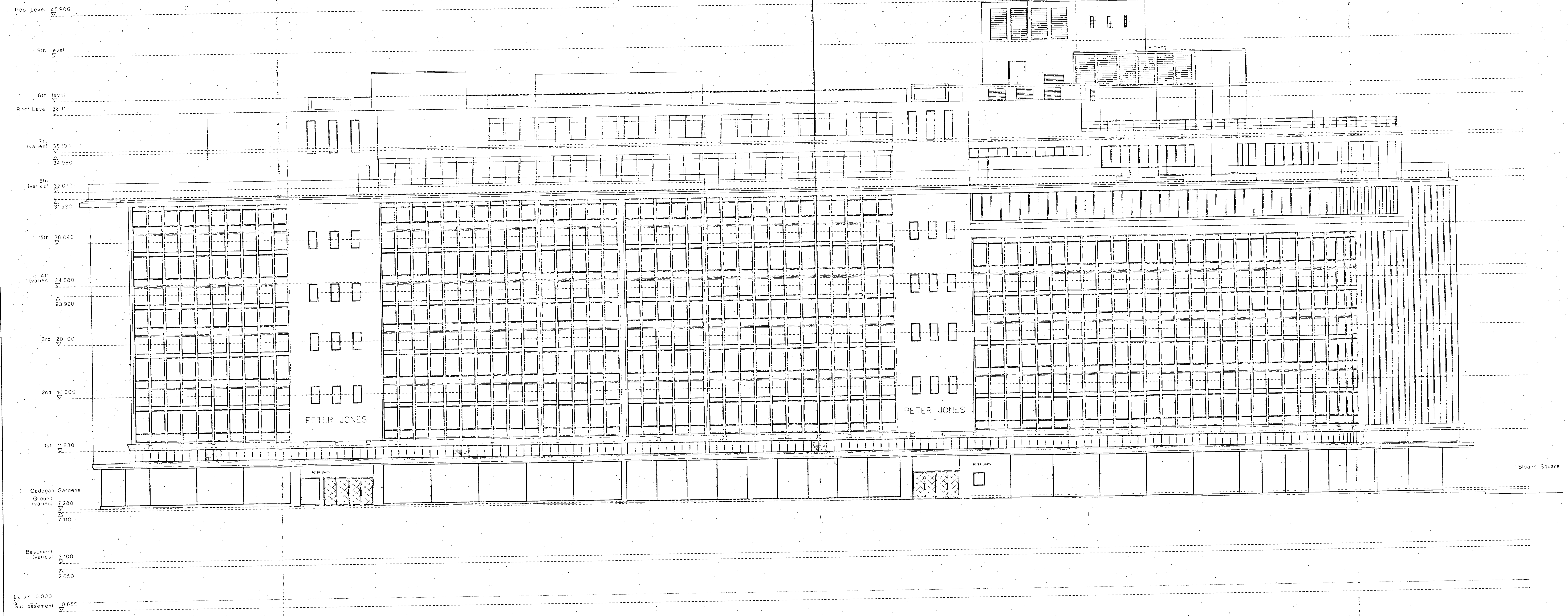
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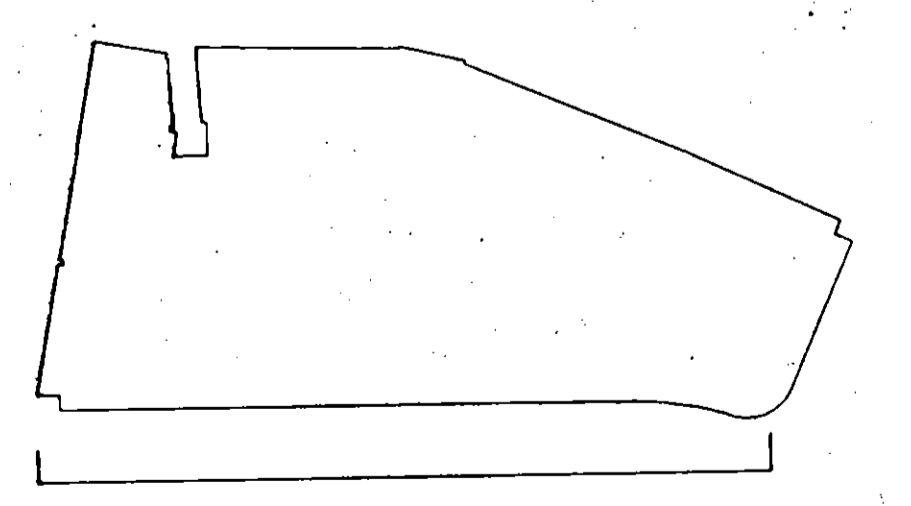
SUBMITTED

Peter Jones Refurbishment		John McAuliffe & Partners	
West Elevation - Cadogan Gardens		300 Kensington Church Street London W8 4DP	
scale 1:100 at A0	job no 717	date January 98	drawn by GM
drawing title Listed Building	checked by MS	telephone 44 (0) 20 729 2563	fax 44 (0) 20 729 2585
drawing no LL-163	revision 00	email jpa@architecturalpipes.com	



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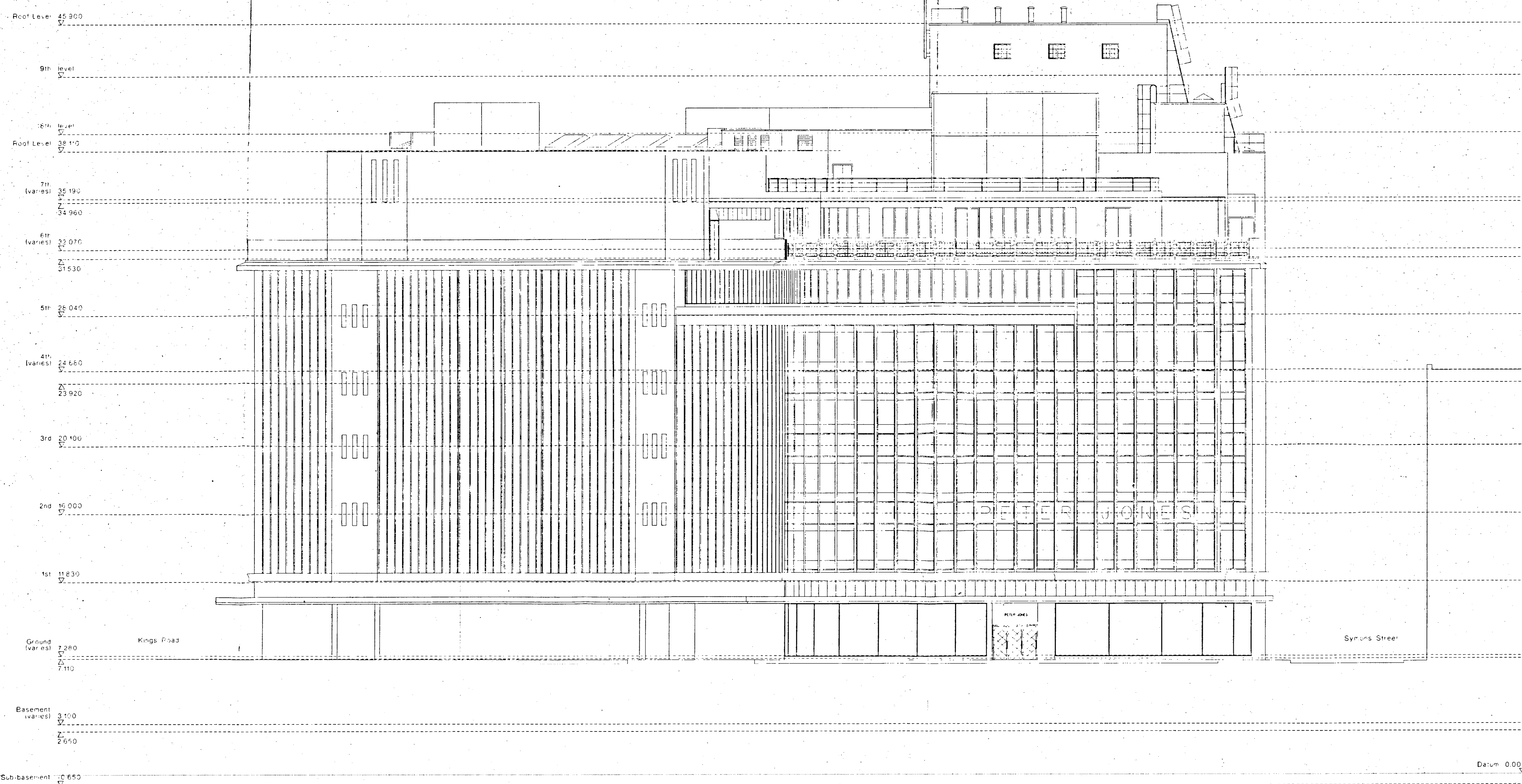


SUPERSEDED

Peter Jones Refurbishment		John McAlan & Partners	
South Elevation - Kings Road		302 Kensington Church Street London W8 4DP	
scale 1:100 at A0	job no 717	telephone 44 (0) 20 727 2661	
date October 97	drawn by CM	fax 44 (0) 20 727 2665	
drawing status Listed Building	checked by MS	email jmc@architectural.peter.com	
drawing no. LL-162	revision 00		

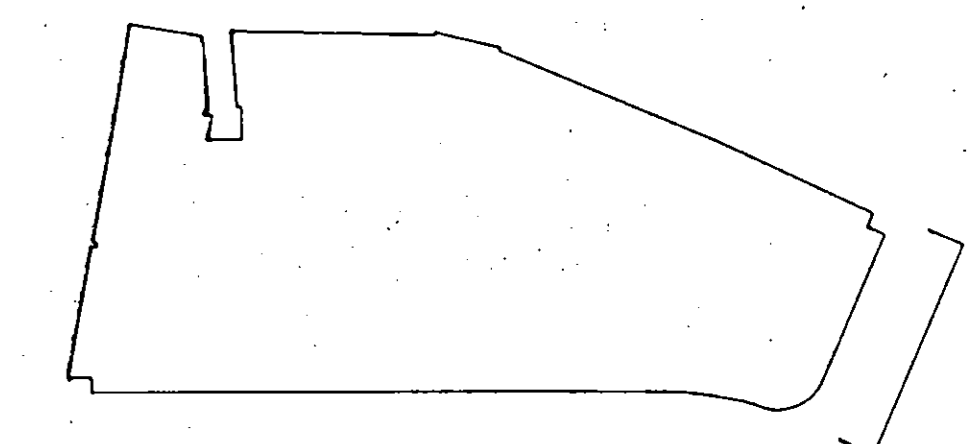
Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JMP. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

Revisions			
Rev	Date	Description	Drawn / Checked
00	22.05.98	Application for Listed Building Consent	RW / MS



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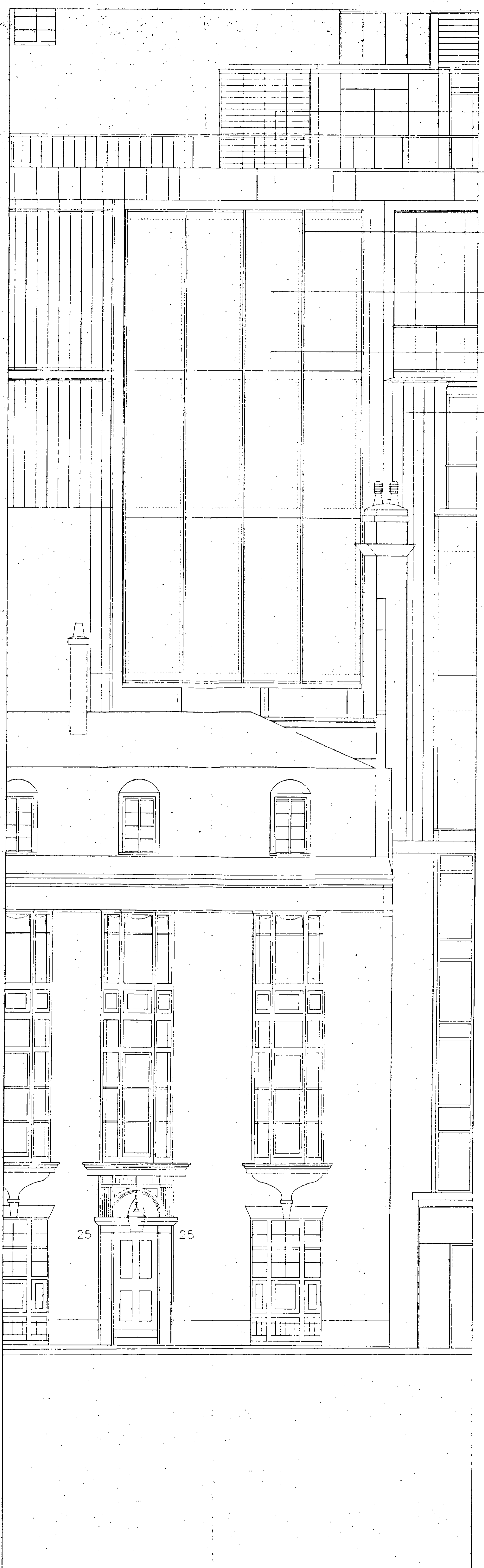


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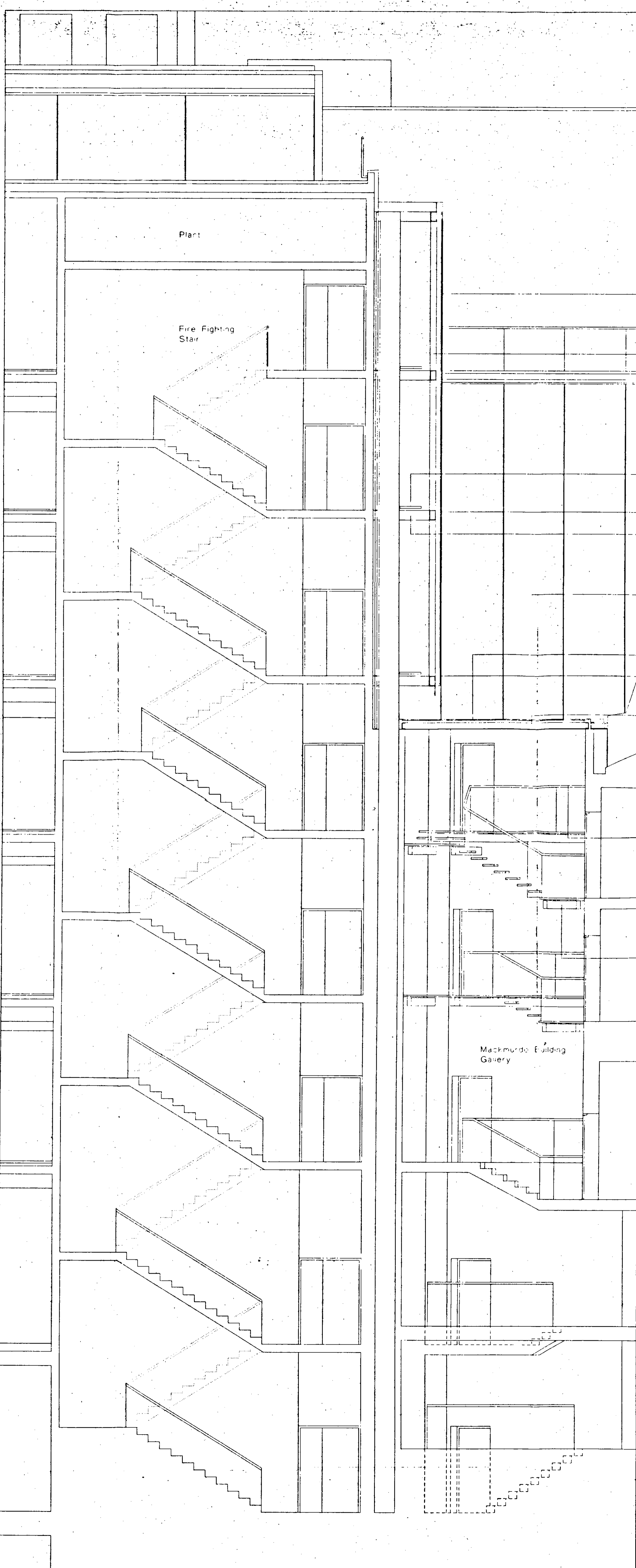
Peter Jones Refurbishment		John McAlan & Partners	
East Elevation - Sloane Square		201 Kensington Church Street London W8 4DP	
scale 1:100 at A0	job no 717	telephone 44 (0) 773 737 2665	email jmc@mcalan.com
date October 97	drawn by GM	fax 44 (0) 773 737 2655	email jmc@mcalan.com
drawing status Listed Building	checked by MS	revision 00	
drawing no. LL-161			



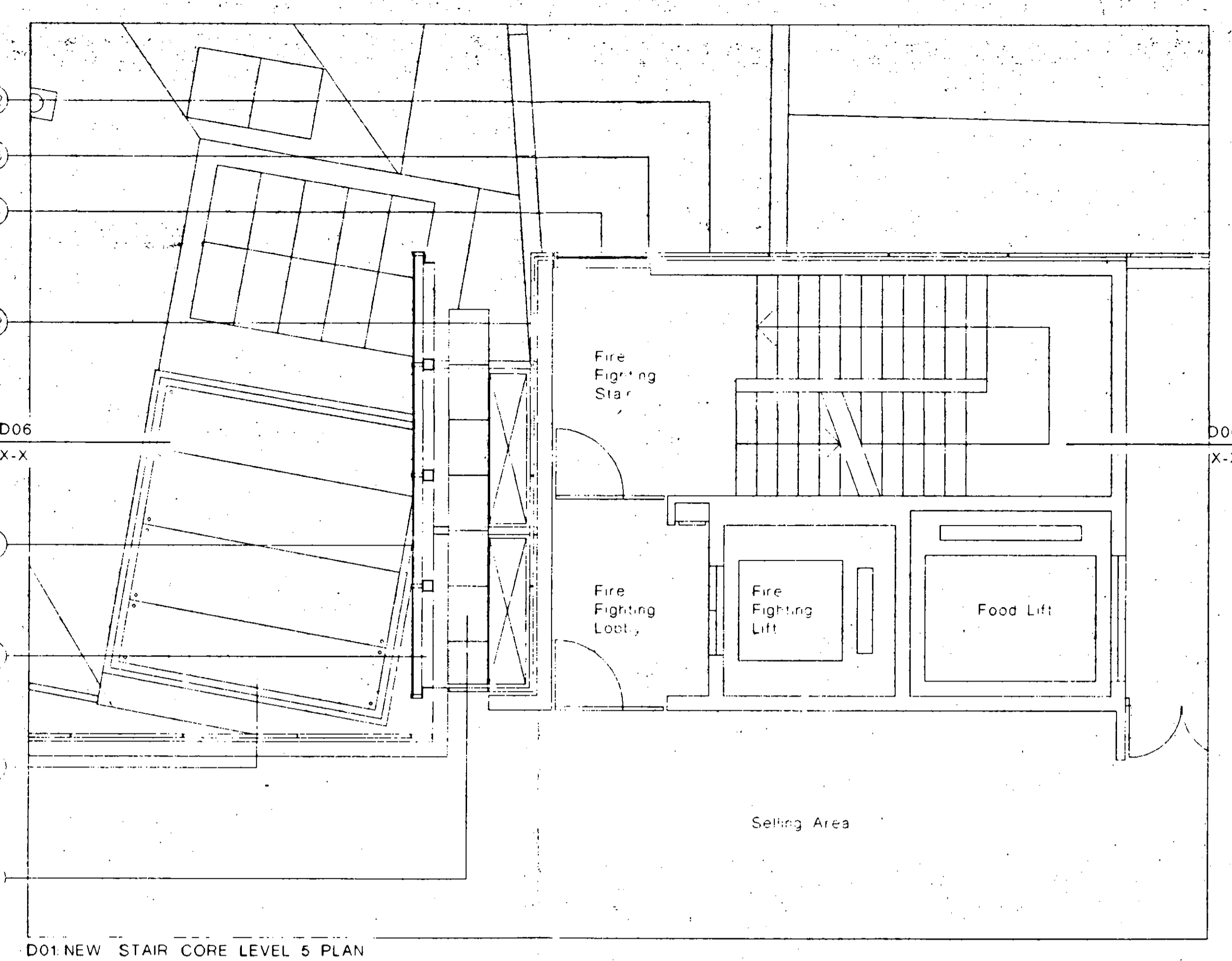
D04 NEW STAIR CORE SYMONS STREET ELEVATION



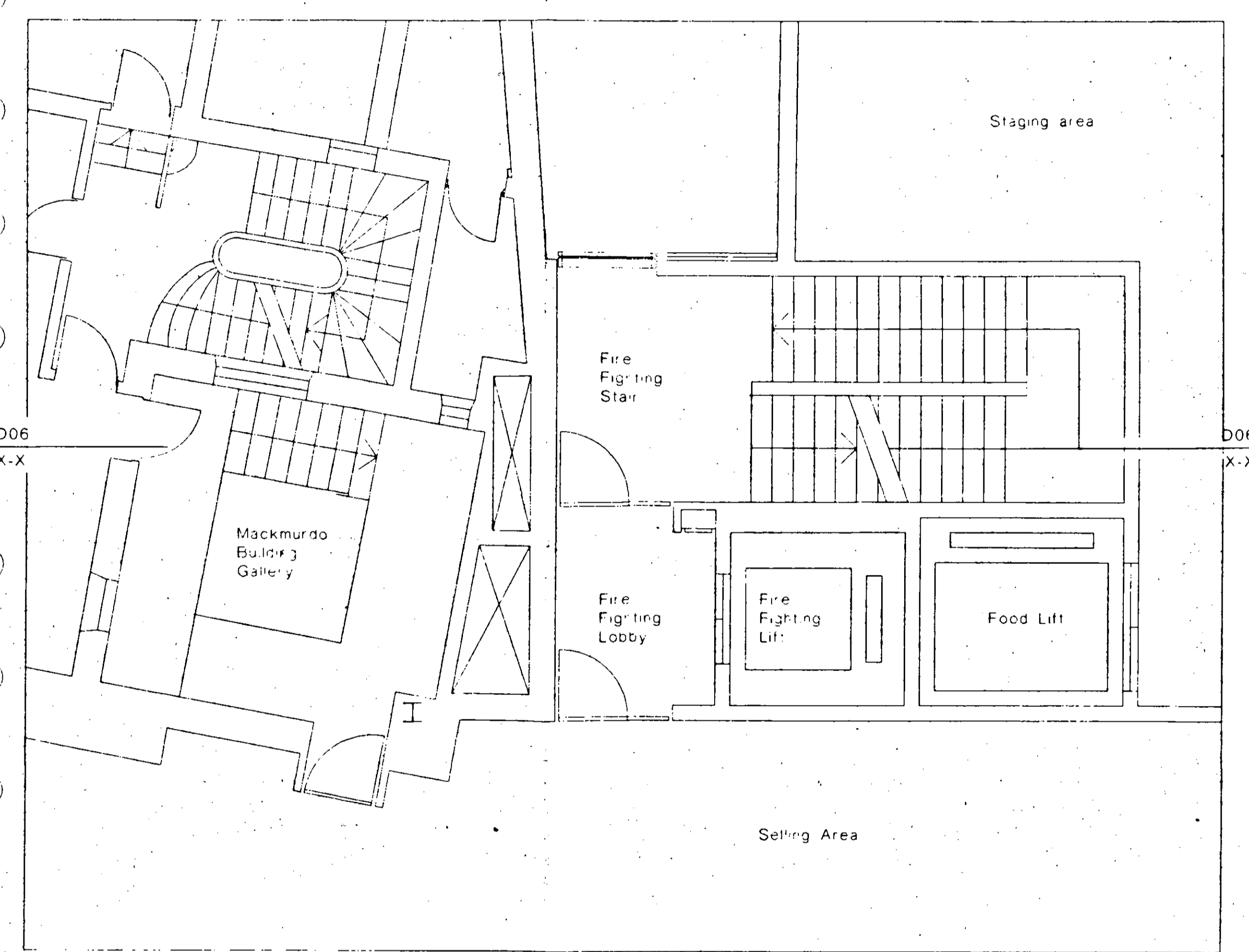
D05 NEW STAIR CORE CADOGAN GARDENS ELEVATION



