

**PLANNING SERVICES APPLICATION
CONSULTATION SHEET**

APPLICANT:

10 Upper Grosvenor Street
London W1A 3AA

Application No: DLS/LCSL/EP/08/0135

Application dated 22/01/08

SITE: ATTIC ROOMS, FOURTH FLOOR, 17/19 ONSLOW SQUARE, S.W.7

NATURE OF PROPOSAL:
Construction of new mansard
roofs to the properties to
create one new two bedroom
flat.

Application complete <u>02/01/08</u>
Date to be decided by <u>07/01/08</u>
Date Acknowledged <u>02/01/08</u>

	Address to be consulted	Letter sent	Reply received	Observations		Decision letter sent
				For	Against	
- 1	<u>15 ONSLOW SQUARE, SW7</u>					
- 2	<u>21 - Grand A' Flat</u>					
- 3	<u>11 PELHAM PLACE, SW7</u>					
- 4	<u>13 " "</u>					
- 5	<u>15 " "</u>					
- 6	<u>2-24 PARK COURT HOUSE, PELHAM STREET, SW7</u>					
- 7	<u>PARK STUDIO, PELHAM STREET, SW7</u>					
8						
9						
10						

(29)
EB
5/8

CHECK Section 65 certificate/Environmental Impact Statement

CONSULT STATUTORILY (GDO)

- HBMC**
 - Circ. 8/87 (Para. 82) Listed Buildings
 - Circ. 8/87 (Para. 28) Setting of Grade I or II
 - Demolition in Conservation Area
- Demolition Bodies - Circ. 8/87 (para 81)
- Department of Transport
 - Trunk Road - increased traffic
 - Westway etc.
- Neighbouring Local Authority
- Strategic View Authorities
- Department of Environment (Kensington Palace)
- Civil Aviation Authority (over 300')
- Development affecting Theatres (Theatre Trust)
- National Rivers Authority
- Thames Water
- Crossrail Project Team
- LRT - Chelsea/Hackney Line

ADVERTISE

- Effect on CA*
 - Setting of Listed Building*
 - Works to Listed Building*
 - Demolition in CA*
 - Departure from DP†
 - "Major" Development
 - Environmental Assessment†
- Note: *Site Notice is required
†Site Notice or Neighbour Notification required (GDO)
A Site Notice will normally be produced if advert requested
- If no Site Notice required

(1)
(4)
EB
x2

OTHER SITE NOTICES

If Site Notice required for case not in above categories

OTHER CONSULTATION

- Police
- L.P.A.C.
- British Waterways Board
- Environmental Health



PELHAM STREET + 5.5m

E1 Sub Sta
40
51
TC8

Bank

Surgery

P1

P2

P2

7.0m

DN 7.41m

1 to 49
Walvern Court

+ 5.5m

27
DN 8.00m

Pelham Cottage

Park House

Park Studio

PELHAM PLACE

PELHAM CRESCENT

ONSLOW SQUARE

Park College

651 01 ACT
Pelham P
51

PLANNING AND CONSERVATION

THE TOWN HALL HORNTON STREET LONDON W8 7NX

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS

Richard Greenslade
Cluttons
Meridien House
42 Upper Berkeley Street
London
W1H 5EP

Switchboard: 020-7937-5464
Extension: 2186
Direct Line: 020-7361-2186
Facsimile: 020-7361-3463
Web: www.rbkc.gov.uk

22 April 2002

THE ROYAL
BOROUGH OF



KENSINGTON
AND CHELSEA

My reference: DPS/DCSE/E/01/4127/ Your reference:
JN & TP/98/0166

Please ask for: Mr J Nicholls

Dear Mr Greenslade,

Town and Country Planning Act 1990
Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990
Flat 5, 17/19 Onslow Square, London, SW7

I refer to your letter dated 13th March 2002 and attached plans and to the Town Hall meeting between Mr Aylmer of your office, and my officers Mrs Benes and Mr Nicholls with regard to the above mentioned property.

The plan submitted as amendments, 0881/P/01 Rev C, showing the as built plan form, is considered acceptable under the above planning permission granted on 13th August 1998.

I would also like to confirm what was verbally agreed at the meeting on the 11th April 2002 regarding the cornices at this level. My officer's understanding was that the cornices would be removed when the flat was redecorated under the lease agreement with the current occupiers. Mr Aylmer was to confirm this in writing and keep Mr Nicholls informed when he envisaged that these works may be undertaken.

If you have any questions regarding either of these matters, then please contact Mr Nicholls on the telephone number above.