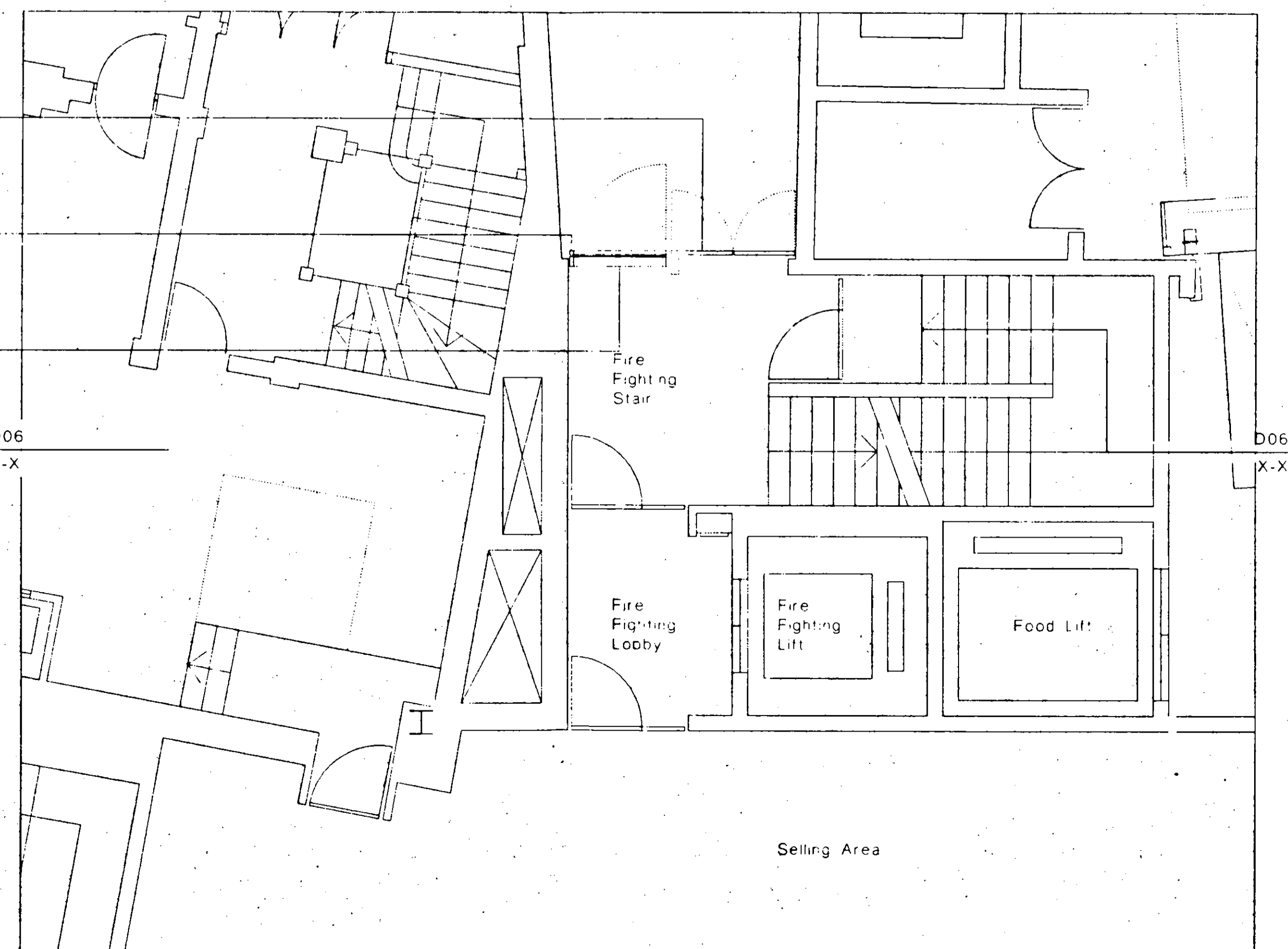
D06 NEW STAIR CORE SECTION X-X



D01 NEW STAIR CORE LEVEL 5 PLAN



D02 NEW STAIR CORE LEVEL 2 PLAN



D03 NEW STAIR CORE GROUND LEVEL PLAN

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Rev	Date	Description	Drawn	Check
00	22/05/98	Application for Listed Building Consent	FW	MS

- Key:
- 01 Cladding
 - 02 Painted render
 - 03 Prefinished insulating dry render panel
 - 04 Travertine marble panel
 - 05 External Metalwork
 - 06 Powder coated aluminium
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium panel panel
 - 09 Anodised aluminium
 - 10 Anodised aluminium louvre panel
 - 11 Powder coated aluminium
 - 12 Stainless steel handrail
 - 13 Painted galvanised steel balustrade
 - 14 Glazing
 - 15 Clear double glazed unit
 - 16 Solar control clear double glazed unit
 - 17 Translucent double glazed unit
 - 18 Opaque double glazed unit
 - 19 Clear triple glazed unit with double glazed unit
 - 20 Clear double glazed unit with interstia blinds
 - 21 Clear toughened glass
 - 22 Translucent toughened glass
 - 23 Clear laminated glass
 - 24 Flush stone joint
 - 25 Anodised aluminium multi-paned sector
 - 26 Galvalit steel glazing section
 - 27 Fixed open galvanised steel framed unit
 - 28 Stainless steel bolted glass fixing
 - 29 Framed glass control screen
 - 30 Coated glassfibre gate control blind
 - 31 Roofing
 - 32 Aluminium standing seam roofing system
 - 33 Galvanised steel access walkway
 - 34 Galvanised steel stair
 - 35 Precast concrete pavours
 - 36 Precast concrete coping
 - 37 Pebble inlay
 - 38 Maintenance cradle
 - 39 Maintenance cradle rack
 - 40 Internal Finishes
 - 41 Glassfibre reinforced gypsum bulkhead and soffit
 - 42 Plasterboard ceiling
 - 43 Painted plaster finish
 - 44 Porcelain glazed floor tile with circular perforations
 - 45 Powder coated aluminium ceiling suspension rail
 - 46 Inductive strip lighting
 - 47 Internal Metalwork
 - 48 Painted mild steel
 - 49 Clear toughened glass
 - 50 Stainless steel cladding panel
 - 51 Silver bronze finished handrail
 - 52 Silver bronze finished louvre panel
 - 53 Services
 - 54 Flush recessed downlight
 - 55 Linear lighting
 - 56 Galvanised steel louvre air intake grille
 - 57 Anodised aluminium air intake grille
 - 58 Anodised aluminium automated air make-up dampers
 - 59 Powder coated aluminium circular air supply nozzle
 - 60 Anodised aluminium linear slot air diffuser
 - 61 Anodised aluminium trench heater grille
 - 62 Sprinkler head
 - 63 Coated glassfibre smoke control curtain
 - 64 Boiler flue
 - 65 Chiller unit
 - 66 Air handling unit
 - 67 Ductwork plenum
 - 68 Streetscape
 - 69 Riga sheet bonded opaque glass sloping roof
 - 70 Timber facing panels on painted mild steel frame
 - 71 Flush recessed stainless steel fixings
 - 72 Galvanised steel track
 - 73 Yorkstone paviours
 - 74 Yorkstone stone sets
 - 75 Granite kerb
 - 76 Precast concrete sets
 - 77 Stainless steel bollards
 - 78 Painted galvanised steel drainage channel

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Peter Jones Refurbishment
New Stair Core Partial Plans, Section and Elevations

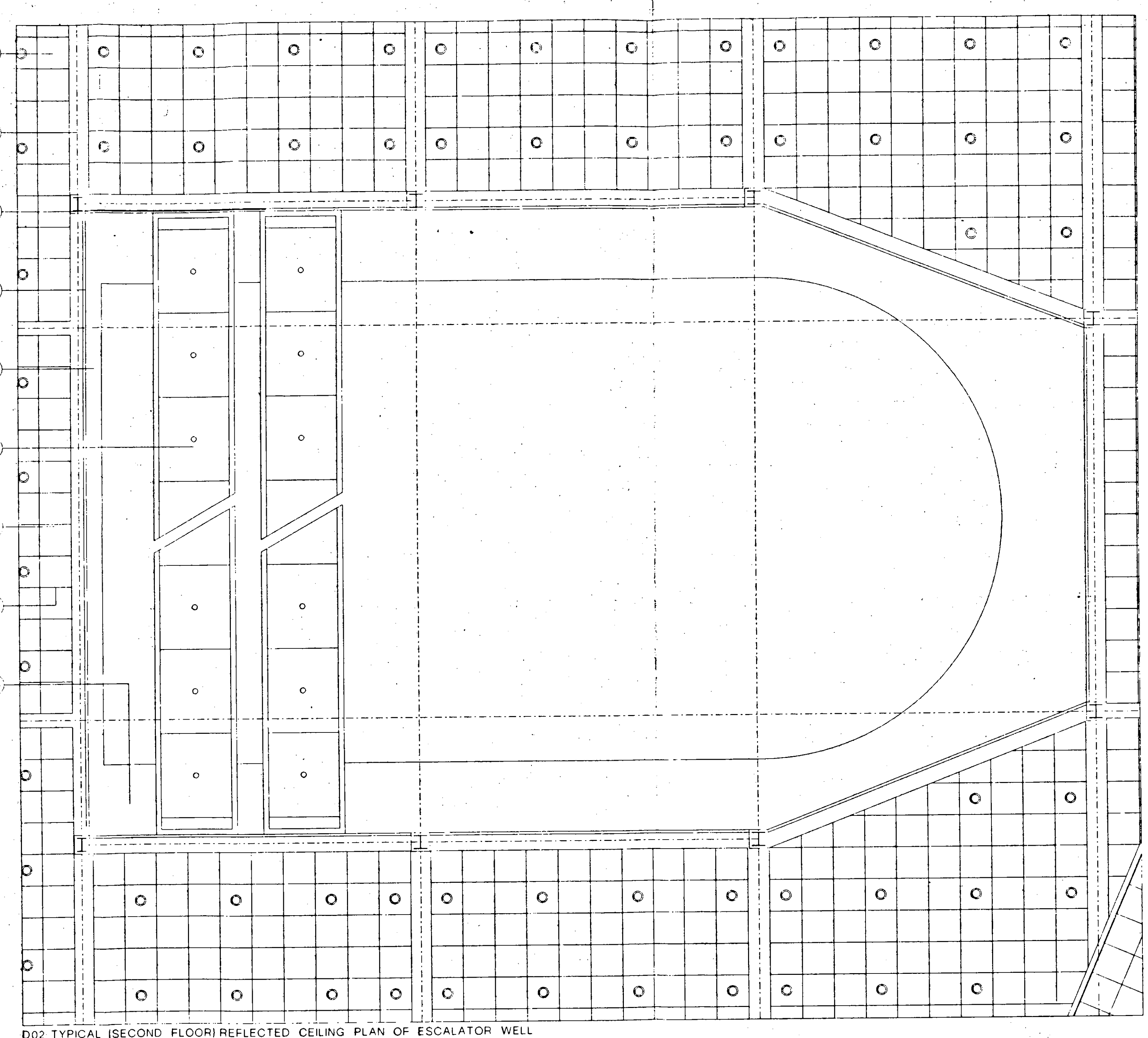
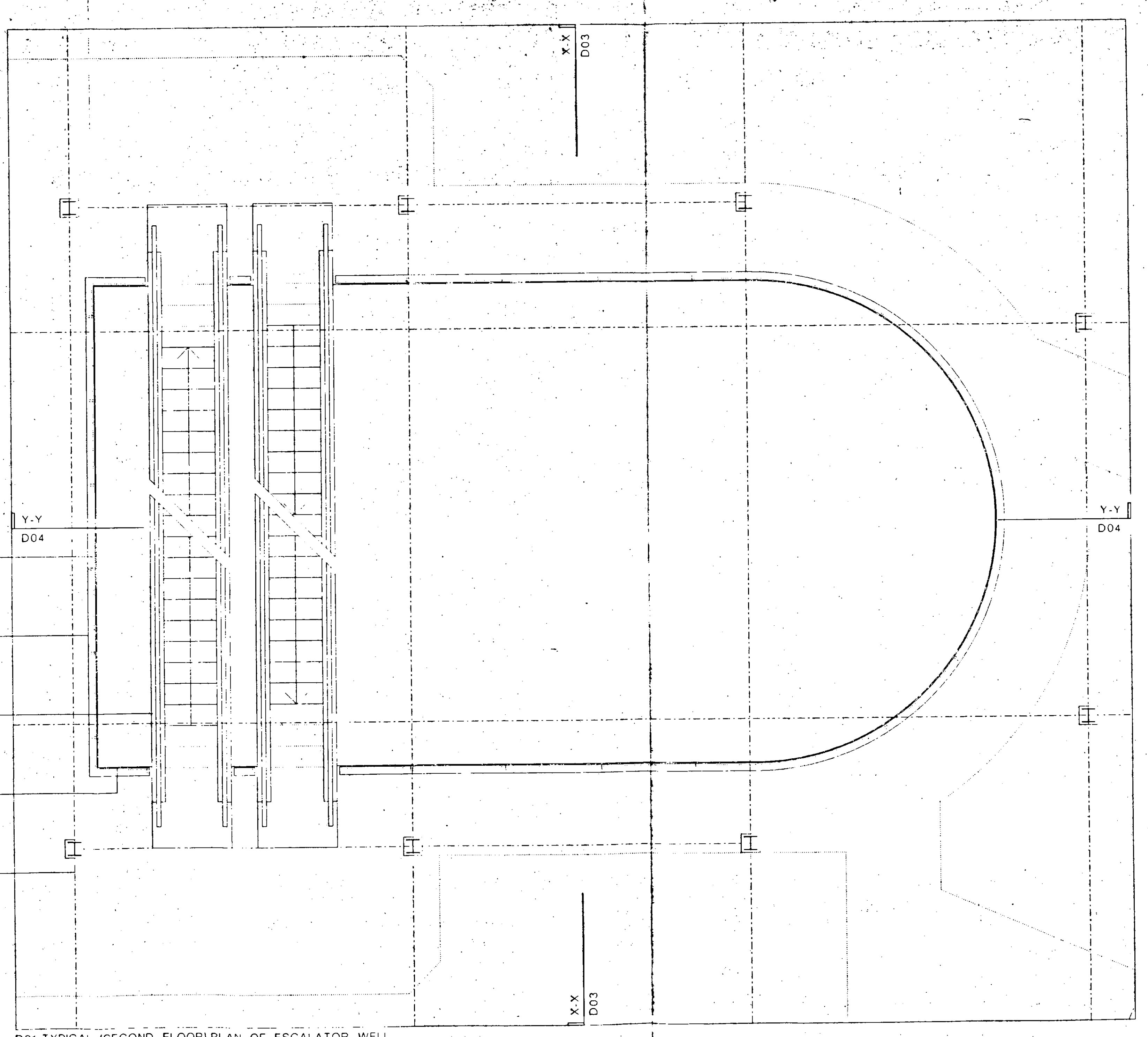
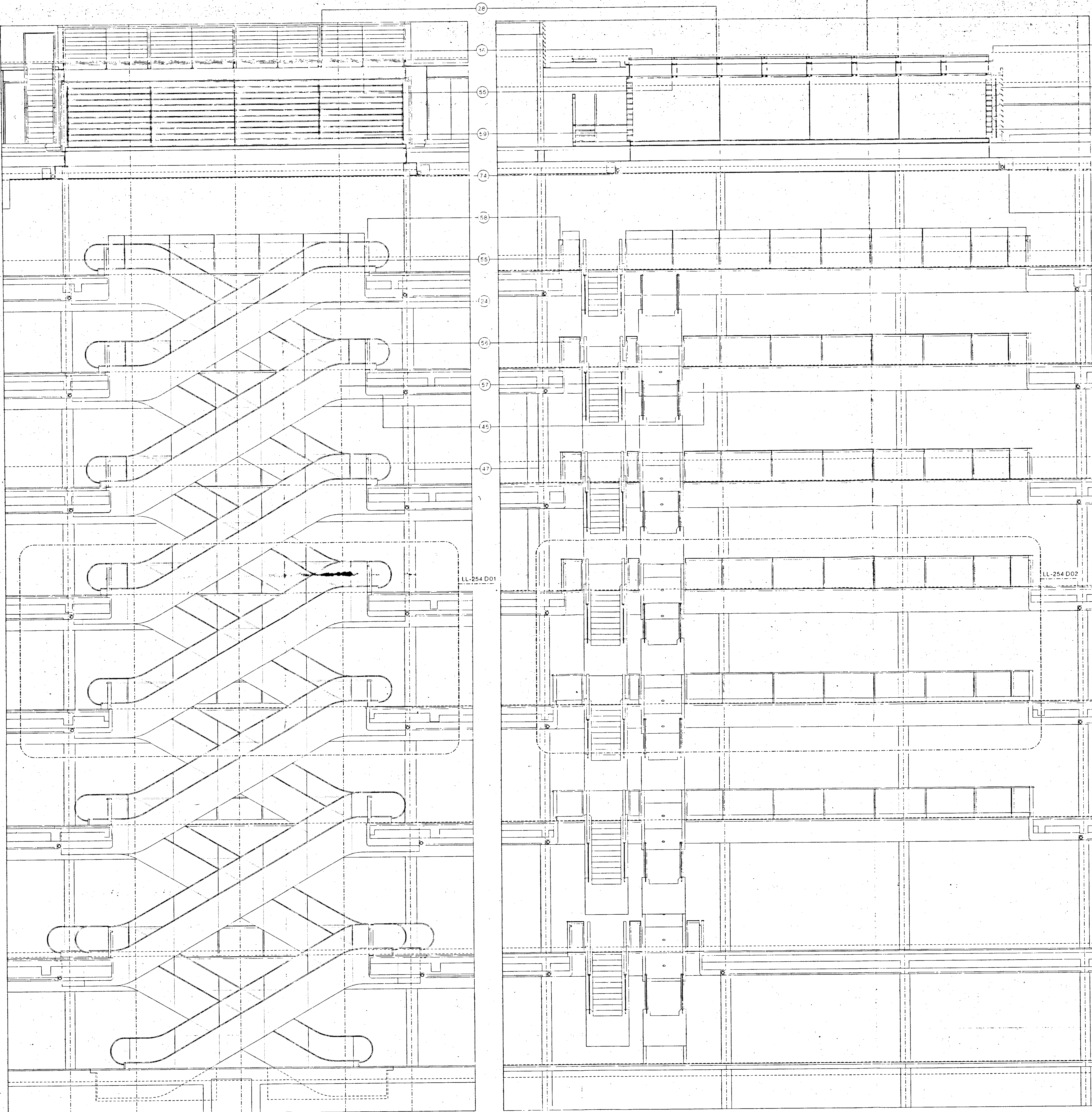
John McKean & Partners
203 Kensington Church Street
London W8 4DP

scale 1:50 at A0 job no. 717
date April 98 drawn by RW telephone 44 (0) 202 722 2563
drawing status: Listed Building checked by MS fax 44 (0) 202 722 8855
drawing no. LL-155 revision 00 email jwp@architect@btinternet.com

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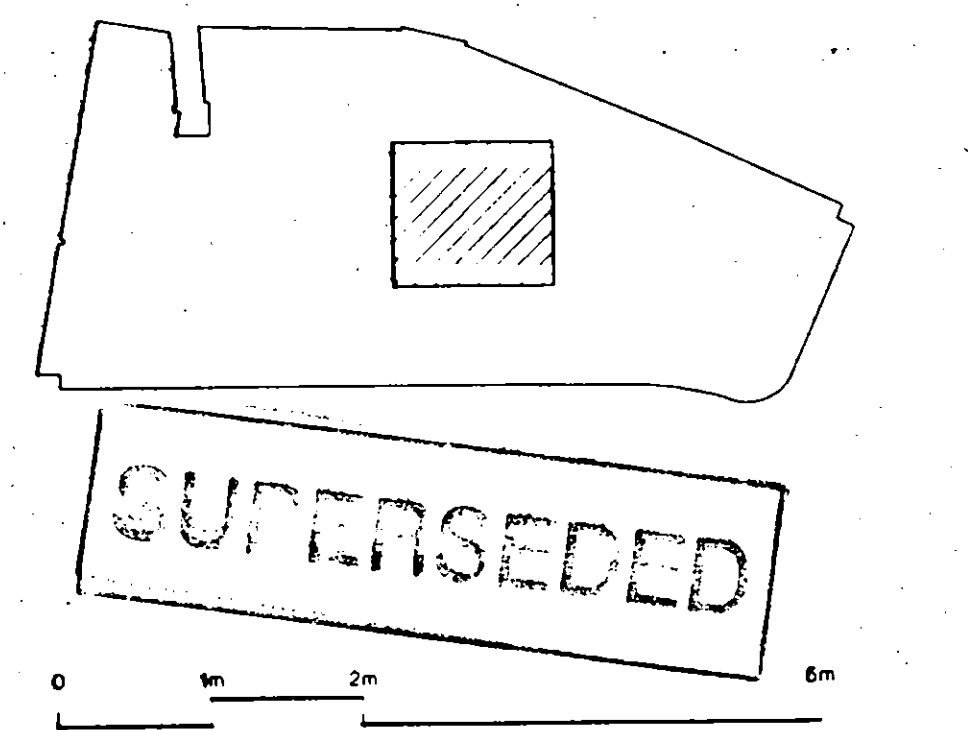
Rev.	Date	Description	Drawn	Check
00	22.05.98	Application for Listed Building Consent	RW	MS

- Key**
- Cladding**
 - 01 Fairfaced render
 - 02 Prefinished insulated dry render panel
 - 03 Travertine marble panel
 - External Metalwork**
 - 04 Powder coated aluminium
 - 05 Powder coated aluminium flashing
 - 06 Powder coated aluminium gutter profile
 - 07 Powder coated aluminium parapet panel
 - 08 Anodised aluminium
 - 09 Anodised aluminium louvre panel
 - 10 Painted galvanised steel
 - 11 Stainless steel handrail
 - 12 Painted galvanised steel balustrade
 - Glazing**
 - 13 Clear double glazed unit
 - 14 Solar control clear double glazed unit
 - 15 Translucent double glazed unit
 - 16 Opaque double glazed unit
 - 17 Opaline fritted zinc within double glazed unit
 - 18 Clear double glazed unit with interstitial blinds
 - 19 Clear toughened glass
 - 20 Translucent toughened glass
 - 21 Clear laminated glass
 - 22 Flush suction joint
 - 23 Anodised aluminium mullion section
 - 24 Galvanised steel glazing section
 - 25 Fixed open galvanised steel framed unit
 - 26 Stainless steel bullet glass fixing
 - 27 Framed glare control screen
 - 28 Coated glass fibre gire control blinds
 - Roofing**
 - 29 Aluminium standing seam roofing system
 - 30 Galvanised steel access walkway
 - 31 Galvanised steel stair
 - 32 Precast concrete pavours
 - 33 Precast concrete coping
 - 34 Pebble inlay
 - 35 Maintenance cradle
 - 36 Maintenance cradle track
 - Internal Finishes**
 - 37 Glass fibre reinforced gypsum bulkhead and soffit
 - 38 Plasterboard skimming
 - 39 Painted plaster finish
 - 40 Powder coated steel riser with circular perforations
 - 41 Powder coated aluminium ceiling suspension rail
 - 42 Indicative shop fitting
 - Internal Metalwork**
 - 43 Painted mild steel
 - 44 Clear toughened glass
 - 45 Stainless steel cladding panel
 - 46 Silver bronze brushed handrail
 - 47 Silver bronze finished louvre panel
 - Services**
 - 48 Flush recessed downlight
 - 49 Linear backlight
 - 50 Galvanised steel louvre air intake grille
 - 51 Anodised aluminium air intake grille
 - 52 Anodised aluminium automatic air make-up damper
 - 53 Powder coated aluminium circular air supply nozzle
 - 54 Anodised aluminium linear slot air diffuser
 - 55 Anodised aluminium trench heater grille
 - 56 Sprinkler head
 - 57 Coated glass fibre smoke control curtain
 - 58 Boiler fuel
 - 59 Chimney unit
 - 60 Air handling unit
 - 61 Ductwork plenum
 - Streetscape**
 - 62 Rigid sheet bonded opaque glass sliding door
 - 63 Timber facing panels on painted mild steel frame
 - 64 Flush recessed stainless steel ramps
 - 65 Galvanised steel track
 - 66 Vorkstone pavours
 - 67 Vorkstone style setts
 - 68 Granite kerb
 - 69 Precast concrete setts
 - 70 Stainless steel handrail
 - 71 Painted galvanised steel drainage channel



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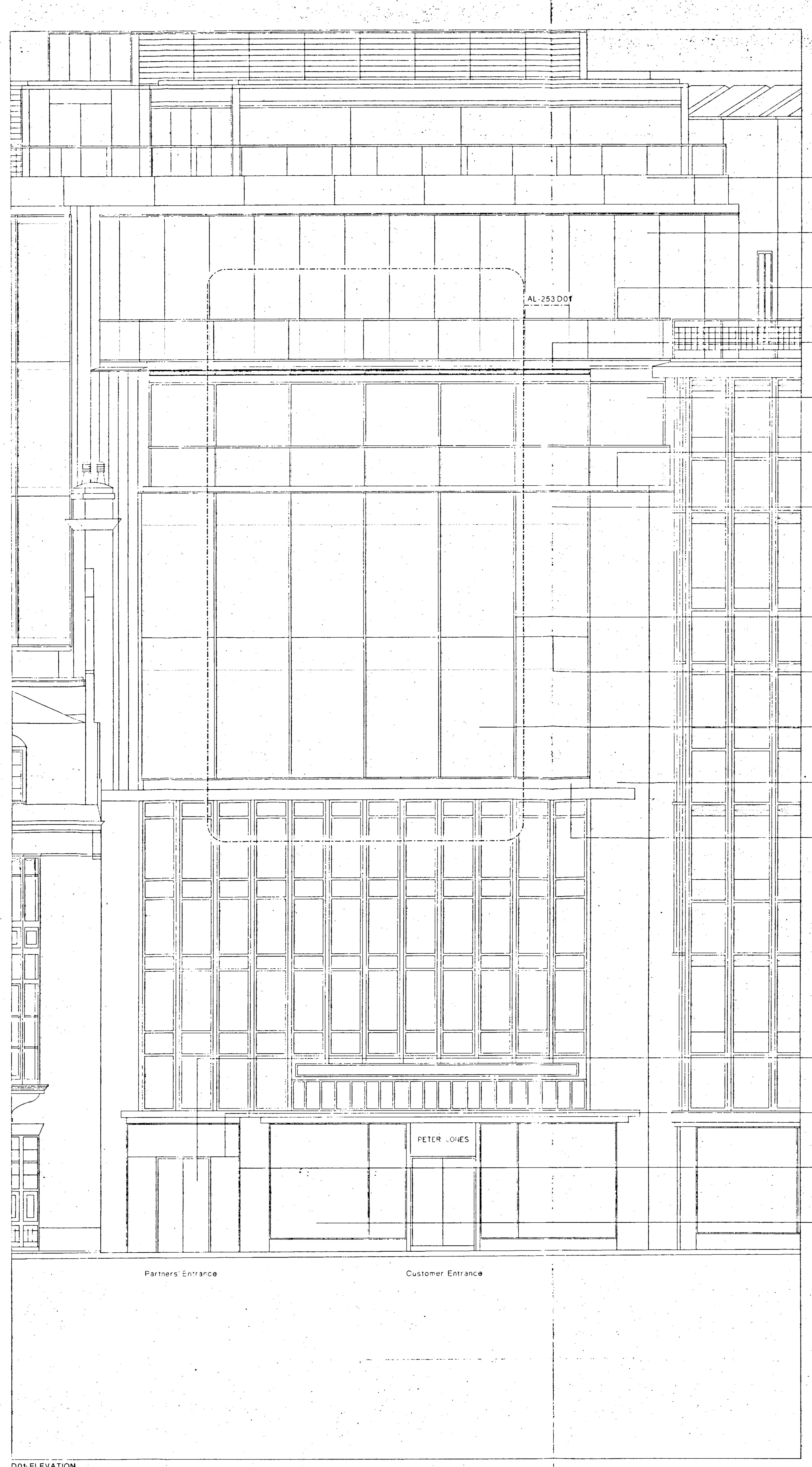


Peter Jones Refurbishment		John McAloon & Partners	
Escalator Well Partial Plans and Sections		203 Kensington Church Street London W8 4EP	
scale 1:50 at A0	job no. 717	telephone 44 (0) 20 729 2563	fax 44 (0) 20 729 2565
date April 98	drawn by RW	email jma@mcloonepartners.com	
drawing status Listed Building	checked by MS		
drawing no. LL-154	revision 00		

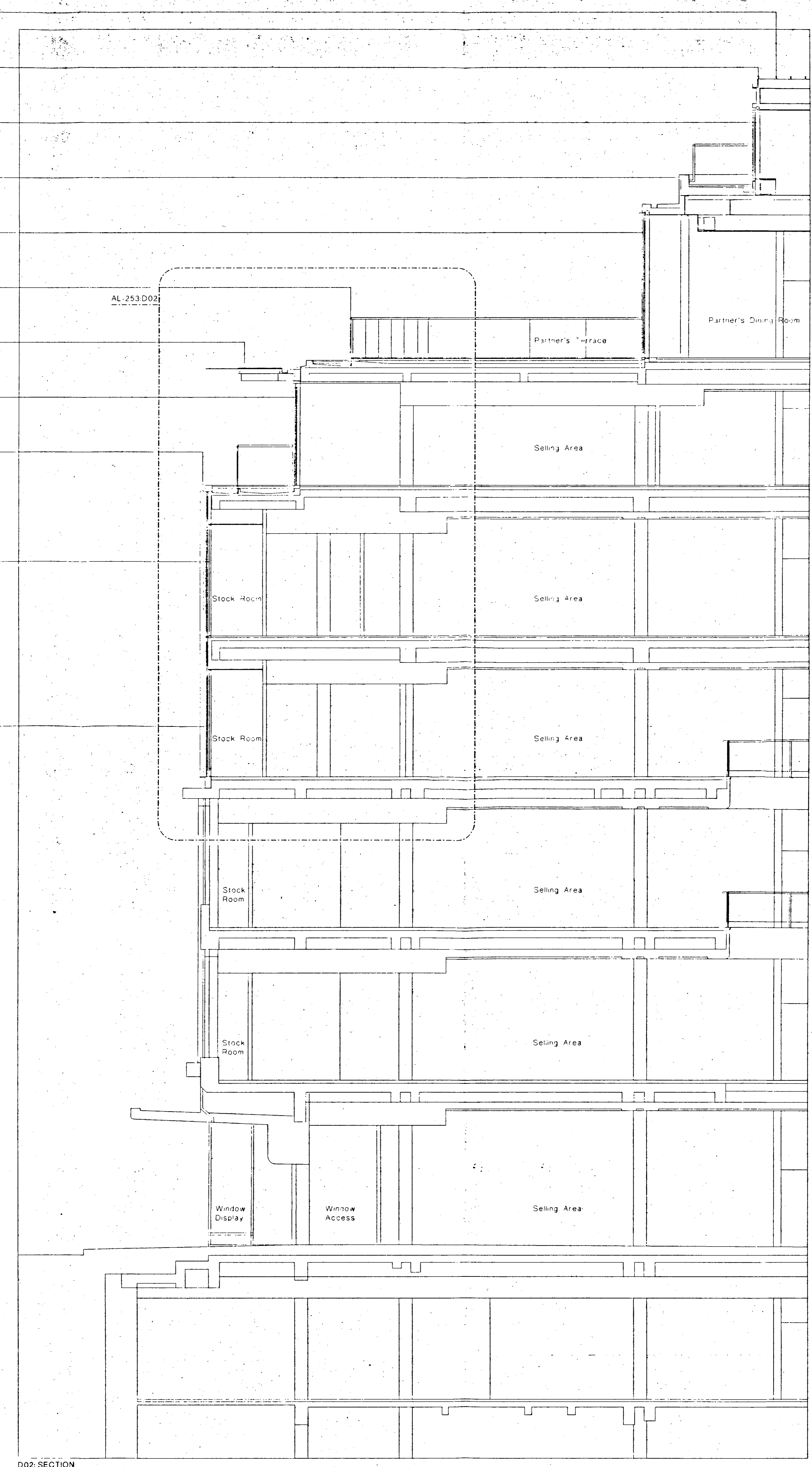
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Revisions

Rev.	Date	Description	Drawn	Check
00	22.05.98	Application for Listed Building Consent	RW	MS



D01: ELEVATION



D02: SECTION

- Key
- Cladding
 - 01 Marble render
 - 02 Pre-finished insulated dry render panel
 - 03 Travertine marble panel
 - External Metalwork
 - 04 Powder coated aluminium flashing
 - 05 Powder coated aluminium gutter profile
 - 06 Powder coated aluminium parapet panel
 - 07 Anodised aluminium
 - 08 Anodised aluminium painted panel
 - 09 Painted galvanneal steel
 - 10 Stainless steel handrail
 - 11 Painted galvanneal steel balustrade
 - Glazing
 - 12 Clear double glazed unit
 - 13 Solar control clear double glazed unit
 - 14 Translucent double glazed unit
 - 15 Double glazed unit
 - 16 Double glazed unit with interst aluminium
 - 17 Clear toughened glass
 - 18 Translucent toughened glass
 - 19 Clear laminated glass
 - 20 Flush silicone joint
 - 21 Anodised aluminium mullion section
 - 22 Galvanneal sheet glazing section
 - 23 Fixed open galvanneal steel framed unit
 - 24 Stainless steel bolted glass fixing
 - 25 Framed glare control screen
 - 26 Coated glass fibre glare control blind
 - Roofing
 - 27 Aluminium standing seam roofing system
 - 28 Galvanneal steel access walkway
 - 29 Galvanneal steel stair
 - 30 Precast concrete paviours
 - 31 Precast concrete coping
 - 32 Pebble infill
 - 33 Maintenance crane
 - 34 Maintenance crane track
 - Internal Finishes
 - 35 Glass fibre reinforced gypsum bulkhead and soffit
 - 36 Plasterboard lining
 - 37 Painted plaster finish
 - 38 Powder coated steel with circular perforations
 - 39 Powder coated aluminium ceiling suspension rail
 - 40 Indicative snap fitting
 - Internal Metalwork
 - 41 Painted mild steel
 - 42 Clear toughened glass
 - 43 Stainless steel cladding panel
 - 44 Silver bronze finished handrail
 - 45 Silver bronze finished louvre panel
 - Services
 - 46 Flush recessed downlight
 - 47 Linear downlight
 - 48 Galvanneal steel louvre air intake grille
 - 49 Anodised aluminium air intake grille
 - 50 Anodised aluminium automated air make-up dampers
 - 51 Powder coated aluminium circular air supply nozzle
 - 52 Anodised aluminium linear slot air diffuser
 - 53 Anodised aluminium trench heater grille
 - 54 Sprinkler head
 - 55 Coated glass fibre smoke control curtain
 - 56 Boiler flue
 - 57 Chiller unit
 - 58 Air handling unit
 - 59 Ductwork plenum
 - Streetscape
 - 60 High street bonded opaque glass skid floor
 - 61 Timber facing panels on painted mild steel frame
 - 62 Flush recessed stainless steel fixings
 - 63 Galvanneal steel track
 - 64 Yorkstone paviours
 - 65 Yorkstone style setts
 - 66 Granite kerb
 - 67 Precast concrete setts
 - 68 Stainless steel bollards
 - 69 Painted galvanneal steel drainage channel

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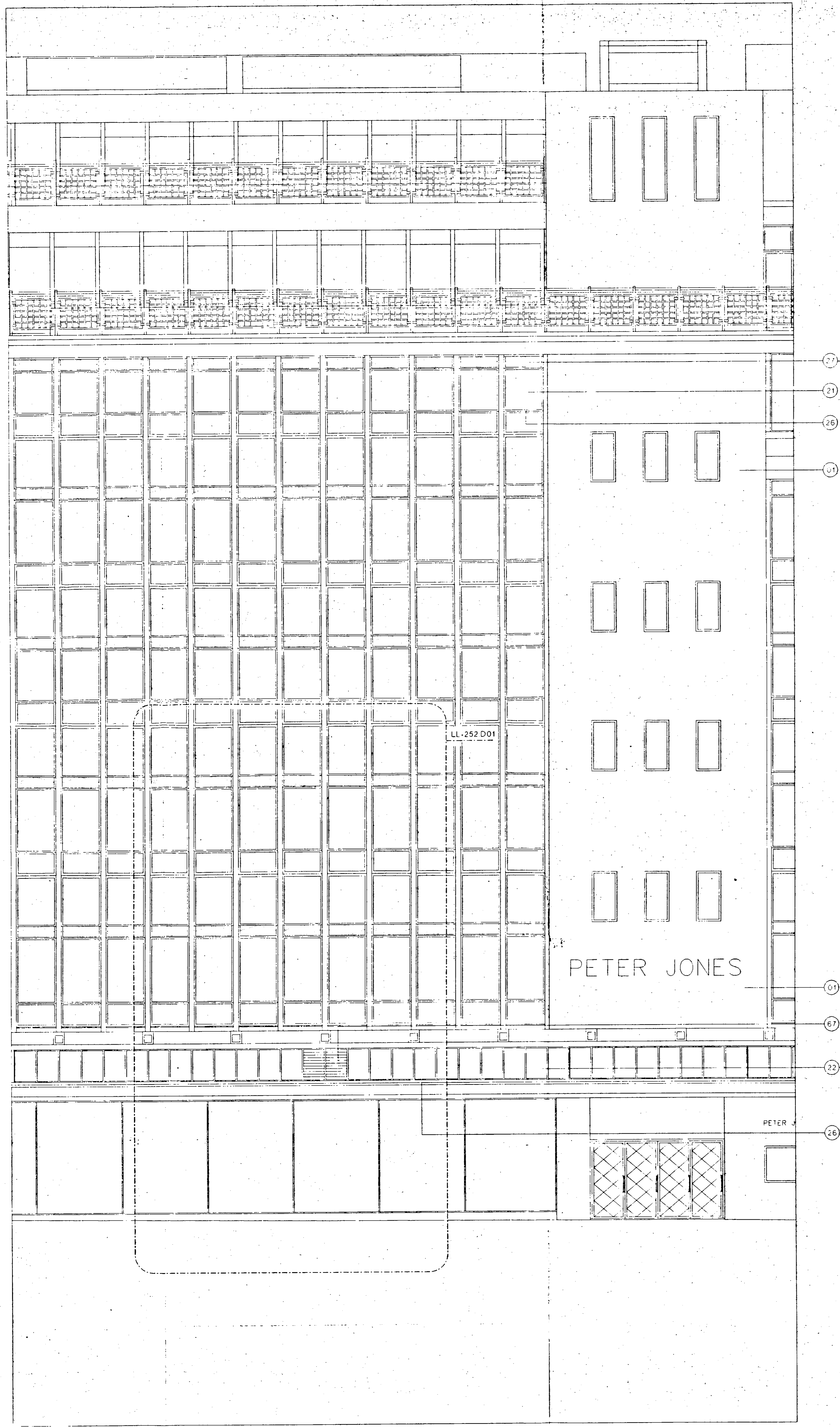
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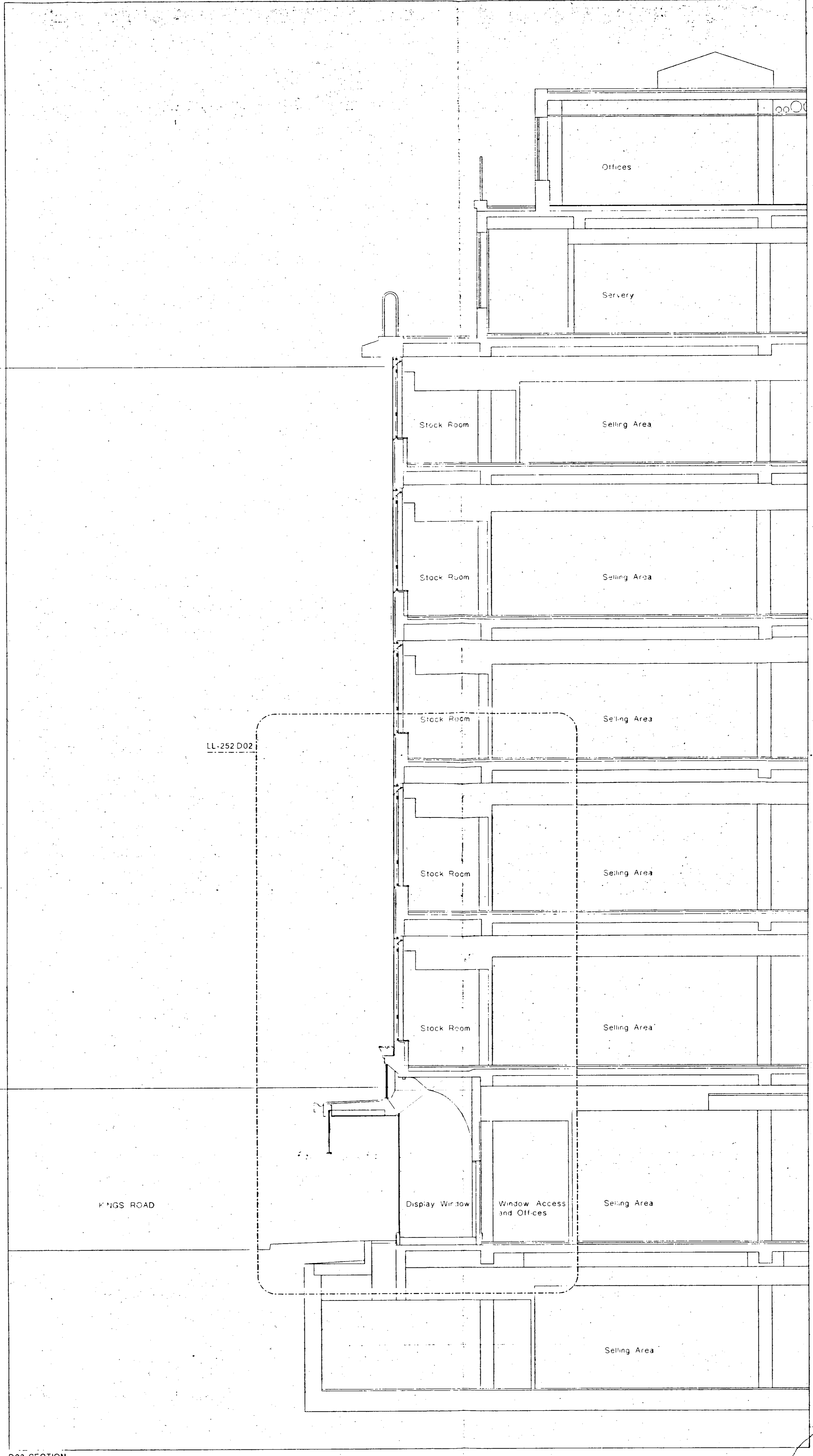
Peter Jones Refurbishment		John McAuliffe & Partners	
Cadogan Gardens Partial Section and Elevation		202 Kensington Church Street London W8 4DP	
scale 1:50 at A0	job no. 717	telephone 44 (0) 207 227 2663	fax 44 (0) 207 227 2855
date April 98	drawn by RW	email jma@bskandp.com	
drawing status Listed Building	checked by MS		
drawing no. LL-153	revision 00		