Yours sincerely,

M.J. French
Executive Director, Planning and Conservation

CC Mr Mark Aylmer - Cluttons

2



RBKC
District Plan Observations
CONSERVATION AND DESIGN

Address	17/19 Ouseway Sq.	Appl. No.	L.B.	C.A.	N C SE
		98/166/BC	II	18A	
Description	Agents letter of 3/11/98 - details		Code		
			M		

The proposed details are acceptable in my view, i.e. the revised door design as shown on Drawing No. 0881/P/09 is appropriate for the basement and the rooflight design & position are a gain non-controversial, the latter can be probably treated as a non-material change to the approval.

J.

8/12/98

Agents letter of 27/1/99.

- I would add to the above:
- 1) - the 'plateau' type rooflight is fine
 - 2) - I am not for seen on the 'pyramid' type one, can they use the plateau one as well?
 - 3) - the escape rooflight is fine, better than the hatch door and non-material in my view.

J. 12/4/99



Chartered Surveyors • Property Consultants

Meriden House 42 Upper Berkeley Street Hyde Park London W1H 8EP Telephone 0171 724 4545
FAX 0171 724 4040 LDE BOX NO 104 E.MAIL bsd@cluttons.com

Helena - agreed these were misfiled hence late request for obs - are these details OK? 12-4

OTHER LONDON OFFICES 45 Berkeley Square W1X 5DB 0171 408 1010 • 48 Pelham Street SW7 • 73 Sloane Avenue SW3 • 84 Bourne Street SW1
23 Albion Street • W2 25 St John's Wood Park NW8 • 72 Southgate Road N1 • 3 Gainsford Street SE1 • 109 Upper Thames Street EC4 • 303 Rotherhithe Street SE16

Ms H Benes
Royal Borough of Kensington & Chelsea
Planning and Conservation Department
The Town Hall
Hornton Street
London W8 7NX

Direct Line: 0171 647 7362
E-Mail ri.greenslade@cluttons.com
Our Ref: 156b-0881 RJG JCS
Your Ref:

Date: 27th January 1999

Dear Ms Benes

The Wellcome Trust Limited, (A Registered Charity No. 210183)
17-19 Onslow Square, London SW7
Mansard Conversion of 4th Floor Attic Rooms

Further to our letter dated 3rd December 1998, we would be grateful for your confirmation that the proposed door detail throughout the new flat and the roof light in the hipped roof slope over No. 19 are acceptable.

Whilst writing, we enclose details of the proposed "flat" roof lights to the roof structure of No. 17. We are proposing to install a pyramid-type roof light to the hallway in the flat itself and a "plateau" roof light above the common parts area, details and approximate sizes as enclosed. These roof lights will obviously be invisible from street level.

In addition, we are having some problem detailing the proposed escape door to the front mansard slope of No 17. As such, we now propose that, instead of an escape hatch, we would install a "conservation-type" roof light which will be flush with the new slate roof coverings, and enclose details.

We would be grateful for conformation of your approval on the above, but please do not hesitate to contact me with any queries.

Yours sincerely

R J Greenslade
for Cluttons Daniel Smith

RECEIVED BY PLANNING SERVICES							
EX DIR	HDC	N	C	SW	SE	ENF	AO ACK
86		29 JAN 1999					
FILE	IO	REC	ARB	FWD PLN	CO DES	FEES	

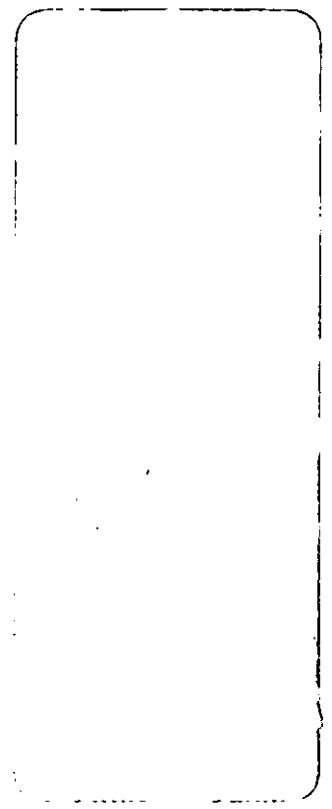
PARTNERS

LONDON RW Jonas FRICS S Hibberdine BS FRICS DMS Hampton MA FRICS RGC Clarke FRICS RWR Cullum FRICS CAG Hatherell MS FRICS RH Cobb FRICS RB Denny BS FRICS GH Mounsey-Heysham FRICS
RS Cotton BS FRICS AB Peterkin BS FRICS DL Warner BA FRICS MFA Tolley BS CE FRICS PCSI MIS FRICS RAA Cresswell BS FRICS DPT FRICS MRTH IW Noble FRICS SH Scott Barrett MA FRICS ACIAA AN Dunkley FRICS GE Clutton BA FRICS
MG Chumbley DPT FRICS MRTH JEC Briant BA FRICS BE Brown FRICS WP Siegle FRICS WD Leefe BS FRICS GM Hall BS FRICS SH Quincey MA FRICS Dip Prop Man RW Lodge BS FRICS JPS Bianco FRICS ACIAA
NA Crockett BS FRICS TK Gibbs BS FRICS JC Tune FCA K Gatford FSST AJ Stanley FRICS MBA TDJ Marshall CNC Lowrey BS PJWS Ling FRICS FAAY AE Ford ASVA CE Millington BS FRICS WG Lee MA FRICS
NP Baynes BS FRICS ACIAA AD Stanford BS FRICS JE Barrett BA FRICS RLB Read MI Dix FRICS G Hubble FRICS JK Hayes BS FRICS HPW Payne BA DPT FRICS MRTH ANL Shapland BS FRICS KM Aitchison BS FRICS BATH & WELLS
N Andrews BS FRICS AS Whitehouse BS FRICS JF German BS FRICS ADM Forrester BS FRICS ARUNDEL & GOODWOOD NGH Draffan MA FRICS AD Kinnear ARICS TG Butlet BS FRICS CR Jowett ARICS FAAY
CP Stewart-Morgan FRICS R Pitman LLB ARICS FAAY CM Cox BS FRICS PH Smalley TD BS FRICS FAAY CL Dawson MA FRICS RKW Jackson GR Merrett ASVA RH Bartlett BS FRICS BRIGHTON W Shipley BS FRICS
CANTERBURY & HAIDSTONE PH Harland FRICS AJ Meire FRICS GJ Carter FRICS FBENT JD Tennant ARICS MJ Linington ARICS DA Elliott BS FRICS DG Parry FRICS CFC Payne CARLISLE GH Mounsey-Heysham FRICS
CARNOSTON BCG Laughton ARICS OXFORD JCC Bell FRICS WF Hughes FRICS JR Dingle FRICS AJ Packe FRICS HET St John BS FRICS RD Seares BS FRICS DIP Rating IRRV SE Hodgkinson ROMSEY WF Hughes FRICS
WG Sleeman BS FRICS ASVA SJ Melligan MA MA MRTH ABU DHABI MR Bellamy BS ACIOB MBA DUBAI & SHARJAH R Hinchey FRICS SAHRAIN & SAUDI ARABIA DM Bradley FRICS IRRV OMAN MC Lowes BS FRICS
ASSOCIATES SA Crowsley FAS1 JR Gray BS FRICS S Puddicombe BS FRICS PJ Stapley BS FRICS CONSULTANTS RH Clutton CRE FRICS PW Trumper FRICS RAS Brock FRICS NH Clutton CRE FRICS JO Trumper FRICS
AH Flint MA FRICS CH Brown FRICS MLH Sankey FRICS BUSINESS OPERATIONS MANAGER GE Green ASSOCIATED OFFICES Ayr Edinburgh & Haywards Heath

Chartered Surveyors • Property Consultants
42 Upper Berkeley Street, London

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26 1 99
V11

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0039
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NSR 89085





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FAX 0171 724 4040 LDE BOX NO 104 E.MAIL bsd@cluttons.com

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Ms H. Benes,
Royal Borough of Kensington & Chelsea
Planning & Conservation Department,
Town Hall,
Hornton Street,
London W8.

Direct Line: 0171 647 7362
E-Mail rj.greenslade@cluttons.com
Our Ref: 894C-0881-ij-RJG
Your Ref:

Date: 3rd December 1998

RECEIVED BY PLANNING SERVICES							
EX	HDC	N	C	SW	SE	ENF	AO
DIP							ACK
[Signature]				- 7 DEC 1998			
APPEALS	IO	REC	ARB	FWD	CON	FEES	
				FLN	DES		

Dear Ms Benes,

The Wellcome Trust Limited (A Registered Charity No. 210183)
17 and 19 Onslow Square, London SW7
Mansard Conversion of fourth floor attic rooms

OK . Further to our recent telephone conversation, I now enclose revised Drawing No. 0881/D/09 detailing the proposed door construction throughout the new flat to include the changes as discussed.

OK - Whilst writing, we would be grateful for your comments with regard to the installation of a roof light in the hipped roof slope over No. 19. We enclose our Drawing No. 0881/D/12 showing the proposed position of this rooflight, together with details from a manufacturer. The rooflight itself will be flush with the slate surfaces and is of a conservation-type. I am also able to confirm that there are similar rooflights within the adjoining roof structure at No. 21.