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Rev.	Date	Description	Drawn	Check
00	22/05/99	Application for Listed Building Consent	RW	MS



D01: ELEVATION

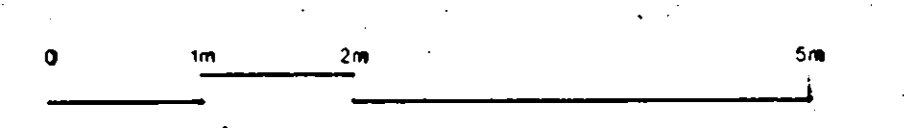


D02: SECTION

- Key:
- Cladding
 - 01 Painted render
 - 02 Prefinished insulated dry render panel
 - 03 Travertine marble panel
 - External Metalwork
 - 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium parapet panel
 - 09 Anodised aluminium
 - 10 Anodised aluminium louvre panel
 - 11 Painted galvanised steel
 - 12 Stainless steel handrail
 - 13 Painted galvanised steel balustrade
 - Glazing
 - 15 Clear double glazed unit
 - 16 Solar coated clear double glazed unit
 - 17 Translucent double glazed unit
 - 18 opaque double glazed unit
 - 19 opaque fritted zone within double glazed unit
 - 20 Clear double glazed unit with interstitial blinds
 - 21 Clear toughened glass
 - 22 Translucent toughened glass
 - 23 Clear laminated glass
 - 24 Flush silicone joint
 - 25 Anodised aluminium mullion section
 - 26 Galvanised steel glazing section
 - 27 Fixed open galvanised steel framed unit
 - 28 Stainless steel bolted glass fixing
 - 29 Framed glass control screen
 - 30 Coated glass fibre gate controlling
 - Roofing
 - 35 Aluminium standing seam roofing system
 - 36 Galvanised steel access walkway
 - 37 Anodised steel stair
 - 38 Precast concrete pavours
 - 39 Precast concrete coping
 - 40 Pebble finish
 - 41 Maintenance crane
 - 42 Maintenance crane track
 - Internal Finishes
 - 45 Gypsum reinforced gypsum bulkhead and soffit
 - 46 Gypsum board dry lining
 - 47 Painted plaster finish
 - 48 Powder coated steel plate with circular perforations
 - 49 Powder coated aluminium ceiling suspension rail
 - 50 Indicative shop fitting
 - Internal Metalwork
 - 55 Painted mild steel
 - 56 Clear toughened glass
 - 57 Stainless steel cladding panel
 - 58 Silver bronze finished handrail
 - 59 Silver bronze finished louvre panel
 - Services
 - 65 Flush recessed downlight
 - 66 Linear spotlight
 - 67 Galvanised steel covered air intake grille
 - 68 Anodised aluminium air intake grille
 - 69 Anodised aluminium automated air make-up damper
 - 70 Powder coated aluminium circular air supply nozzle
 - 71 Anodised aluminium linear slot air diffuser
 - 72 Anodised aluminium trench heater grille
 - 73 Sprinkler head
 - 74 Coated glass fibre smoke control curtain
 - 75 Boiler fuel
 - 76 Chiller unit
 - 77 Air handling unit
 - 78 Ductwork plenum
 - Streetscape
 - 81 rigid sheet bonded opaque glass sliding door
 - 82 Timber facing panels on painted mild steel frame
 - 83 Flush recessed stainless steel fixings
 - 84 Galvanised steel track
 - 85 Yorkstone pavours
 - 86 Yorkstone style setts
 - 87 Granite kerb
 - 88 Precast concrete setts
 - 89 Stainless steel pavours
 - 90 Painted galvanised steel drainage channel

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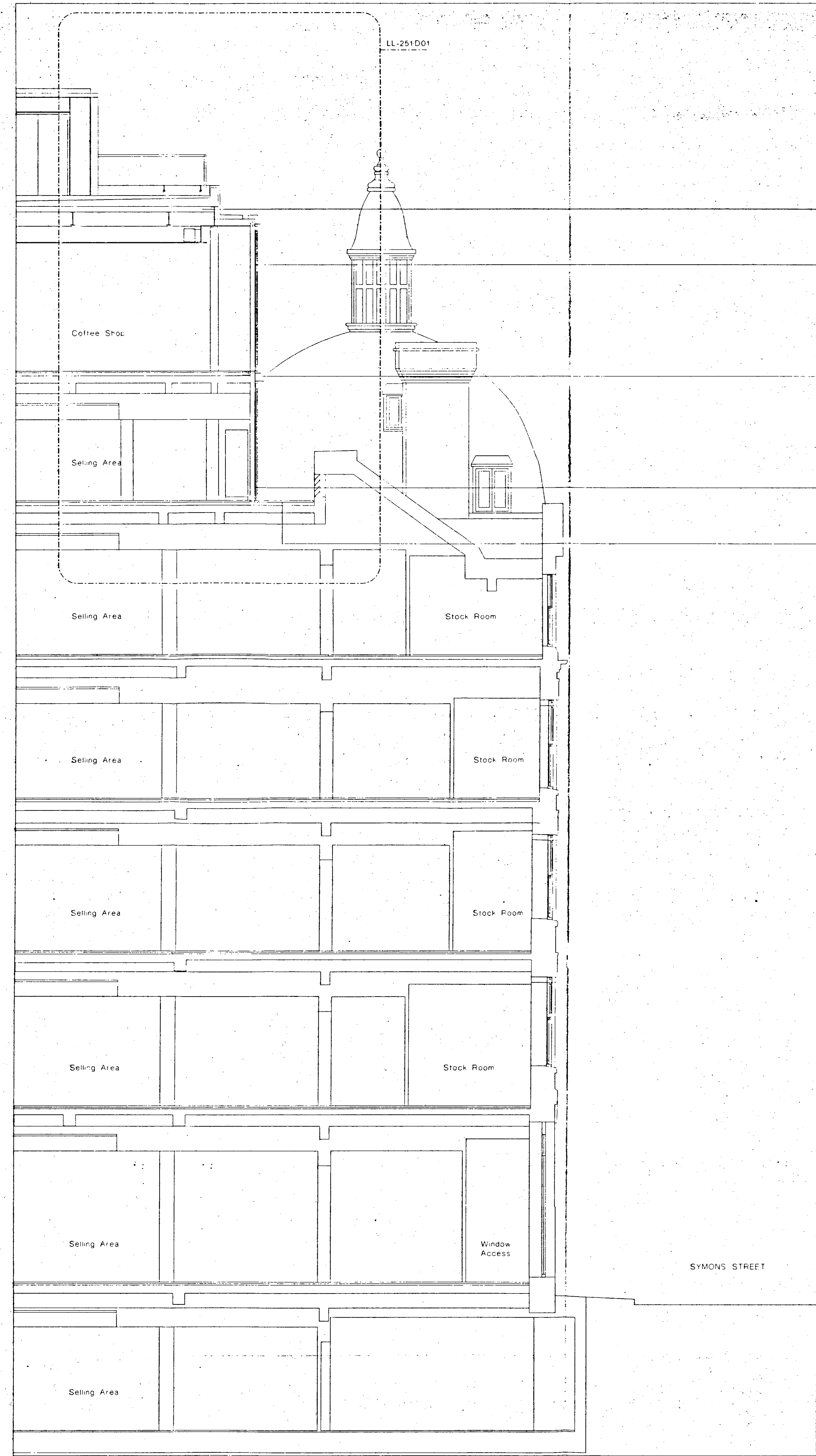
SUPERSEDED



Peter Jones Refurbishment		John McAloon & Partners	
Kings Road Partial Section and Elevation		202 Kensington Church Street London W8 4DP	
scale 1:50 at A0	job no. 717	telephone 44 (0) 171 721 2669	
date April 99	drawn by RW	fax 44 (0) 171 221 5835	
drawing status Listed Building	checked by MS	email jmac@architect@peterjones.com	
drawing no. LL-152	revision 00		

Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JMP. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

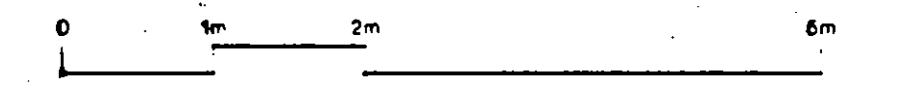
Rev	Date	Description	Drawn	Check
00	22.05.98	Application for Listed Building Consent	RW	MS



- Key
- Cladding**
 - 01 Fabric render
 - 02 Finished insulated dry render panel
 - 03 Travertine marble panel
 - External Metalwork**
 - 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium parapet panel
 - 09 Anodised aluminium
 - 10 Anodised aluminium louvre panel
 - 11 Painted galvanised steel
 - 12 Stainless steel fabric
 - 13 Painted galvanised steel balustrade
 - Glazing**
 - 14 Clear double glazed unit
 - 15 Solar coated clear double glazed unit
 - 16 Translucent double glazed unit
 - 17 Opaque double glazed unit
 - 18 Opaque fritted zone with double glazed unit
 - 19 Clear double glazed unit with interstitial bars
 - 20 Clear toughened glass
 - 21 Translucent toughened glass
 - 22 Clear laminated glass
 - 23 Flush silicone joint
 - 24 Anodised aluminium Mullion section
 - 25 Galvanised steel glazing section
 - 26 Fixed clear galvanised steel framed unit
 - 27 Stainless steel bolted glass fixing
 - 28 Framed glare control screen
 - 29 Coated glass/louvre glare control blind
 - Roofing**
 - 35 Aluminium standing seam roofing system
 - 36 Galvanised steel access walkway
 - 37 Galvanised steel stair
 - 38 Precast concrete pavours
 - 39 Precast concrete coping
 - 40 Pebble finish
 - 41 Maintenance cradle
 - 42 Maintenance cradle track
 - Internal Finishes**
 - 45 Gypsum reinforced gypsum bulkhead and soffit
 - 46 Plasterboard drylining
 - 47 Painted plaster finish
 - 48 Powder coated steel tile with circular perforations
 - 49 Powder coated aluminium ceiling suspension rail
 - 50 Indicative stop fitting
 - Internal Metalwork**
 - 55 Painted mild steel
 - 56 Clear toughened glass
 - 57 Stainless steel cladding panel
 - 58 Silver bronze finished handrail
 - 59 Silver bronze finished louvre panel
 - Services**
 - 65 Flush recessed downlight
 - 66 Linear backlight
 - 67 Galvanised steel covered air intake grille
 - 68 Anodised aluminium air intake grille
 - 69 Anodised aluminium automated air make-up dampers
 - 70 Powder coated aluminium circular air supply nozzle
 - 71 Anodised aluminium linear slot air diffuser
 - 72 Anodised aluminium trench heater grille
 - 73 Sprinkler head
 - 74 Coated glass/louvre smoke control curtain
 - 75 Boiler flue
 - 76 Cooler unit
 - 77 Air handling unit
 - 78 Ductwork plenum
 - Streetscape**
 - 81 Rig 3 sheet bonded opaque glass sliding door
 - 82 Timber facing panels on painted mild steel frame
 - 83 Flush recessed stainless steel fixings
 - 84 Galvanised steel track
 - 85 Yorkstone pavours
 - 86 Yorkstone style setts
 - 87 Granite kerb
 - 88 Precast concrete setts
 - 89 Stainless steel bollards
 - 90 Painted galvanised steel drainage channel

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TOWN PLANNING
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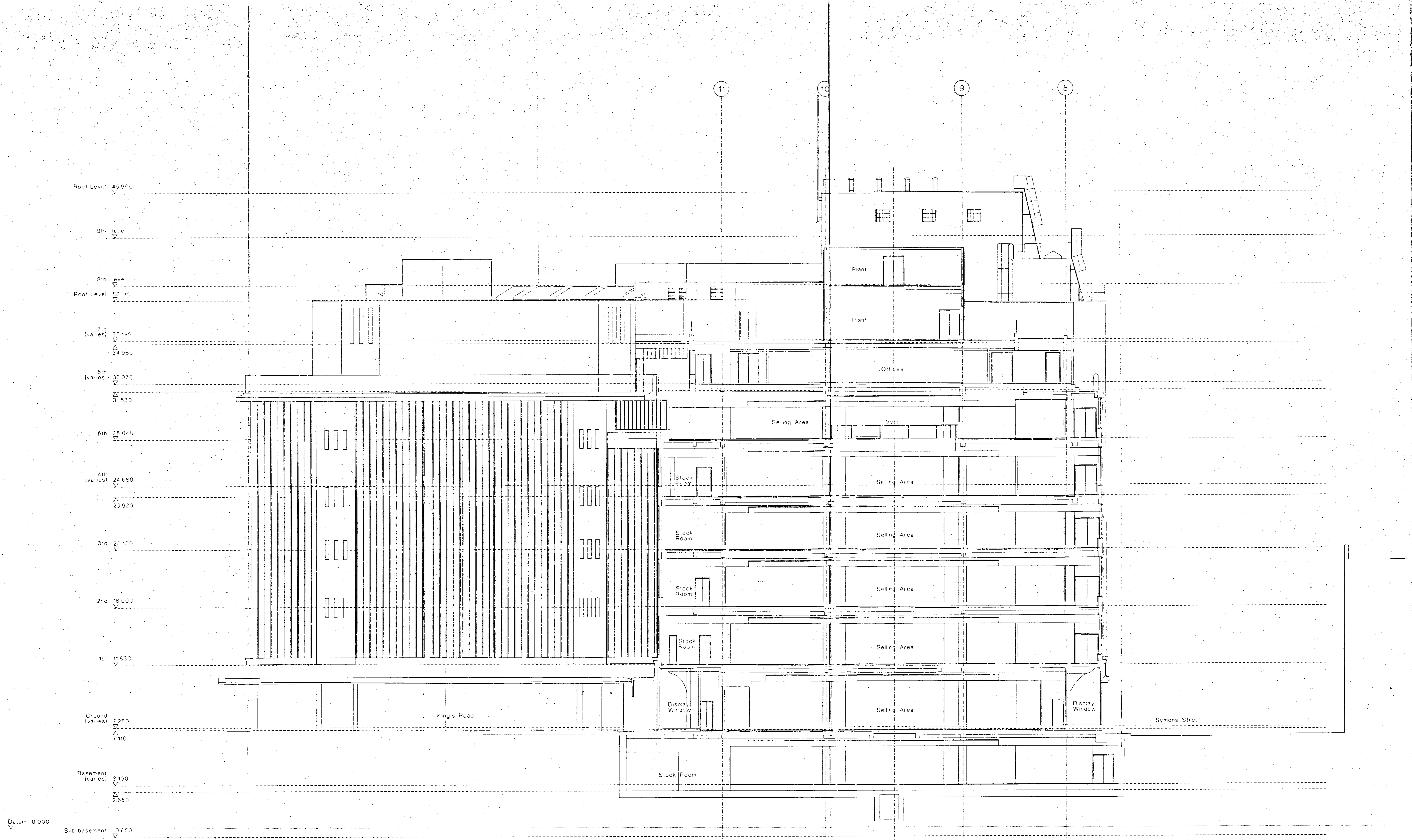
TP981099



Peter Jones Refurbishment		John McAtlan & Partners	
Symons Street Building Partial Section and Elevation		202 Kensington Church Street London W8 4DP	
scale 1:50 at A0	job no. 717	telephone 44 (0) 202 732 2665	
date April 98	drawn by RW	fax 44 (0) 202 731 8835	
drawing status Listed Building	checked by MS	email jmc@architectural.pj.com	
drawing no. LL-151	revision 00		

Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to J.M.P. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

Revisions				Drawn	Check
Rev	Date	Description		RvR	MS
00	22.05.98	Application for Listed Building Consent			

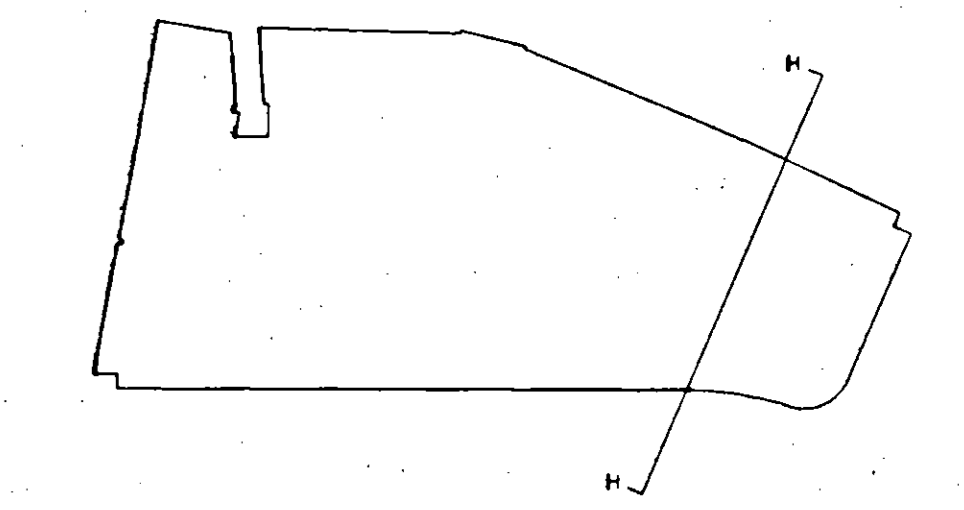


Contextual building profiles indicative

Datum 0.000

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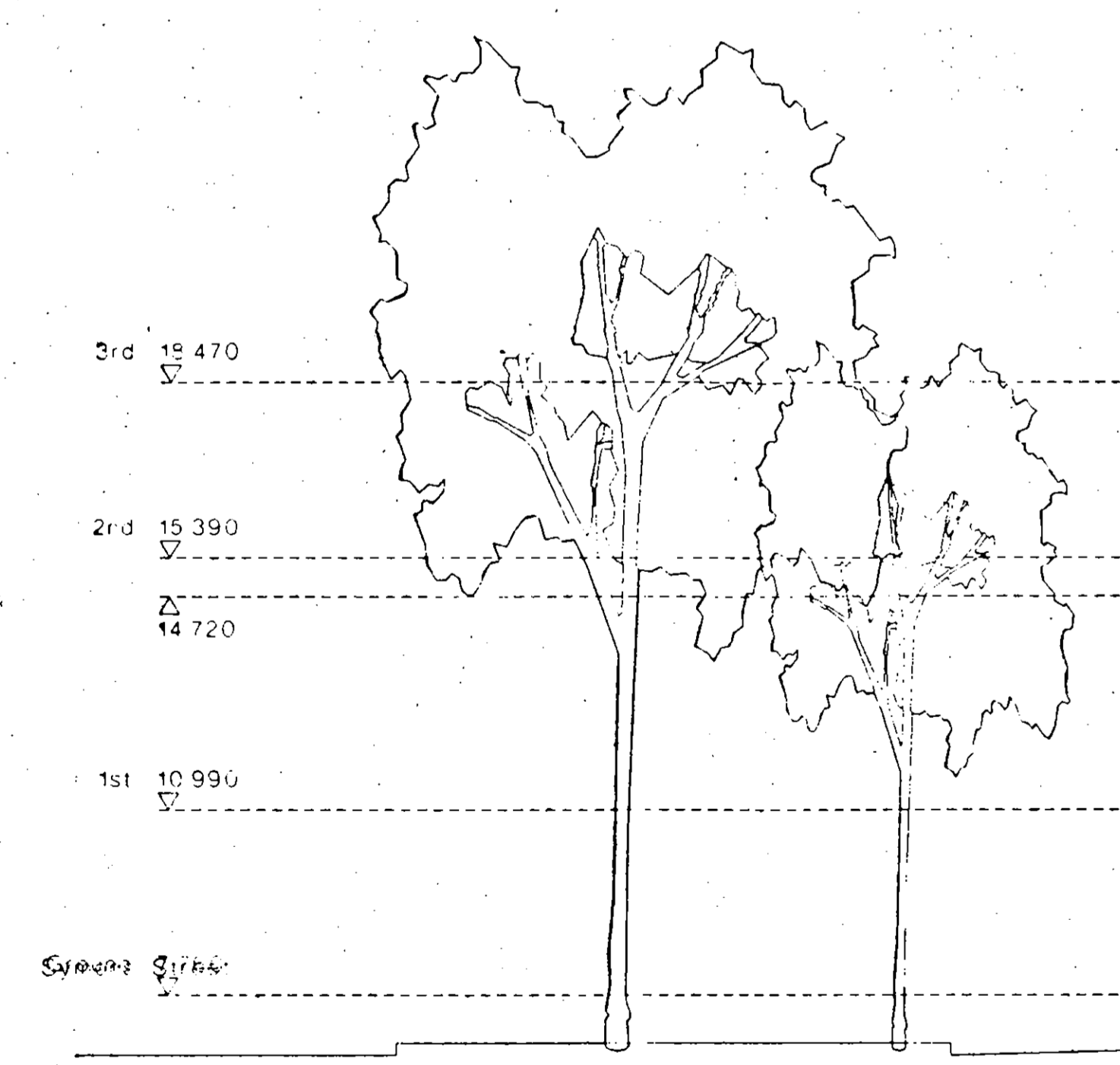
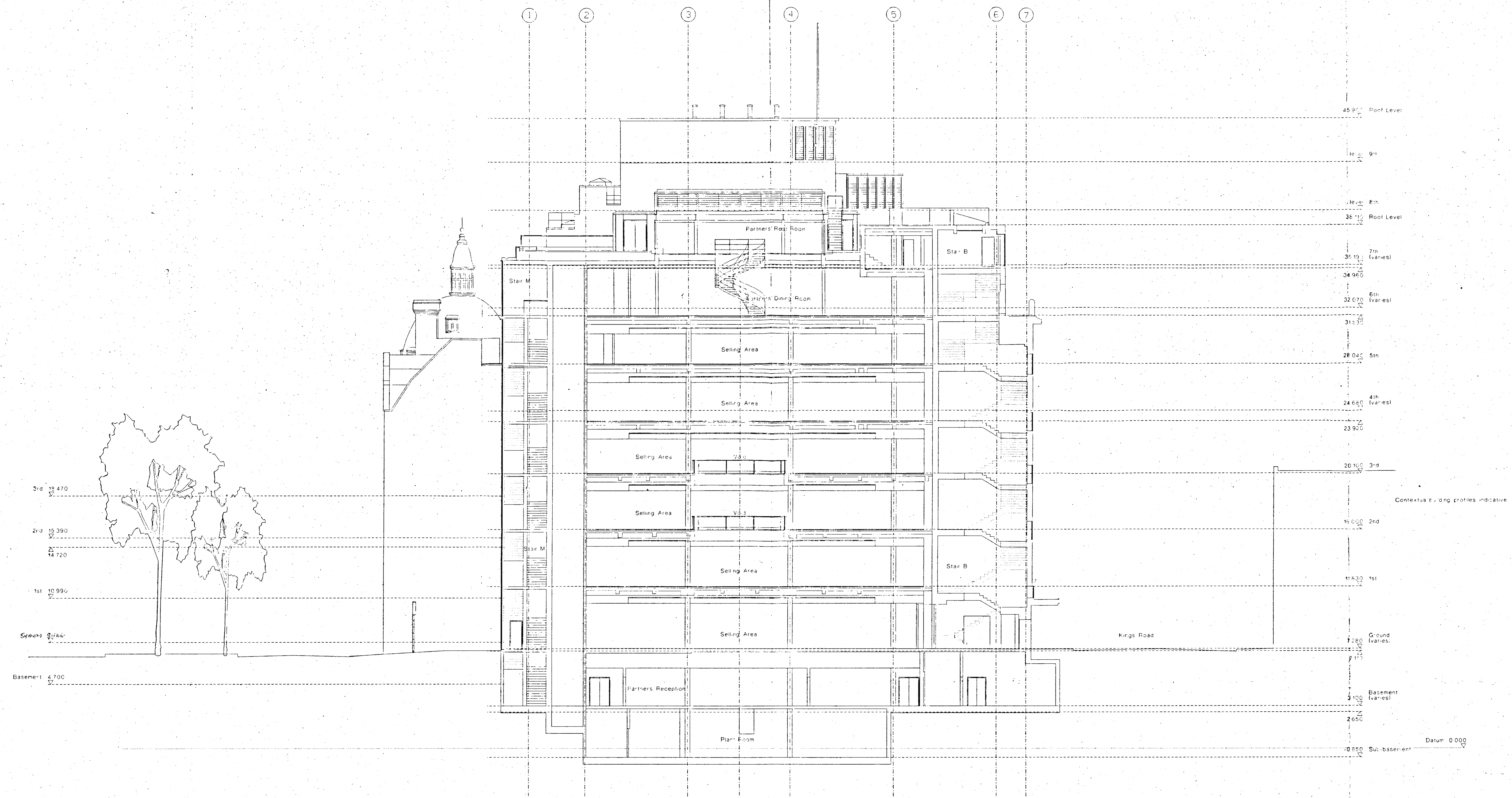
SUPERSEDED