Please do not hesitate to contact me with any queries.

Yours sincerely,

Richard J. Greenslade
For and on behalf of Cluttons Daniel Smith

Encl.

PARTNERS

LONDON RW Jonas FRICS S Hibberdine BSC FRICS DMS Hampton MA FRICS RGC Clarke FRICS RWR Cullum FRICS CAG Hatherell MSc FRICS RH Cobb FRICS RB Denny BSC FRICS GH Mounsey-Heysham FRICS
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NP Baynes BSC ARICS ACIAh AD Stanford BSC ARICS JE Barrett BA ARICS RLB Read MI Dix FRICS G Hubble FRICS JK Hayes BSC ARICS HPW Payne BA DPT FRICS MRTH ANL Shapland BSC ARICS KM Aitchison BSC Dip BSc Cont ARICS
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the **CAST** rooflight

A genuine top hung rooflight cast with the fine detailing of a 19th Century original using today's advanced foundry, insulating glass and polyester paint finishing techniques.

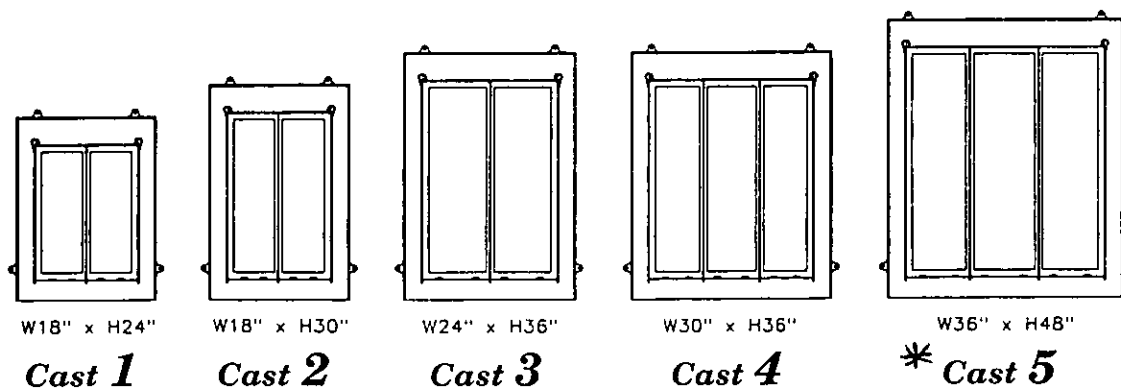
A masterpiece of engineering, that looks superb in any roof, manufactured to BS1490 using particularly durable LM6 aluminium which is especially suitable for intricate castings, possessing excellent ductility and resistance to weathering.

Double Glass Units manufactured to BS5713 with a 6.4mm Laminated Inner Pane and 4mm Toughened Outer Pane, giving maximum safety, are glazed into the rebates and faced with Polysulphide Sealant to give the traditional appearance.

The opening light, with its sculpted Tee bar, is weatherstrip sealed against draughts, secured to the outer frame using A2 Grade Stainless Steel Bolts and Nylock Nuts and opened with a Brass 'Hand Winder' as standard. The outer frame has pre-drilled cast fixing lugs to accept the recommended Coach Screws and Washers.

Standard Sizes

sizes given are clear aperture



Polyester powder paint is applied to BS6496 & BS6497 and provides the finish in Matt Black as standard. Numerous other colours from the Syntha Pulvin range are available.

Our policy is of continuous product development, we reserve the right to alter or amend specification without alteration to this brochure.



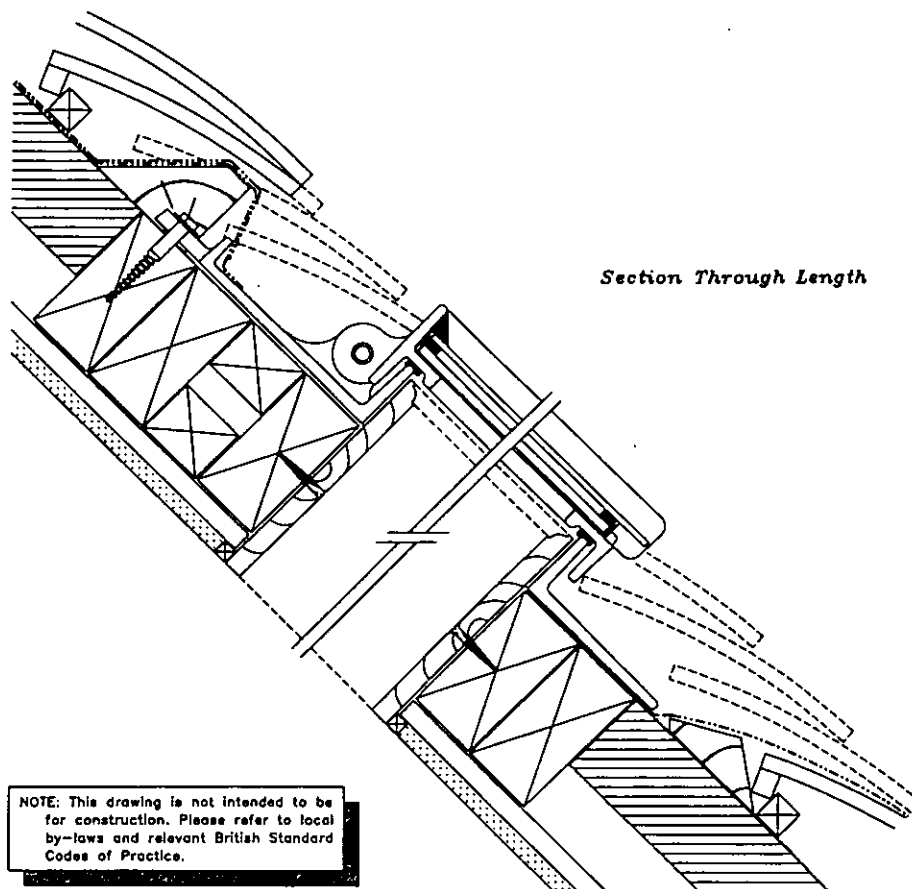
Steel Window & Rooflight Manufacturers since 1928

*the **CAST** rooflight is protected by the Copyright, Design & Patents Act 1988*

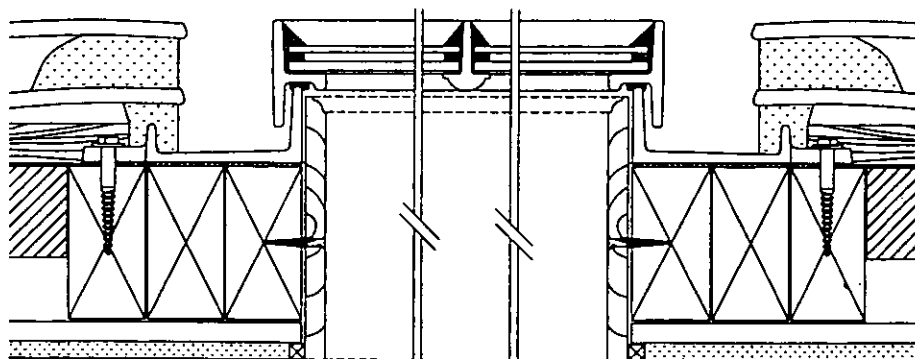


Clement Brothers Haslemere Ltd. Weydown Road HASLEMERE Surrey GU27 1HR
Telephone (01428) 643393 Facsimile (01428) 661369

the **CAST** rooflight



NOTE: This drawing is not intended to be for construction. Please refer to local by-laws and relevant British Standard Codes of Practice.



Section Through Width

Our policy is of continuous product development, we reserve the right to alter or amend specification without alteration to this brochure.



Steel Window & Rooflight Manufacturers since 1928

the **CAST** rooflight is protected by the Copyright, Design & Patents Act 1988



Clement Brothers Haslemere Ltd. Weydown Road HASLEMERE Surrey GU27 1HR
Telephone (01428) 643393 Facsimile (01428) 661369