Peter Jones Refurbishment		John McAuliffe & Partners	
Section H-H		202 Kensington Church Street London W8 4DP	
scale 1:100 at A0	job no 717	telephone 44 (0) 203 232 8563	
date January 98	drawn by GM/RW	fax 44 (0) 203 232 8835	
drawing status Listed Building	checked by MS	email jma@architectural.com	
drawing no. LL-148	revision 00		

Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JMD. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

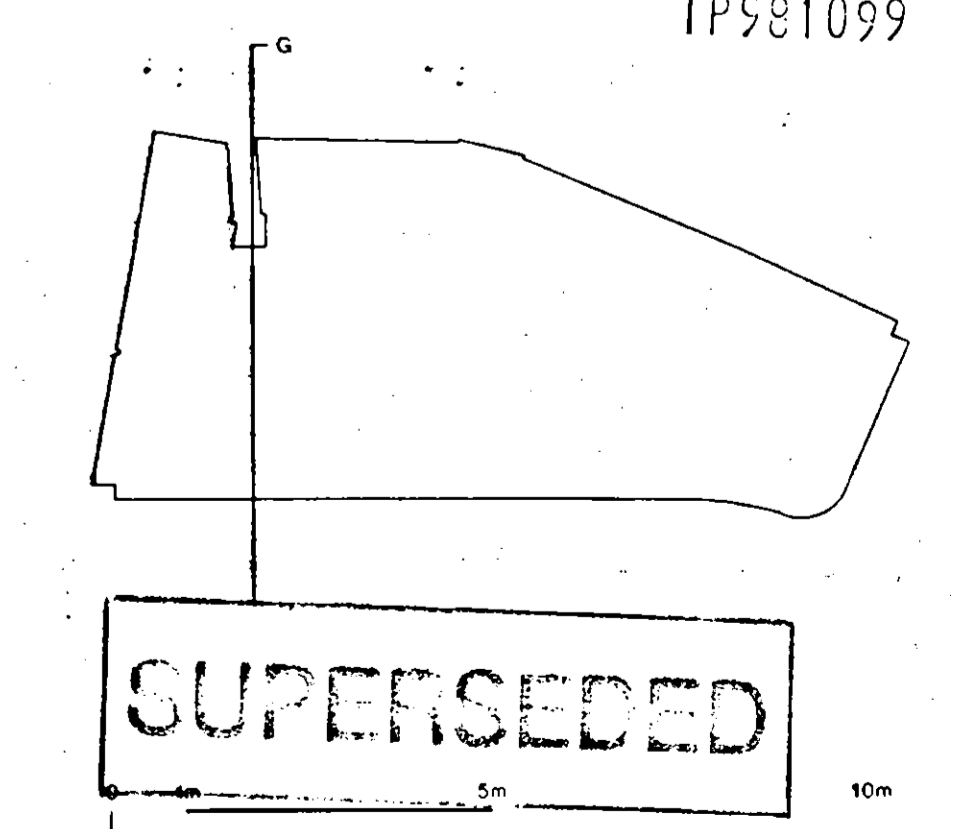
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Rev	Date	Description	Drawn	Check
00	22.05.98	Application for Listed Building Consent	RVR	MS



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2 JUN 1998

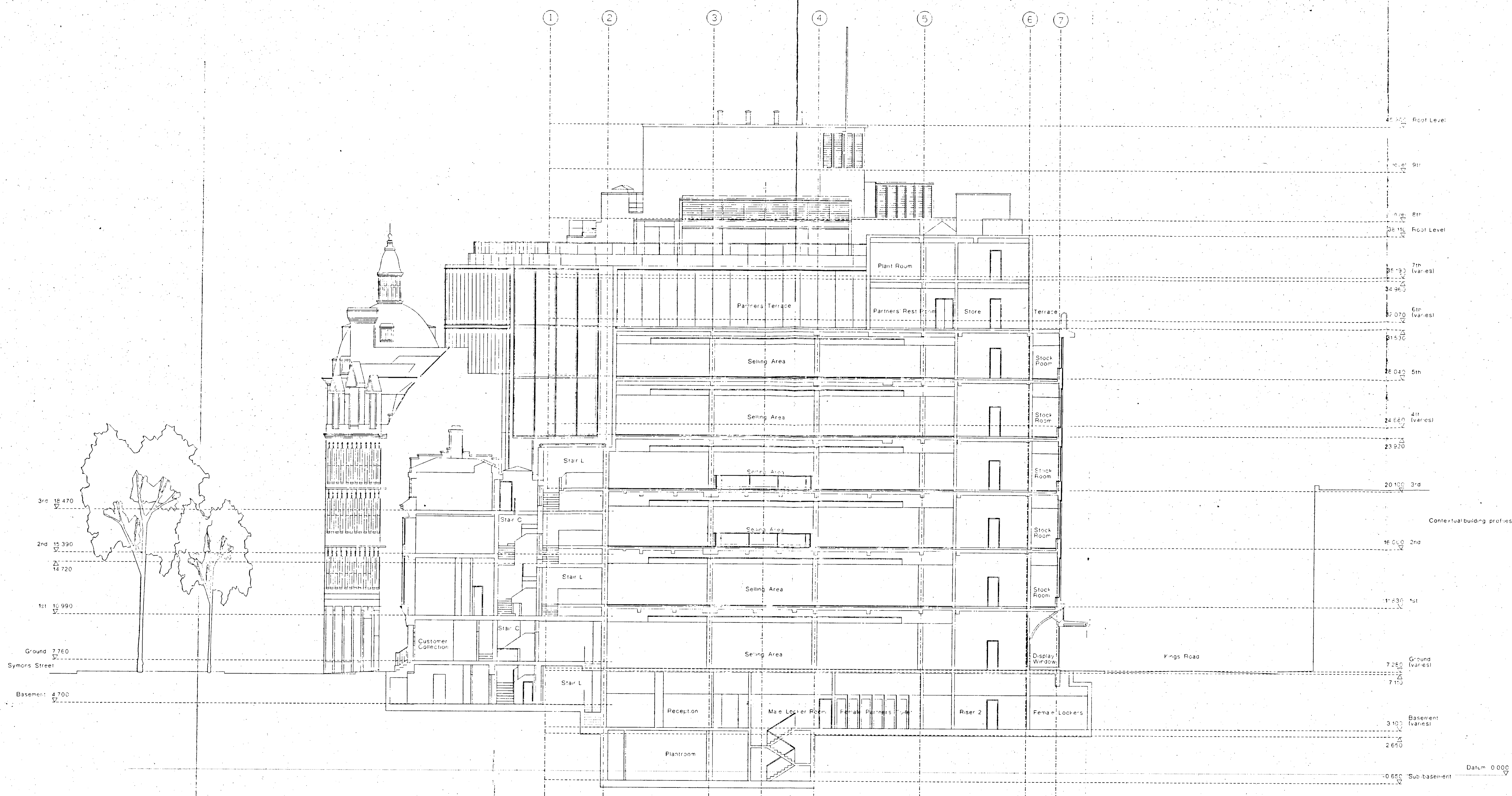
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Peter Jones Refurbishment		John McAtan & Partners	
Section G-G		300 Kensington Church Street London W8 4DP	
scale 1:100 at A0	job no. 717	telephone 44 (0) 20 727 2563	
date January 98	drawn by GM/RW	fax 44 (0) 20 222 8835	
drawing status Listed Building	checked by MS	email jmc@architects@diapipes.com	
drawing no. LL-147	revision 00		

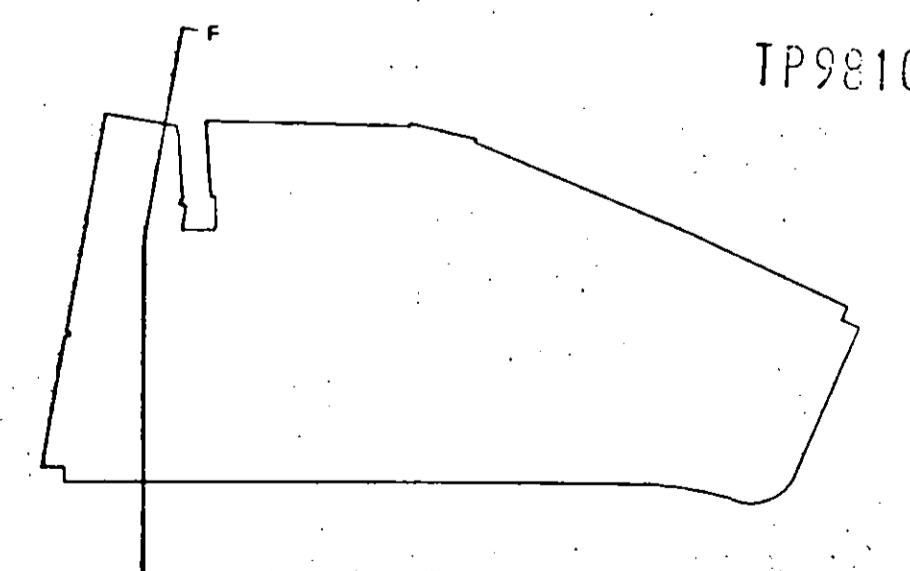
Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JMP. All dimensions are in millimetres unless noted otherwise. If in doubt, ask the Contract Administrator.

Rev	Date	Description	Drawn	Check
00	22.05.98	Application for Listed Building Consent	RvR	MS



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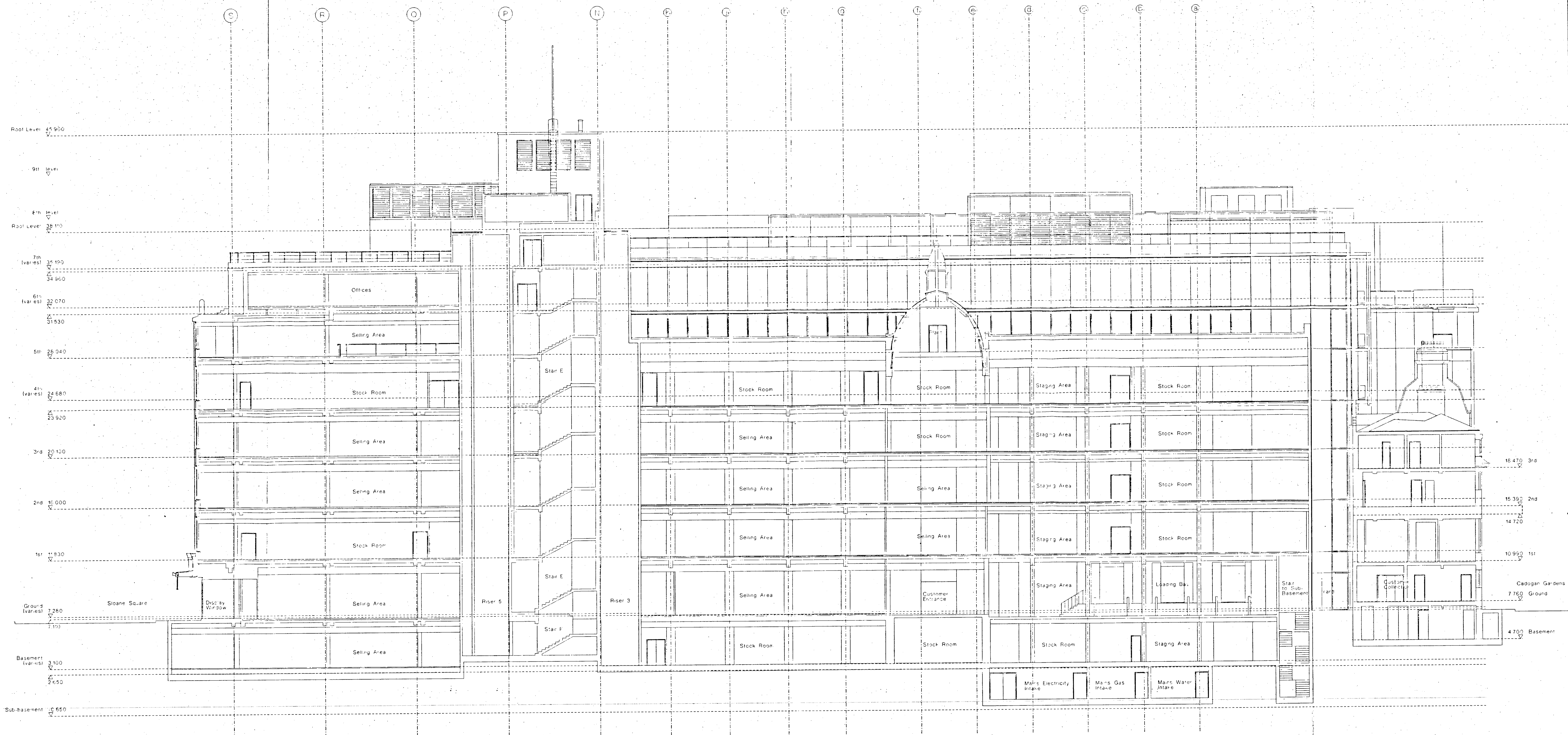


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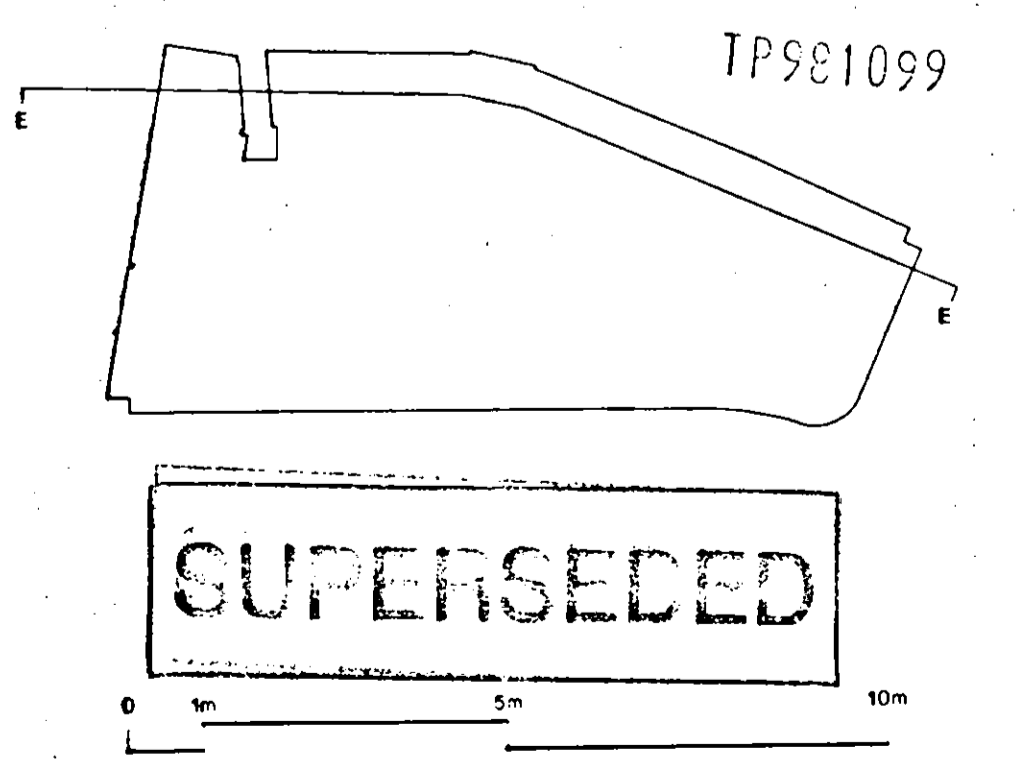
Peter Jones Refurbishment		John McAulan & Partners	
Section F-F		200 Kensington Church Street London W8 4DP	
scale 1:100 at A0	job no 717	date January 98	drawn by GM/RW
drawing status Listed Building	checked by MS	telephone 44 (0) 20 722 2563	fax 44 (0) 20 722 2815
drawing no LL-146	revision 00	email jma@architecturalpipes.com	

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Revisions		Drawn	Check
Rev	Date	Description	RVR
00	22.05.98	Application for Listed Building Consent	MS



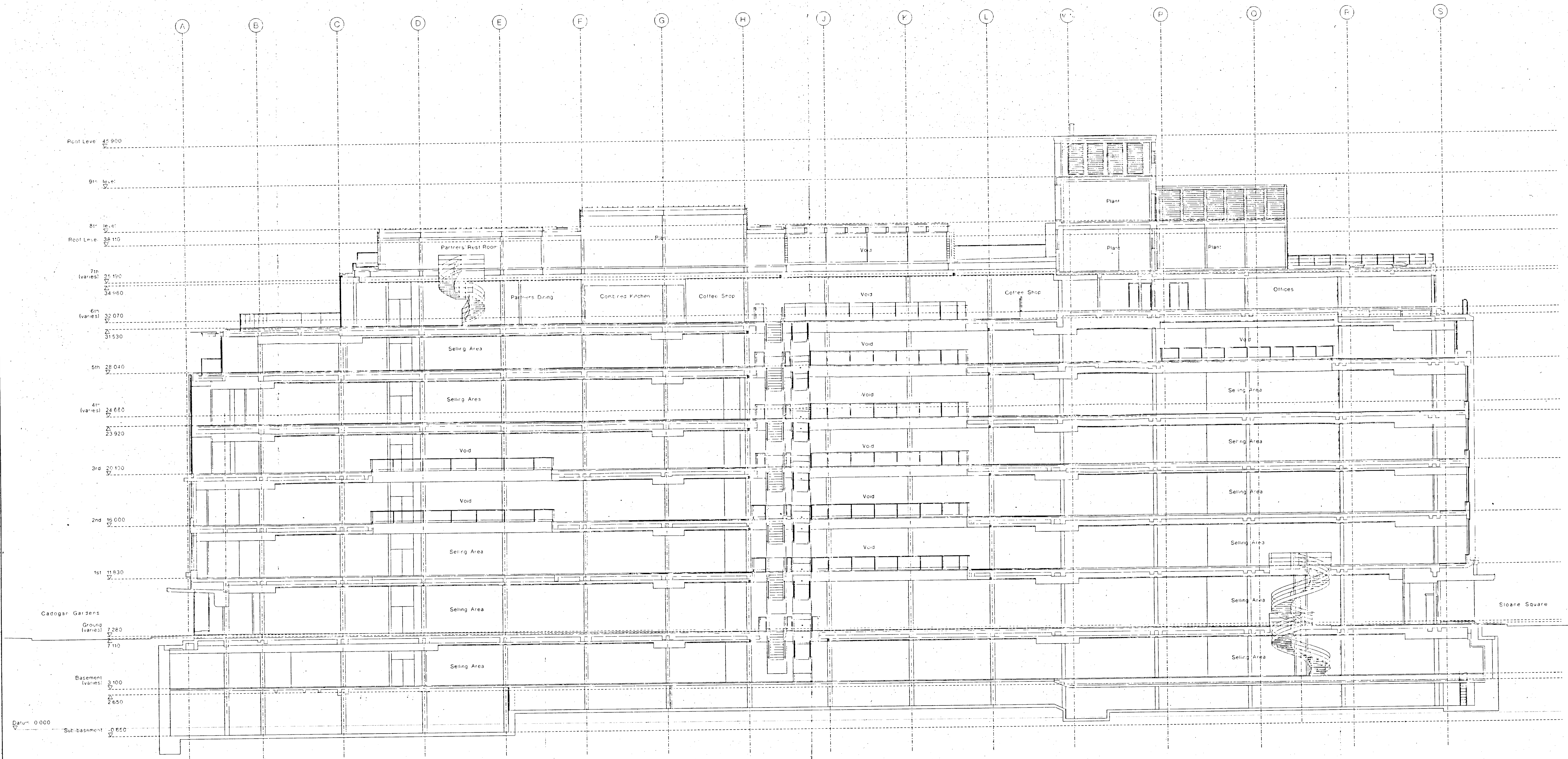
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APPROVED



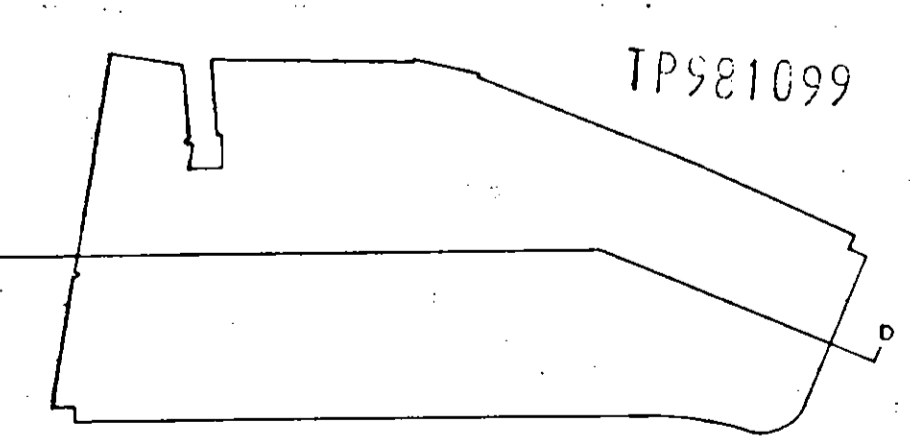
Peter Jones Refurbishment		John McAlan & Partners	
Section E-E		201 Eslington Church Street Leeds LS3 4DP	
scale 1:100 at A0	job no 717	date January 98	drawn by GM/RW
drawing status Listed Building	checked by MS	telephone 44 (0) 113 232 3463	fax 44 (0) 113 232 3465
drawing no. LL-145	revision 00	email jma@mcalan.com	

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Revisions	Rev	Date	Description	Drawn	Check
	00	22.05.98	Application for Listed Building Consent	RVR	MS



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- 2 JUN 1998
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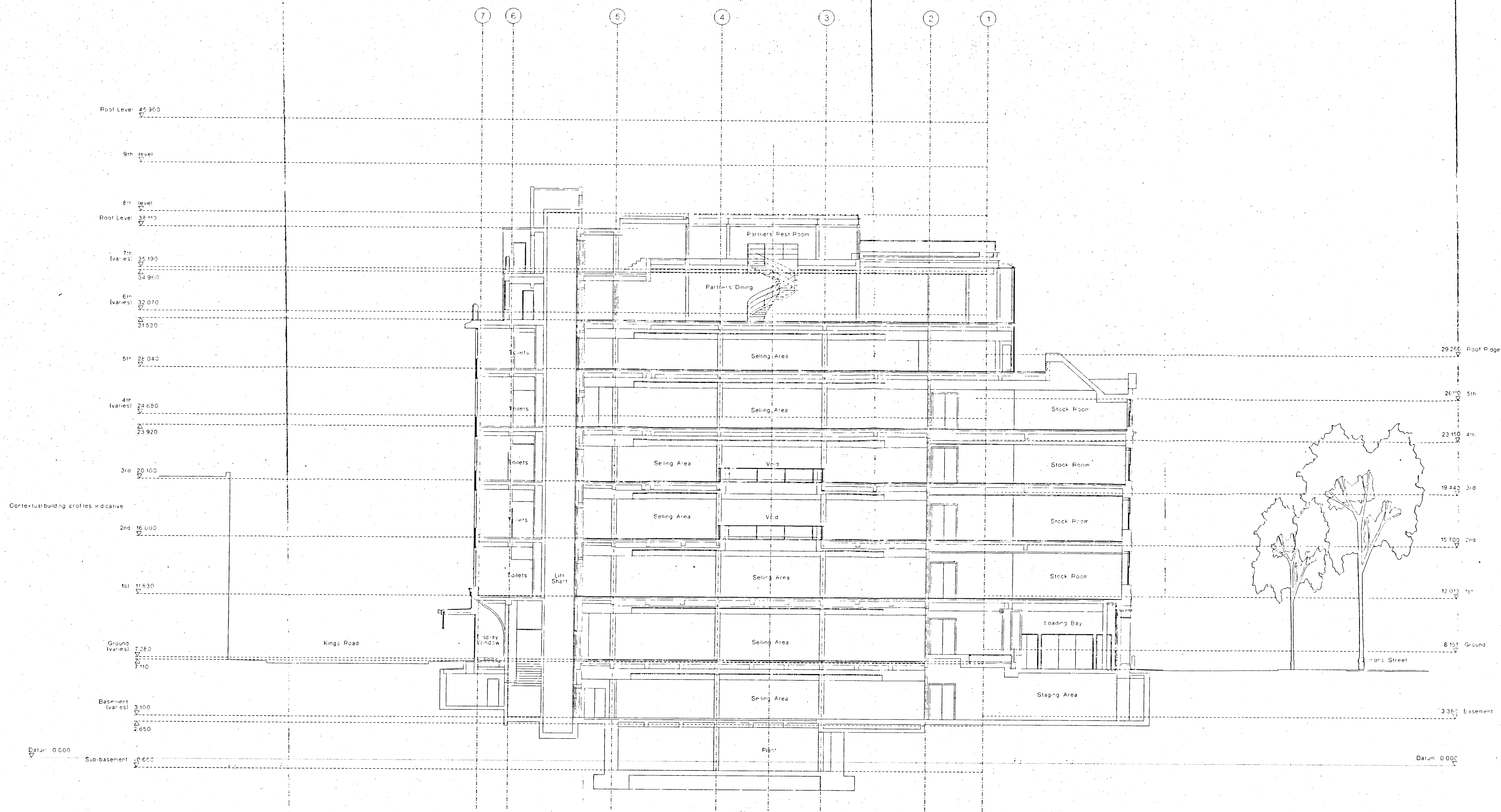


SUPERSEDED

Peter Jones Refurbishment		John Mackenzie & Partners	
Section D-D		303 Kensington Church Street London W8 4JW	
scale 1:100 at A0	job no 717	telephone 44 (0) 202 232 8865	
date January 98	drawn by GM/RVR	fax 44 (0) 202 232 8835	
drawing status Listed Building	checked by MS	email j.mackenzie@dal.pjpr.com	
drawing no. LL-144	revision 00		

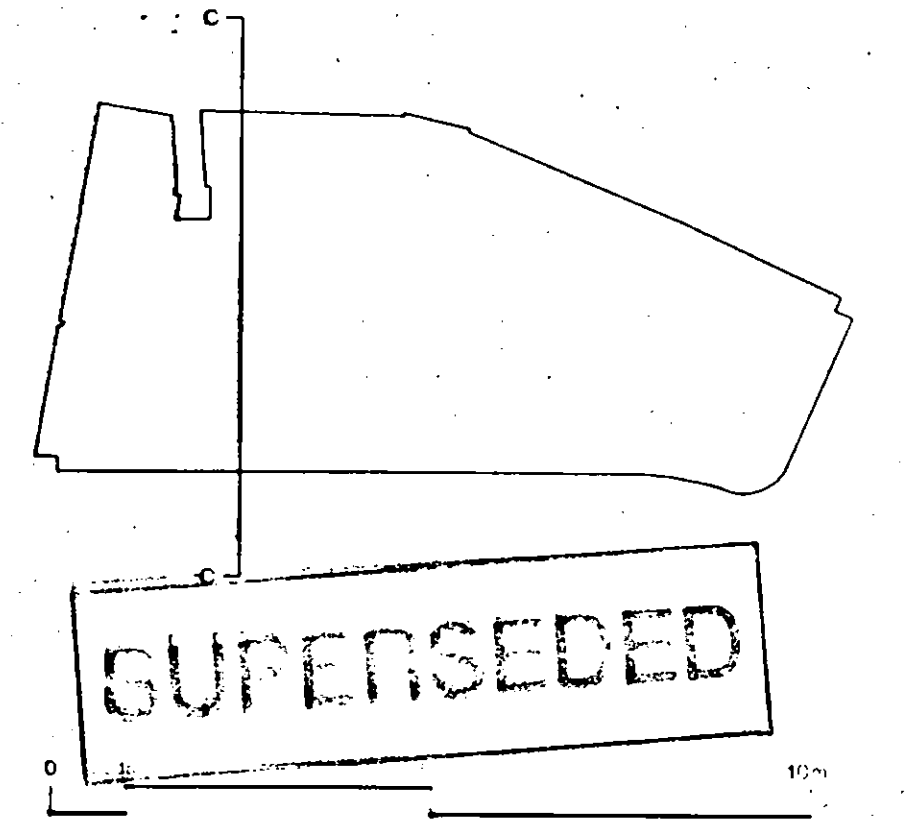
Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JWP. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

Revisions			
Rev	Date	Description	Drawn / Check
00	22.05.98	Application for Listed Building Consent	RVR / MS



REVISIONS
TOWN PLANNING
2 JUN 1999
REVISION

TP981099

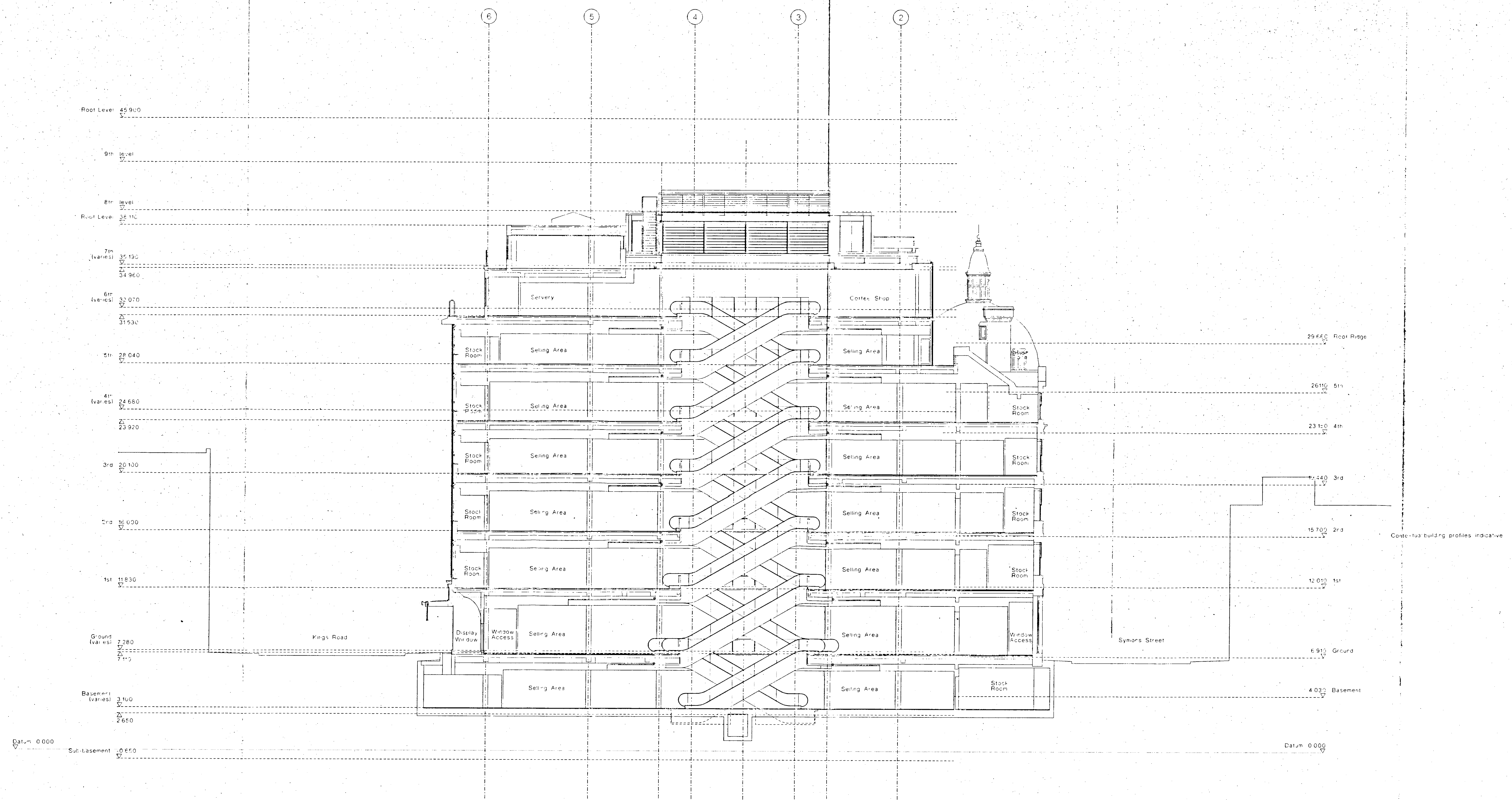


Peter Jones Refurbishment		John McAleen & Partners	
Section C-C		222 Kensington Church Street London W8 4PP	
scale 1:100 at A0	job no 717	date January 98	drawn by GM/RVR
drawn by John McAleen	checked by MS	telephone 44 (0) 20 727 2561	fax 44 (0) 20 727 2562
drawing no LL-143	revision 00	email jma@mcamp@aol.com	

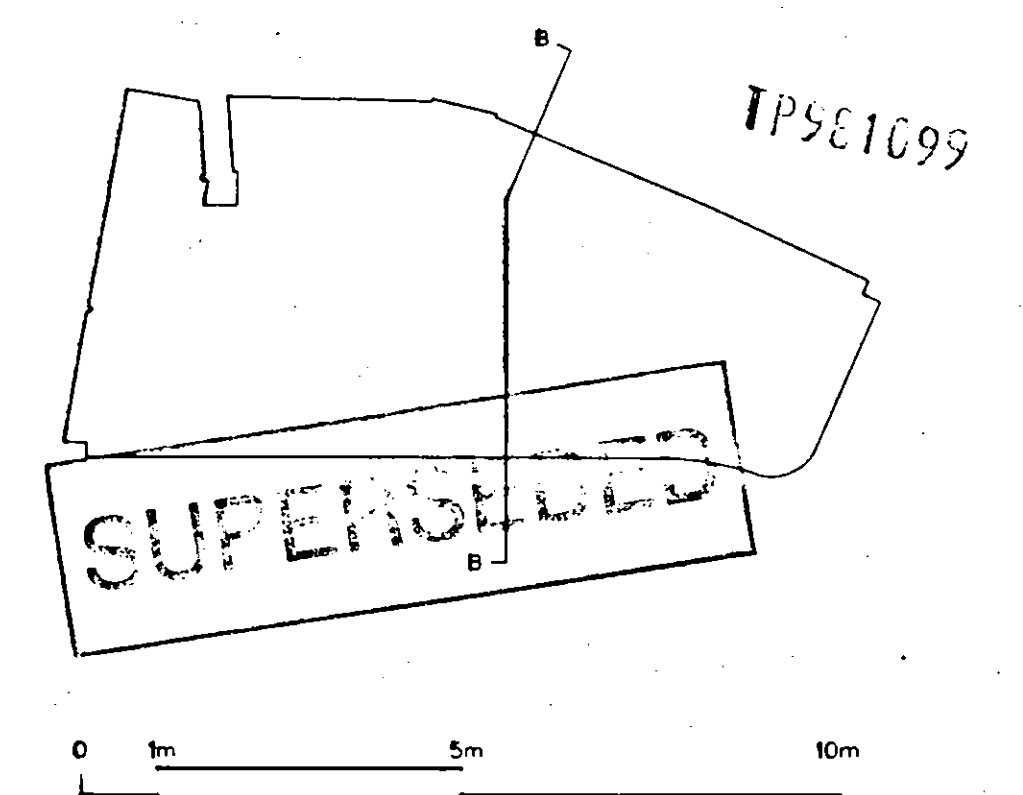
Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JMP. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

Revisions

Rev	Date	Description	Drawn	Check
00	22.05.98	Application for Listed Building Consent	RvR	MS



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- 2 JUN 1998
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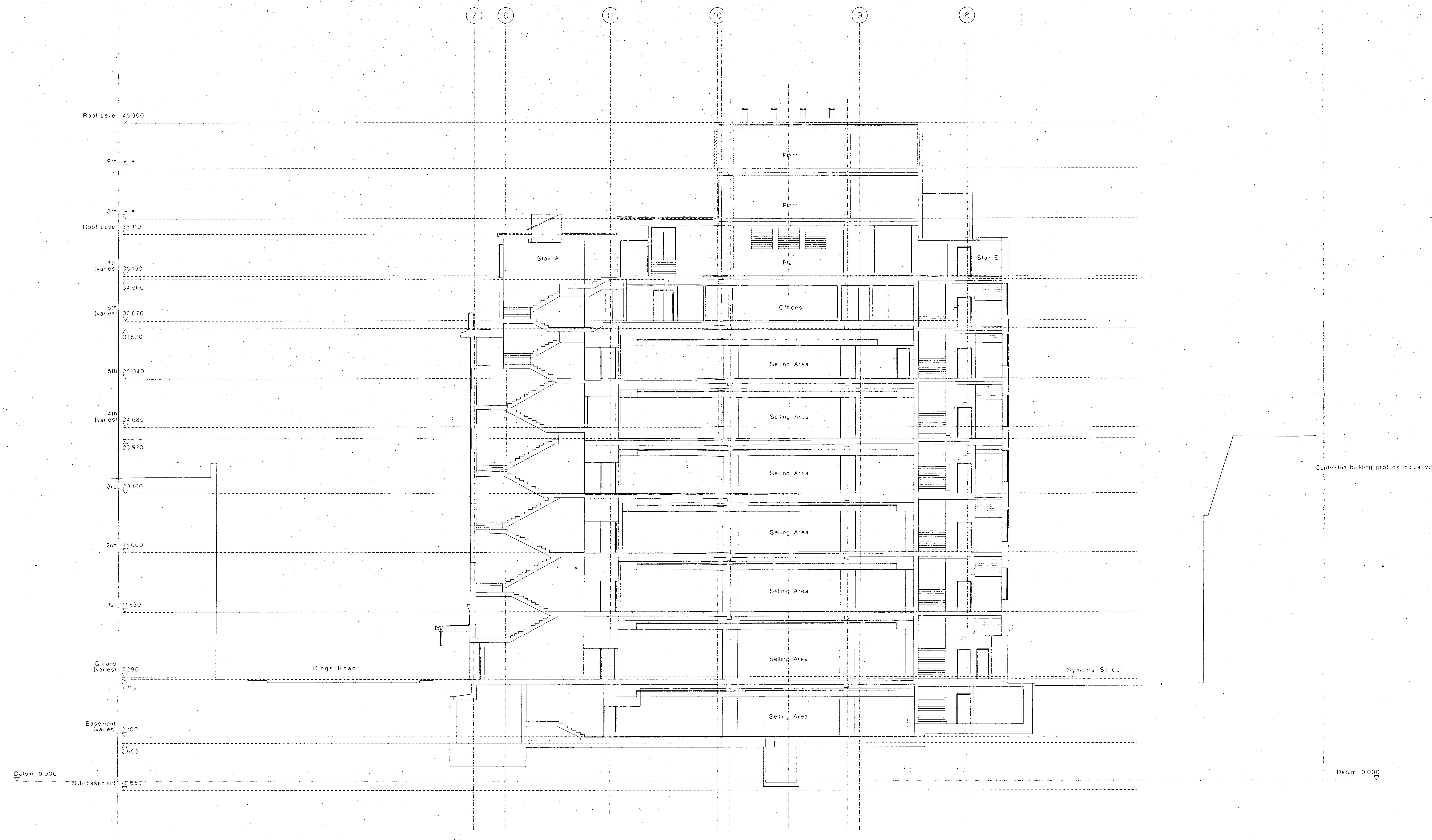


Peter Jones Refurbishment
Section B-B

scale 1:100 at A0	job no 717	John McAlan & Partners
date October 97	drawn by RvR/GM	303 Kensington Church Street London W8 4DP
drawing status Listed Building	checked by MS	telephone 44 (0) 772 221 566
drawing no. LL-142	revision 00	fax 44 (0) 772 221 8835
		email jmc@peterjones.com

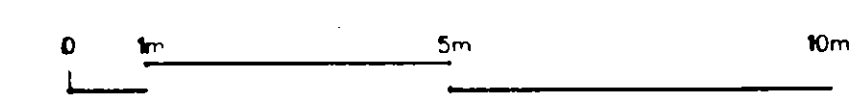
Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JWP. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

Revisions				Drawn	Check
Rev	Date	Description		RvR	MS
00	22.05.98	Application for Listed Building Consent			

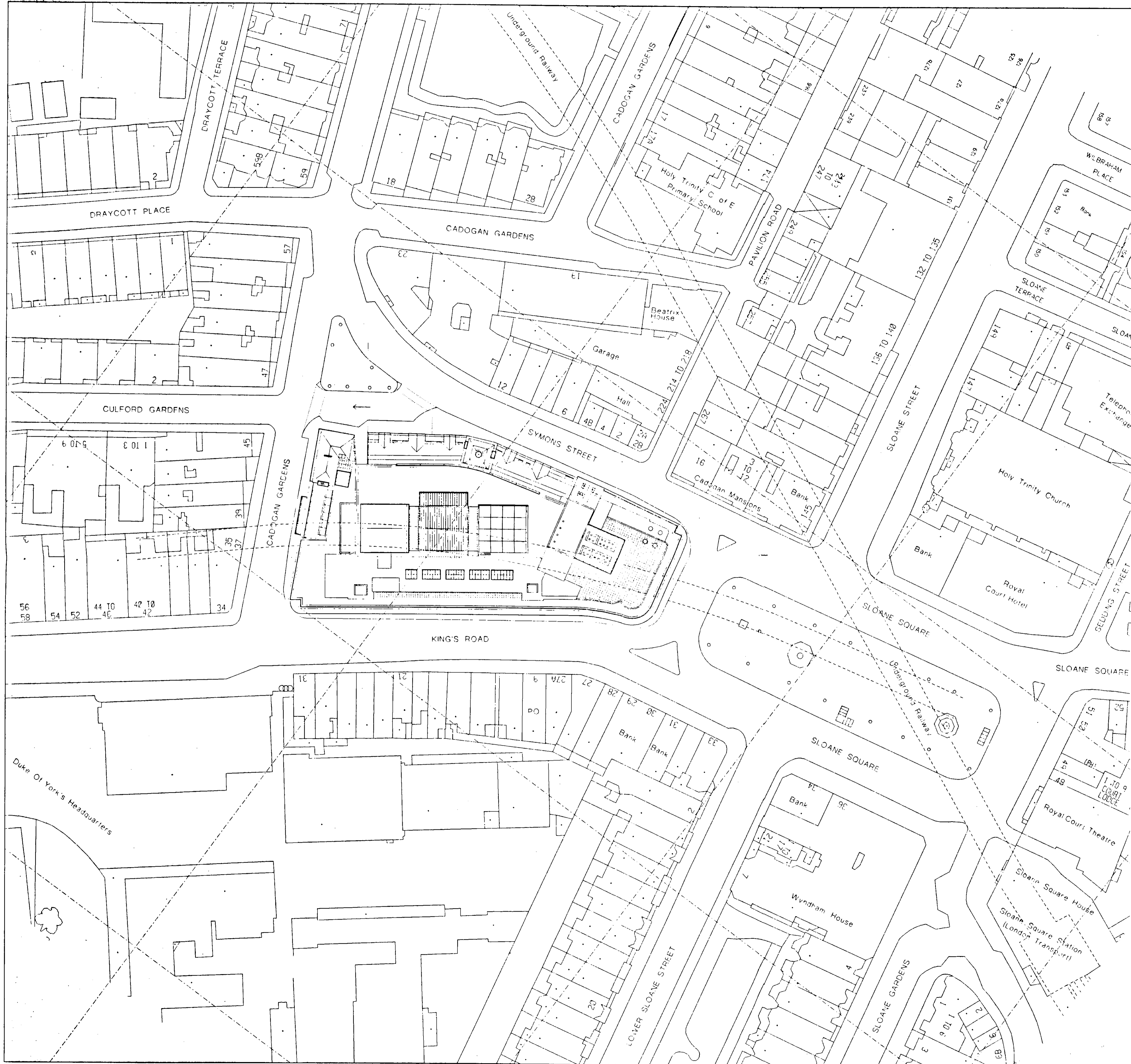


R.D.P.C. TOWN PLANNING
-2 JUN 1998
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~~SUPERSEDED~~ TP9L1099