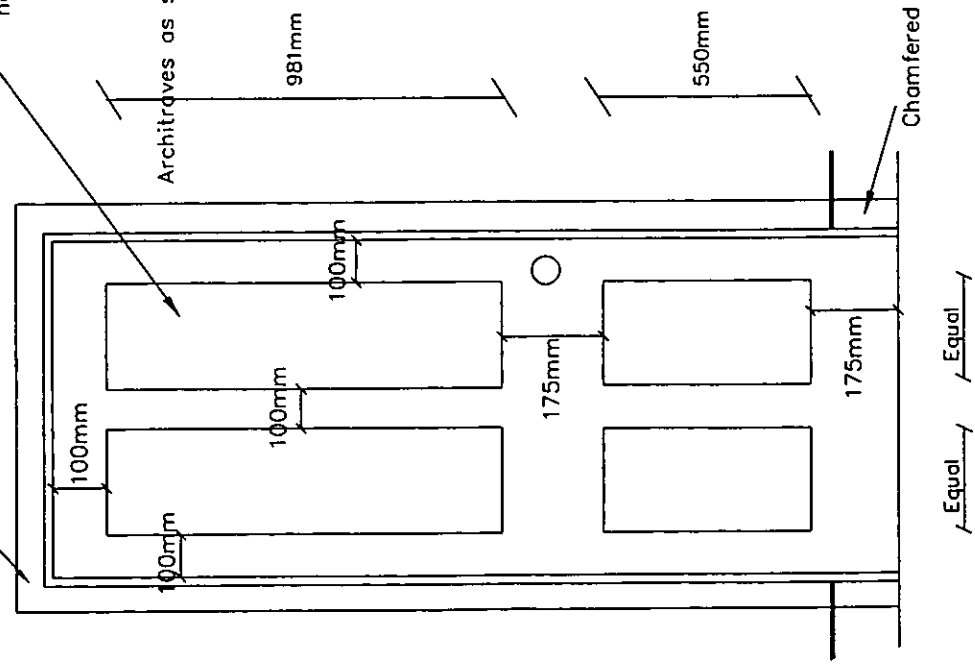
NOTES

Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

R.B.K. & C.
TOWN PLANNING
RECEIVED
- 7 DEC 1998

To non-fire rated doors, infill panels to be 19mm hardwood

Architraves as specified



Architraves as specified

981mm

100mm

100mm

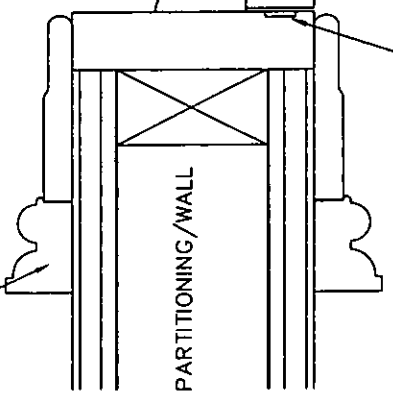
175mm

550mm

Chamfered plinths

Equal / Equal

Supalux fire resistant board, thickness suitable to provide half hour fire resistance (unless otherwise specified) sandwiched between min. 3mm thick WBP plywood bonded with calcamite



Min. 44mm hardwood rails, stiles, etc., as approved by the Contract Administrator

Intumescent strip (with integral smoke and seal brush where specified, to BS 5588)



Chartered Surveyors - Property Consultants
 41 Upper Berkeley Street, London W1B 5EP
 Tel 0171-724-6545 Fax 0171-724-6646

Project
 17-19 ONSLOW SQUARE
 LONDON SW7

Client
 THE WELLCOME TRUST LTD
 (A REGISTERED CHARITY)

Drawing
 TYPICAL DOOR DETAIL

Drawn By RJC

Dwg No 00881/D/09 **Rev**

Date 2/12/98 **Scale** 1:50

NOTES:
 All door furniture shall meet the requirements of the smoke seal

The dimensions of the doors are for reference only and are to be confirmed on site with the Contract Administrator

NOTES
 Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

This Drawing is for reference purposes only.

200mm wide parapet gutters lined with code 5 lead work (arrows show direction of fall)

Slate covered Hipped roof arrangement to match existing to No. 21, concealing new water tanks

Section AA shown on Drawing No. 0881\0\01.

Conservation-type rooflight, approx. 900x1200mm.

R.B.K.&C.
 TOWN PLANNING
 - 7 DEC 1998
 RECEIVED

Section CC shown as Drawing No. 0881\0\03.

New code 6 lead covered flat roof designed and installed to lead sheet association recommendation.

NEW ROOFLIGHTS

CLUTTONS
Daniel Smith

Chartered Surveyors - Property Consultants
 41 Upper Berkeley Street, London W1H 8EP
 Tel 0271-734-0000 Fax 0271-734-0000

ESCAPE DOOR AND LANDING DETAIL
 ON DRAWING No. 0881\0\01
 Proposed forward roof additions to 17, 19 & 21 onslow Square
 7200/ME/01