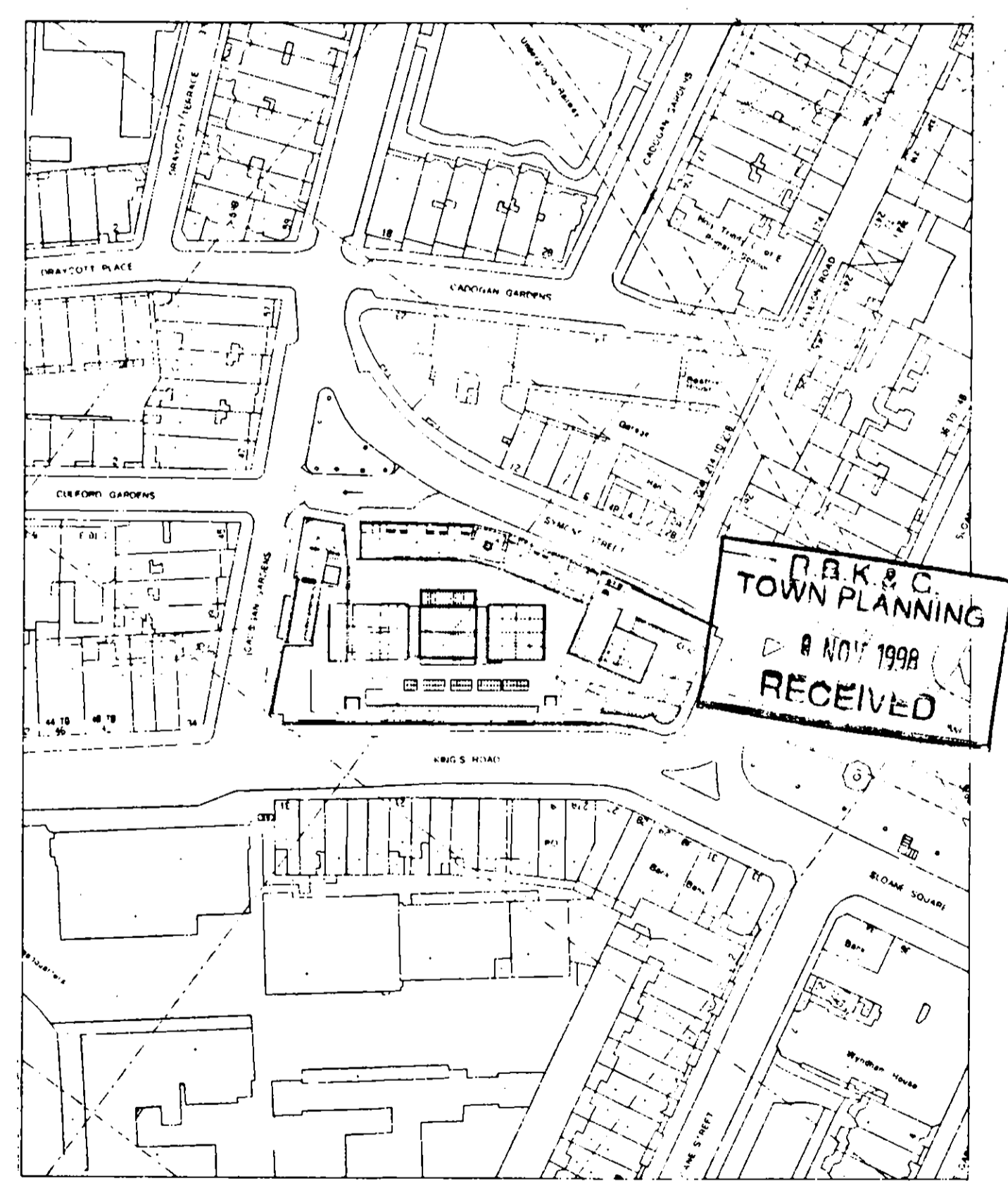
Peter Jones Refurbishment		John McArdle & Partners	
Section A-A		302 Kensington Church Street London W8 4JP	
scale 1:100 at A0	job no 717	telephone 44 (0) 207 727 3663	
date January 98	drawn by RvR/GM	fax 44 (0) 207 331 8835	
drawing status Listed Building	checked by MS	email jma@mcald.com	
drawing no LL-141	revision 00		



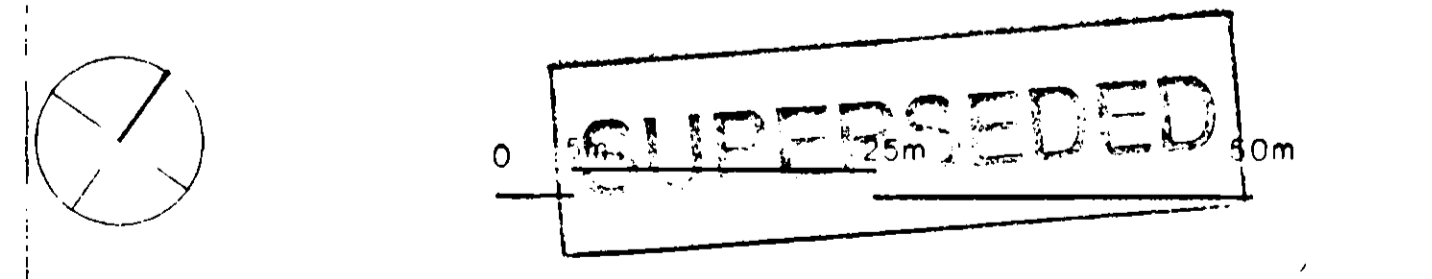
Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to JMP. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Administrator.

Rev	Date	Description	Drawn	Check
00	22.05.98	Application for Planning Permission	RvR	MS
01	06.11.98	General Revisions	RvR	MS

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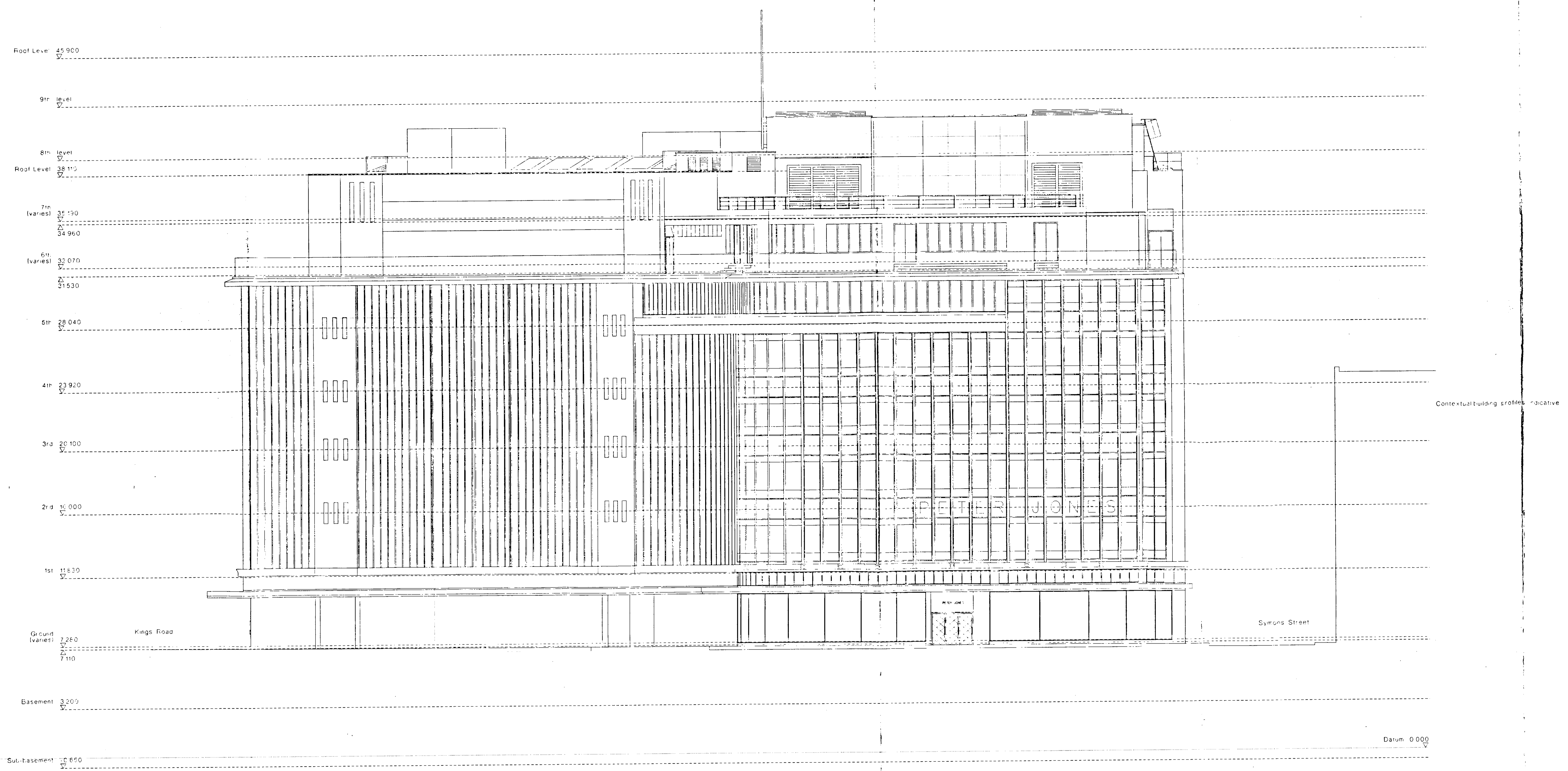
Location Plan - Proposed 1:1250



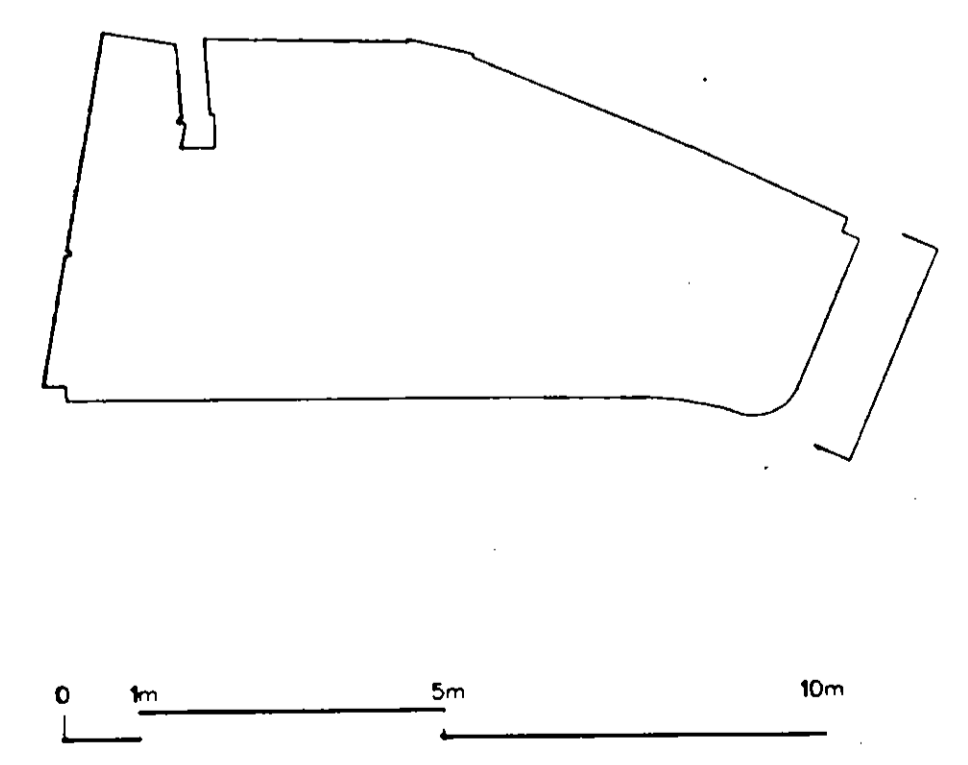
Peter Jones Refurbishment		John McAslan & Partners	
Site Plan			
scale 1:500 at A1	job no 717		
date October 97	drawn by RW		
drawing status Planning	checked by MS	telephone 44 (0) 171 727 2663	
drawing no PL-100	revision 01	fax 44 (0) 171 221 8835	
		email jmac@tccs@tial.pjpr.com	

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Rev	Date	Description	Drawn	Check
00	22.05.98	Application for Planning Permission	RW	MS
01	06.11.98	General Revisions	RW	MS
02	18.12.98	Revisions to Sloane Square end plant rooms	RvR	RW/SL



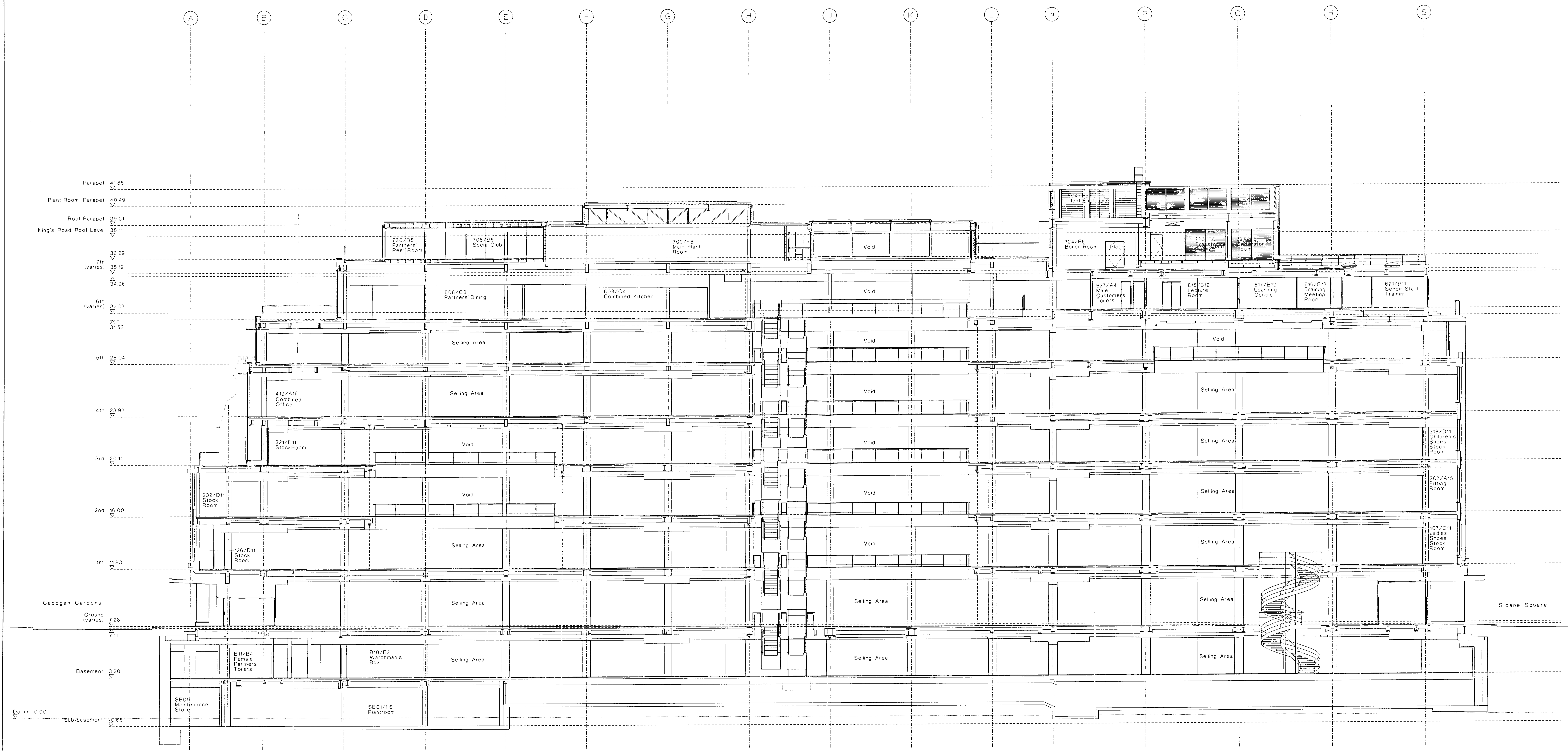
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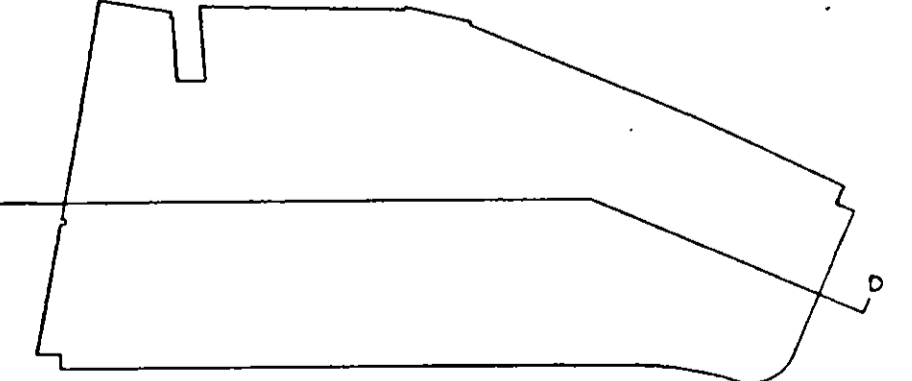
Peter Jones Refurbishment		John McKisak & Partners	
East Elevation - Sloane Square		203 Kensington Church Street London W8 4PP	
scale 1:100 at A0	job no 717	telephone 44 (0) 207 272 2563	fax 44 (0) 207 272 2835
date October 97	drawn by GM	email j.mckisak@johnmckisak.com	
drawing status Planning	checked by MS		
drawing no PL-161	revision 02		

Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to the Architect and Contract Manager. All dimensions are in millimetres unless noted otherwise. If in doubt, ask the Contract Manager.

Revisions		Drawn	Check
Rev.	Date	RVR	MS
00	22.10.98	RVR	MS
01	05.11.98	RVR	MS
02	18.2.98	RVR	RW/SL
03	24.03.00	GM	RW/SL



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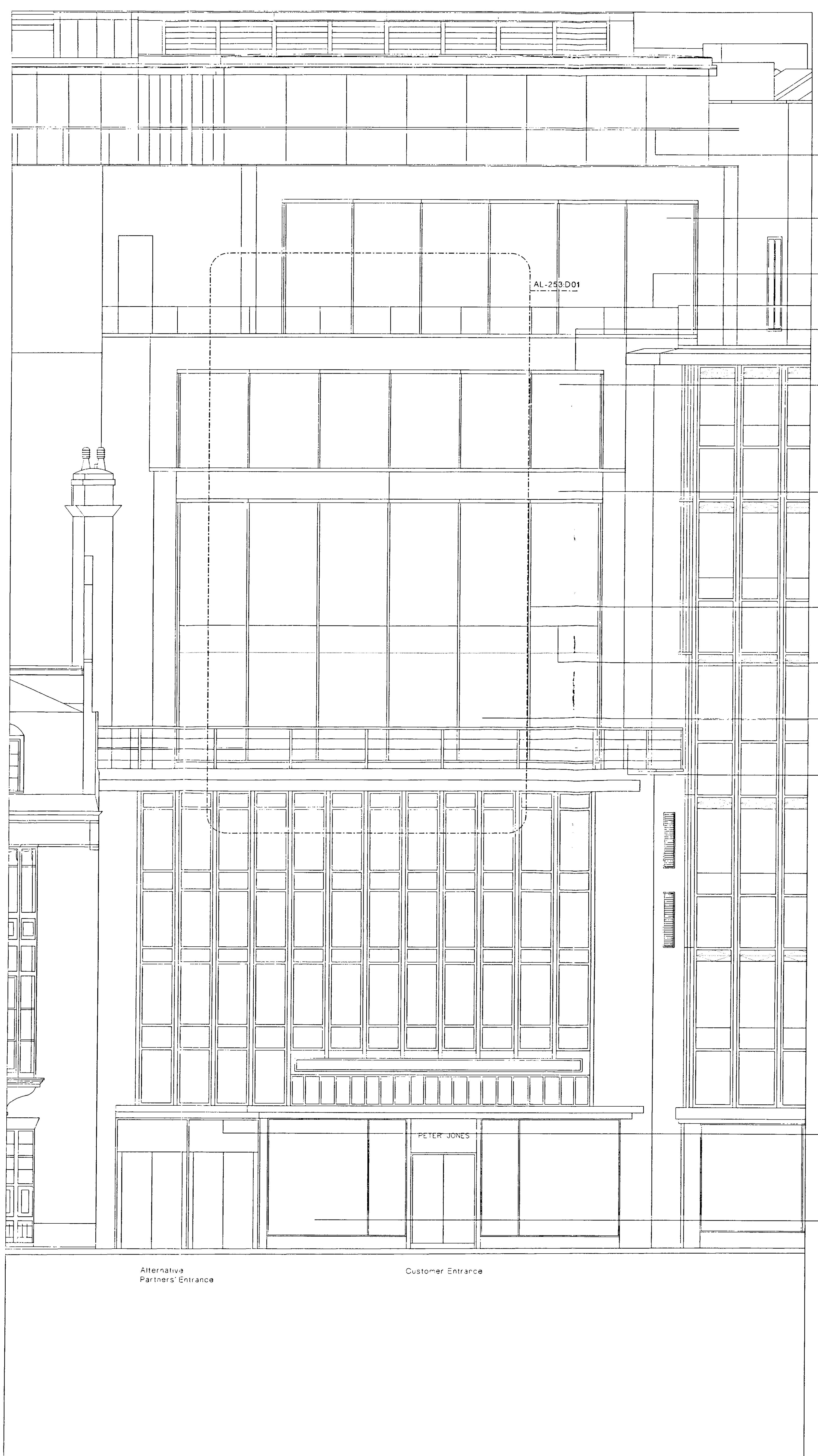
NOT FOR CONSTRUCTION