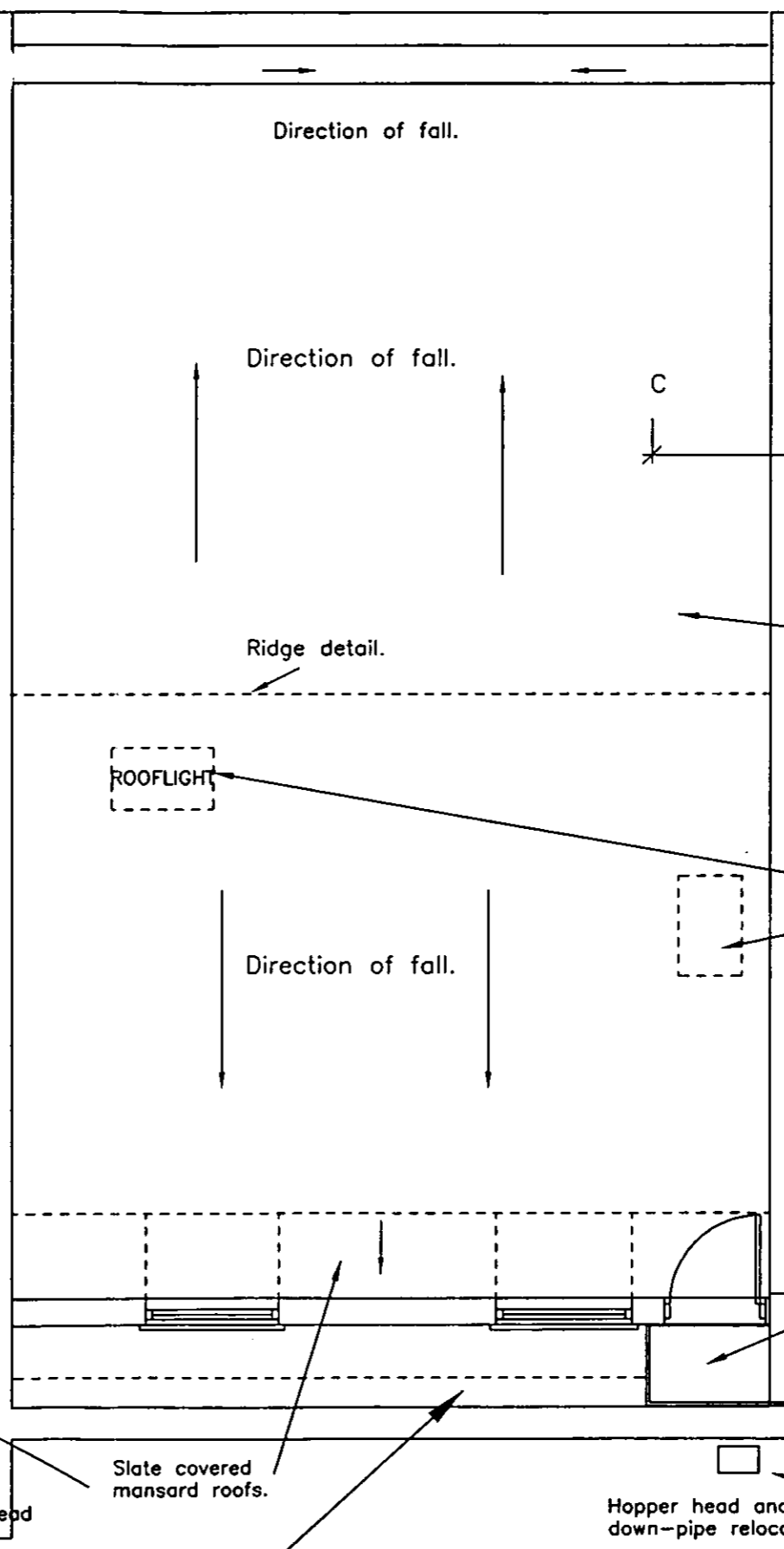
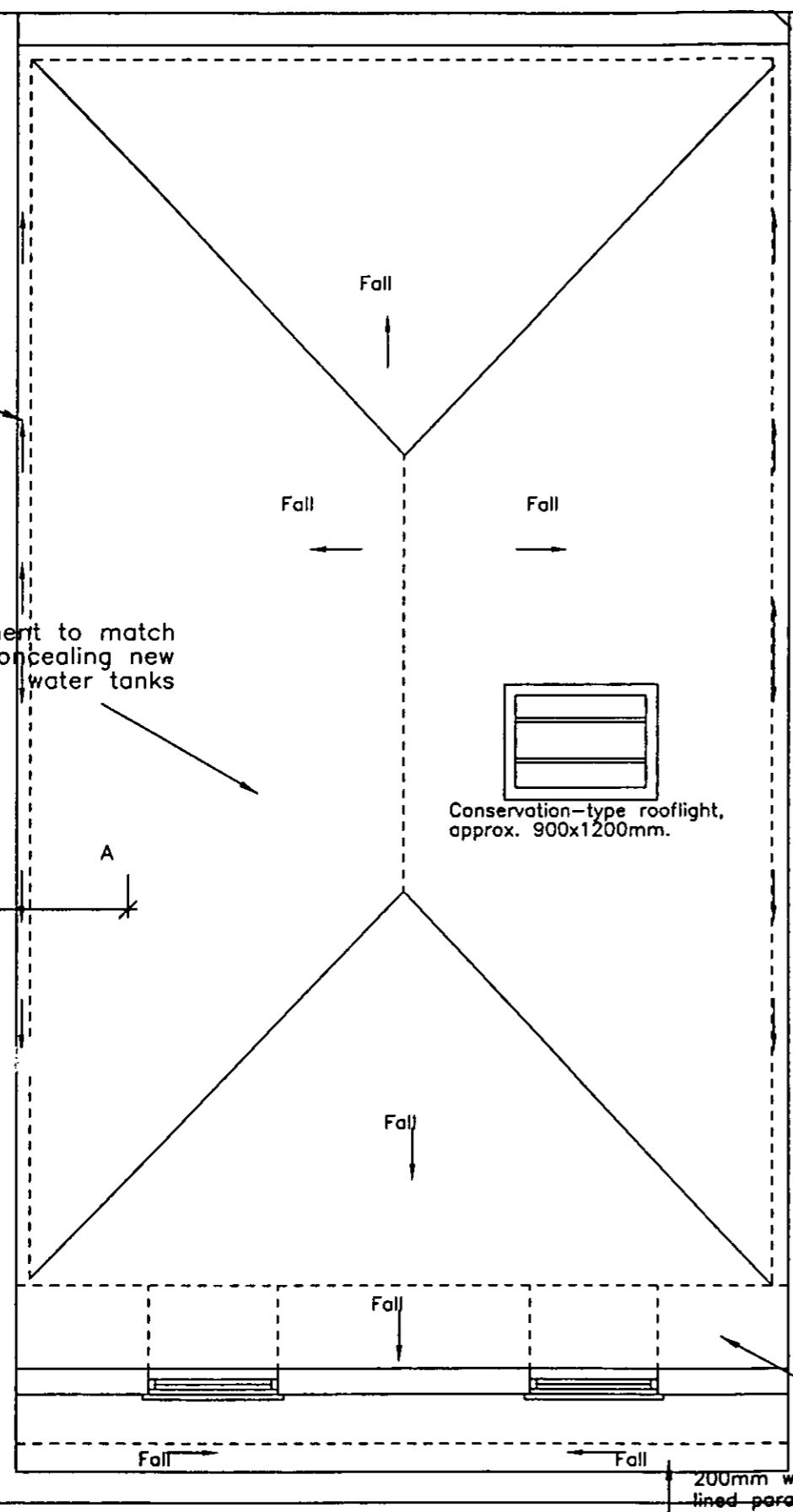
Client
 The Wellcome Trust Ltd.
 (A Registered Charity No. 210183)