Peter Jones Refurbishment		John McAuliffe & Partners	
Section D-D		203 Kilmington Church Street London W8 4DP	
scale 1:100 at A0e	job no. 717	drawn by GJ/SL	telephone 44 (0) 207 232 2663
date January 98	checked by [Signature]	checked by [Signature]	fax 44 (0) 207 232 8835
drawing is also Listed Building	revision 03	email jma@mcamp.com	
drawing no. LL-144			

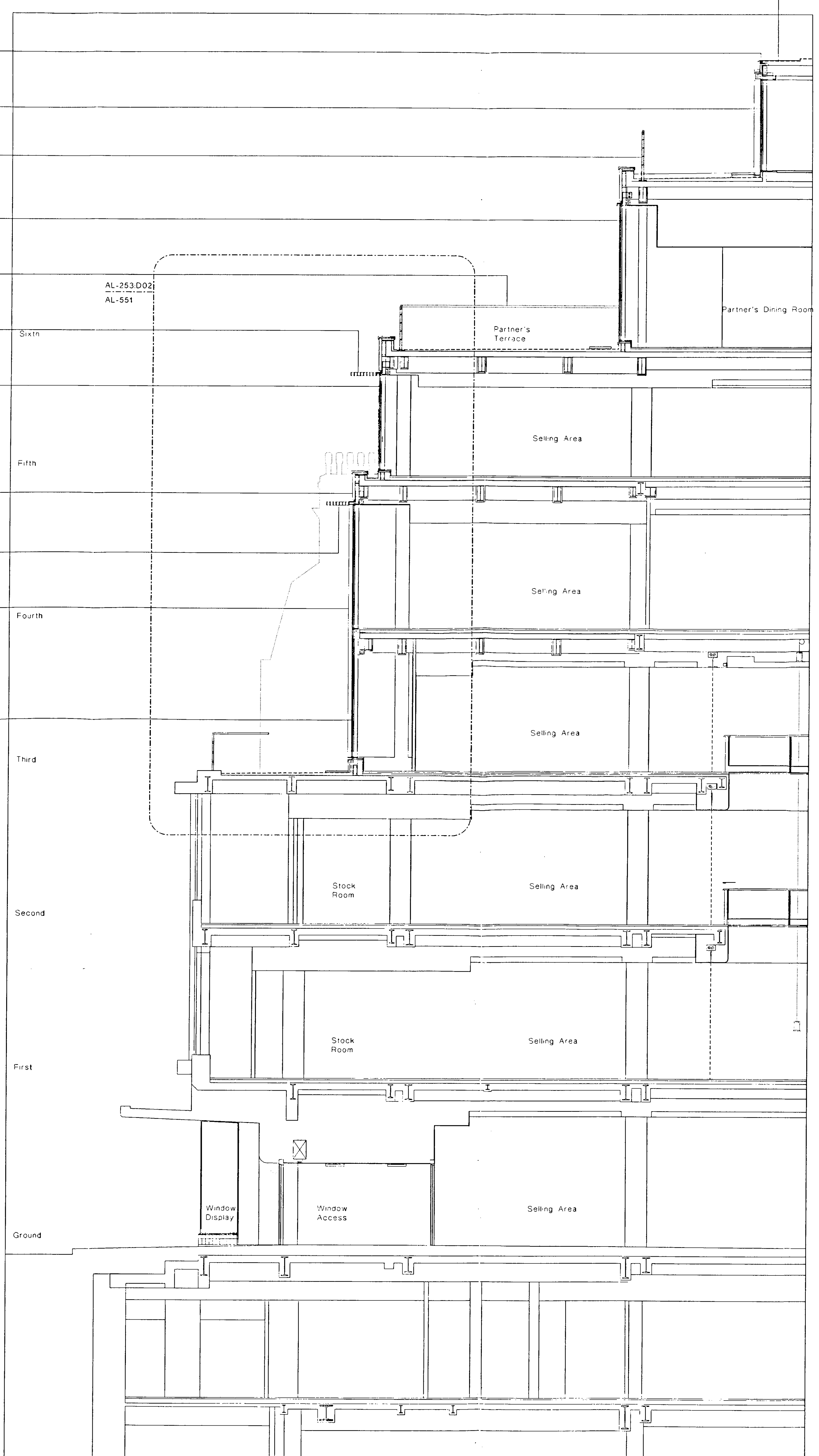
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Revisions				Draw	Check
Rev.	Date	Description		RW	MS
00	22.05.98	Application for Listed Building Consent		RW	MS
01	06.11.98	General Revisions		RW	MS
02	24.03.00	Extension above prototype building revised		GM	RW/SL

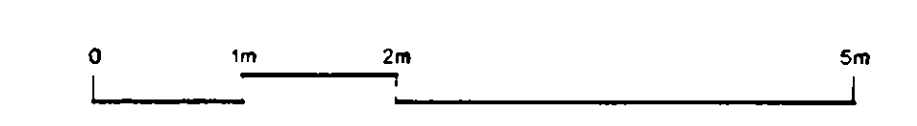
- Key:
- 01 Cladding
 - 02 Painted render
 - 03 Prefinished insulated dry render panel
 - External Metalwork
 - 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium parapet panel
 - 09 Anodised aluminium
 - 10 Anodised aluminium louvre panel
 - 11 Painted galvanised steel
 - 12 Stainless steel handrail
 - 13 Painted galvanised steel balustrade
 - Clazing
 - 15 Clear double glazed unit
 - 16 Solar coated clear double glazed unit
 - 17 Translucent double glazed unit
 - 18 Opaque double glazed unit
 - 19 Opaque fritted zone within double glazed unit
 - 20 Clear double glazed unit with interstitial blinds
 - 21 Clear toughened glass
 - 22 Clear Laminated Glass
 - 23 Translucent Laminated Glass
 - 24 Flush silicone joint
 - 25 Anodised aluminium mullion section
 - 26 Galvanised steel glazing section
 - 27 Fixed open galvanised steel framed unit
 - 28 Stainless steel bolted glass fixing
 - 29 Framed glare control screen
 - 30 Coated glassfibre glare control blind
 - Roofing
 - 35 Aluminium standing seam roofing system
 - 36 Galvanised steel access walkway
 - 37 Galvanised steel stair
 - 38 Precast concrete paviours
 - 39 Precast concrete coping
 - 40 Pebble infill
 - 41 Maintenance cradle
 - 42 Maintenance cradle track
 - 43 Exposed membrane
 - 44 Bitumin Sheeting
 - Internal Finishes
 - 45 Glassfibre reinforced gypsum bulkhead and soffit
 - 46 Gypsum board drylining
 - 47 Painted plaster finish
 - 48 Powder coated steel tile with circular perforations
 - 49 Powder coated aluminium ceiling suspension rail
 - 50 Indicative shop fitting
 - 51 Shadow gap
 - Internal Metalwork
 - 55 Painted mild steel
 - 56 Clear toughened glass
 - 57 Stainless steel cladding panel
 - 58 Silver bronze finished handrail
 - 59 Powder coated aluminium louvre panel
 - Services
 - 65 Flush recessed downlight
 - 66 Linear backlight
 - 67 Galvanised steel louvre air intake grille
 - 68 Anodised aluminium air intake grille
 - 69 Anodised aluminium automated air make-up dampers
 - 70 Powder coated aluminium linear air supply diffuser
 - 71 Anodised aluminium linear slot air diffuser
 - 72 Anodised aluminium trench heater grille
 - 73 Sprinkler head
 - 74 Coated glassfibre smoke control curtain
 - 75 Boiler flue
 - 76 Filter unit
 - 77 Air handling unit
 - 78 Ductwork plenum
 - Streetscape
 - 81 High strength bonded opaque glass sliding door
 - 82 Timber facing panels on painted mild steel frame
 - 83 Flush recessed stainless steel fixings
 - 84 Galvanised steel track
 - 85 Yorkstone paviours
 - 86 Yorkstone style setts
 - 87 Granite kerb
 - 88 Precast concrete setts
 - 89 Stainless steel bollards
 - 90 Galvanised steel drainage channel
 - 91 Brickwork facing



D01 ELEVATION



D02 SECTION



REVISIONS
TOTAL DRAWING
34.03.00
PETER JONES

NOT FOR CONSTRUCTION

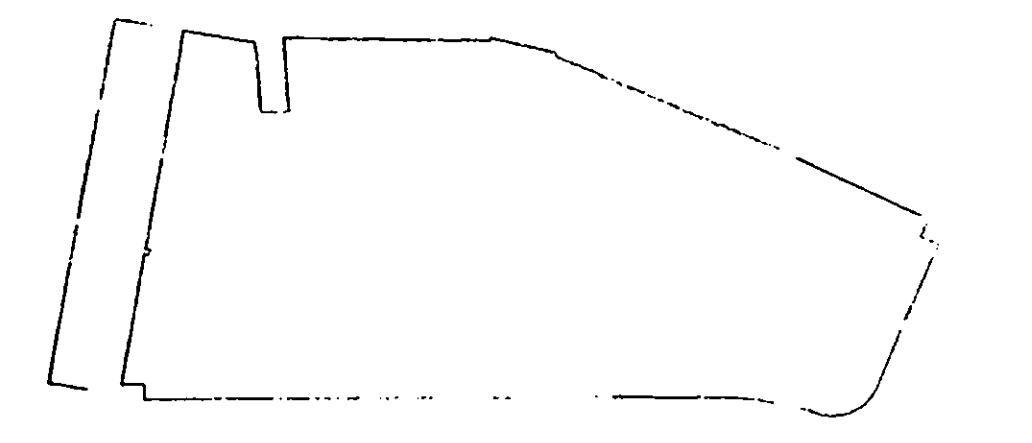
Peter Jones Refurbishment		John McAloon & Partners	
Cadoran Gardens Partial Section and Elevation		202 Kensington Church Street London W8 4DP	
scale 1:50 at A0	job no 717	date April 98	drawn by PJ
drawing status Listed Building	checked by PJ	telephone 44 (0) 772 2563	fax 44 (0) 7722 8855
drawing no. LL-153	revision 02	email jna@architects@peterjones.com	

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Revisions				
Rev	Date	Description	Drawn	Checked
00	22.05.98	Application for Listed Building Consent	RW	MS
01	05.11.98	General Revisions	RW	MS
02	18.12.98	Revisions to Sicane Square end plant room and ST/IT room	RW	RW/SL
03	24.03.01	Extension above prototype building revision	GM	RW/SL



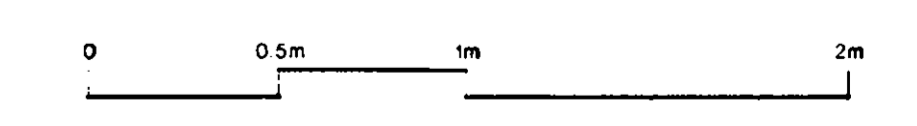
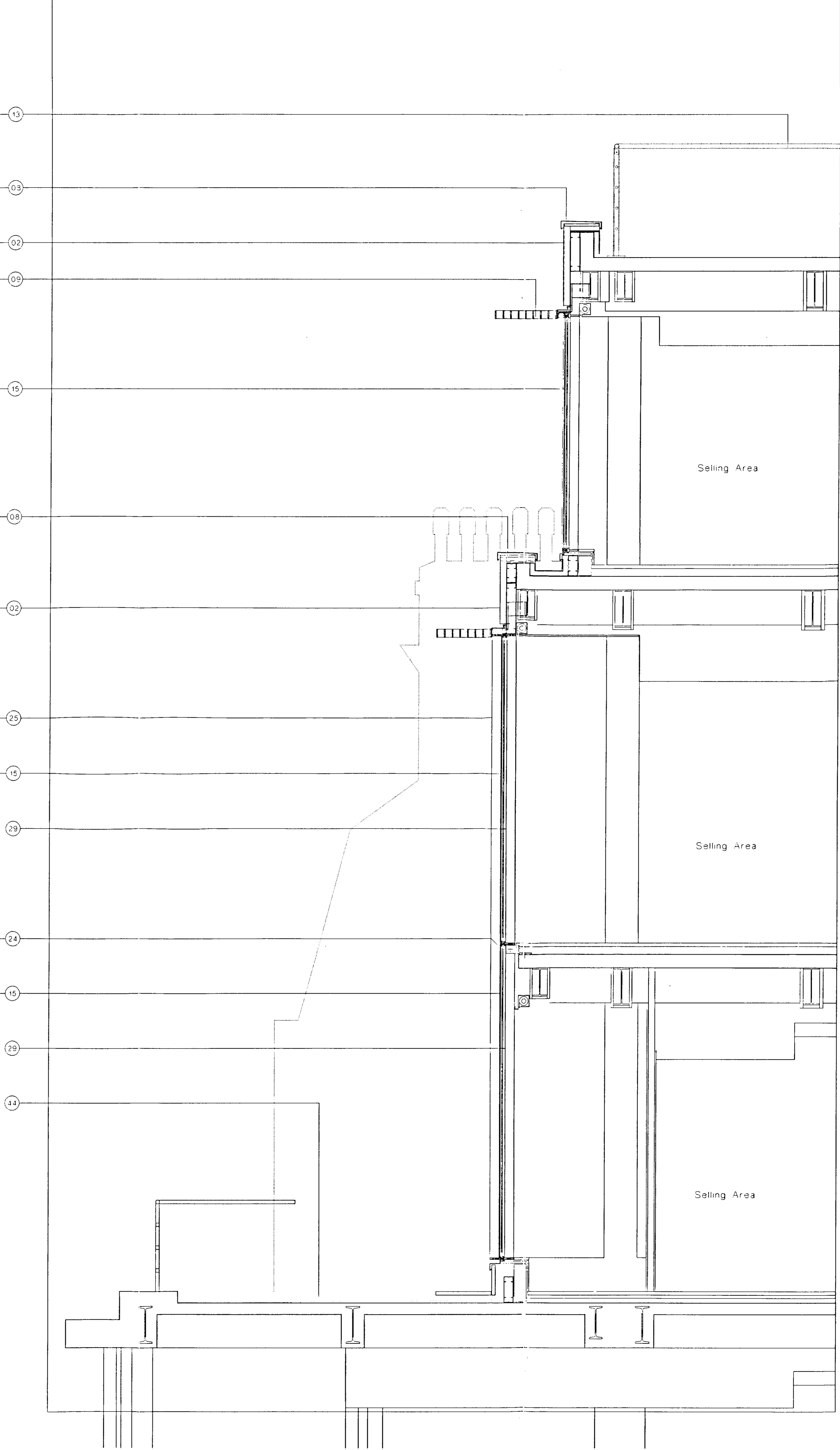
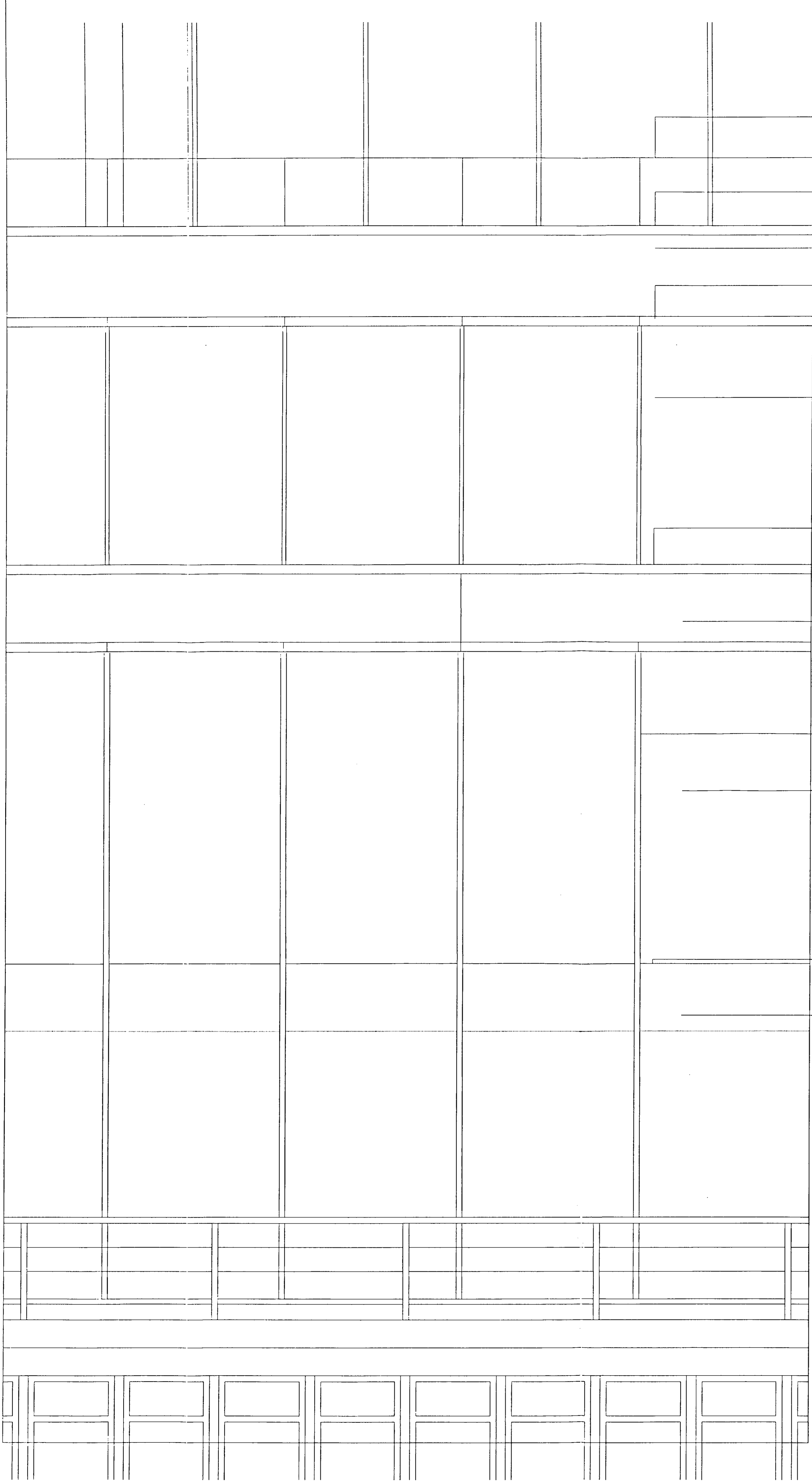
30/11/01
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Do not scale from this drawing. All dimensions are to be checked on site and any discrepancies noted in writing to the architect and Contract Manager. All dimensions are in millimetres unless noted otherwise. If in doubt ask the Contract Manager.

Revisions				Drawn	Check
Rev.	Date	Description		RW	MS
00	22.05.98	Application for Listed Building Consent		RW	MS
01	06.11.98	General Revisions		RW	MS
02	24.03.00	Extension above prototype building revised		GM	RW/SL

- Key:
- Cladding**
 - 01 Sprayed render
 - 02 Prefinished insulated dry render panel
 - External Metalwork**
 - 05 Powder coated aluminium
 - 06 Powder coated aluminium flashing
 - 07 Powder coated aluminium gutter profile
 - 08 Powder coated aluminium parapet panel
 - 09 Aluminium
 - 10 Anodised aluminium louvre panel
 - 11 Painted galvanised steel
 - 12 Stainless steel handrail
 - 13 Painted galvanised steel balustrade
 - Glazing**
 - 15 Clear double glazed unit
 - 16 Solar coated clear double glazed unit
 - 17 Translucent double glazed unit
 - 18 Claque double glazed unit
 - 19 Claque fritted zone within double glazed unit
 - 20 Clear double glazed unit with interstitial birds
 - 21 Clear toughened glass
 - 22 Clear Laminated Glass
 - 23 Translucent Laminated Glass
 - 24 Fish silicone joint
 - 25 Anodised aluminium mullion section
 - 26 Galvanised steel glazing section
 - 27 Flush open galvanised steel framed unit
 - 28 Stainless steel bolted glass fixing
 - 29 Framed glare control screen
 - 30 Clated glass fibre glare control blind
 - Roofing**
 - 35 Aluminium standing seam roofing system
 - 36 Galvanised steel access walkway
 - 37 Galvanised steel stair
 - 38 Precast concrete pavours
 - 39 Precast concrete coping
 - 40 Pebble infill
 - 41 Maintenance cradle
 - 42 Maintenance cradle track
 - 43 Elastomeric membrane
 - 44 Bitumin Sheeting
 - Internal Finishes**
 - 45 Gypsum reinforced gypsum bulkhead and soffit
 - 46 Plasterboard drying
 - 47 Painted plaster finish
 - 48 Powder coated steel tile with circular perforations
 - 49 Powder coated aluminium ceiling suspension rail
 - 50 Indicative shop fitting
 - 51 Shadow gap
 - Internal Metalwork**
 - 55 Painted mild steel
 - 56 Clear toughened glass
 - 57 Stainless steel cladding panel
 - 58 Silver bronze finished handrail
 - 59 Powder coated aluminium louvre panel
 - Services**
 - 65 Flush recessed downlight
 - 66 Linear backlight
 - 67 Galvanised steel louvre air intake grille
 - 68 Anodised aluminium air intake grille
 - 69 Anodised aluminium automated air make-up dampers
 - 70 Powder coated aluminium linear air supply diffuser
 - 71 Anodised aluminium linear slot air diffuser
 - 72 Anodised aluminium trench heater grille
 - 73 Sprinkler head
 - 74 Catted glass fibre smoke control curtain
 - 75 Boiler flue
 - 76 Chiller unit
 - 77 Air handling unit
 - 78 Ductwork plenum
 - Streetscape**
 - 81 Rigid sheet bonded opaque glass sliding door
 - 82 Timber facing panels on painted mild steel frame
 - 83 Flush recessed stainless steel fixings
 - 84 Galvanised steel track
 - 85 Yorkstone pavours
 - 86 Yorkstone style setts
 - 87 Granite kerb
 - 88 Precast concrete setts
 - 89 Stainless steel bollards
 - 90 Galvanised steel drainage channel
 - 91 Brickwork facing



NOT FOR CONSTRUCTION

D01: ELEVATION

D02: SECTION

Peter Jones Refurbishment		John McAuliffe & Partners	
Enlarged Section and Elevation of Extension to Prototype Building		202 Kensington Church Street London W8 4DP	
scale 1:20 at A0	job no. 717	telephone 44 (0) 202 232 2563	fax 44 (0) 202 232 2855
date April 98	drawn by RW	email jma@mcamp.co.uk	
drawing status Listed Building	checked by		
drawn by LL-253	revised/02		