Drawing
 Indicative roof lines.

Drawn By R.J.G.

Dwg No 0881\0\12 Rev

Date 2/12/98 Scale 1:100



Existing hopper head.

No. 19

200mm wide lead lined parapet gutter - lining to be taken through existing outlet in parapet wall, dressed into hopper head.

Slate covered mansard roofs.

No. 17

Hopper head and rainwater down-pipe relocated.

Helena - is this ok?



Chartered Surveyors • Property Consultants

Meriden House 42 Upper Berkeley Street Hyde Park London W1H 8EP Telephone 0171 724 4545
FAX 0171 724 4040 LDE BOX NO 104 E.MAIL bsd@cluttons.com

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FAO: M J French
The Planning and Conservation Department
South East Area Team
The Royal Borough of Kensington & Chelsea
The Town Hall
Hornton Street
London W8 7NX

Direct Line: 0171 647 7362
E-Mail: rj.greenslade@cluttons.com
Our Ref: 99r-0881-665c-AM-RG
Your Ref: DPS/PA/TP/98/0167/X/28/4126

Date: 10th November 1998

Handwritten: R. A. H. (circled) / 10/11

Dear Sirs

The Wellcome Trust Limited (A Registered Charity No 210183)
17-19 Onslow Square, London SW7
Mansard Conversion of Attic Rooms

Further to our receiving conditional consent under the planning (Listed Buildings and Conservation Areas) Act 1990, we now enclose our drawing number 0881/D/01 showing details of the proposed doors to be installed in the above property.

Please contact the writer with any queries.

Yours faithfully

R J Greenslade

for and on behalf of Cluttons Daniel Smith

RECEIVED BY					G SERVICES	
EX	HDC	N	C	SW	ENF	ACK
16 NOV 1998						
REC ARB FWD CON PRES						

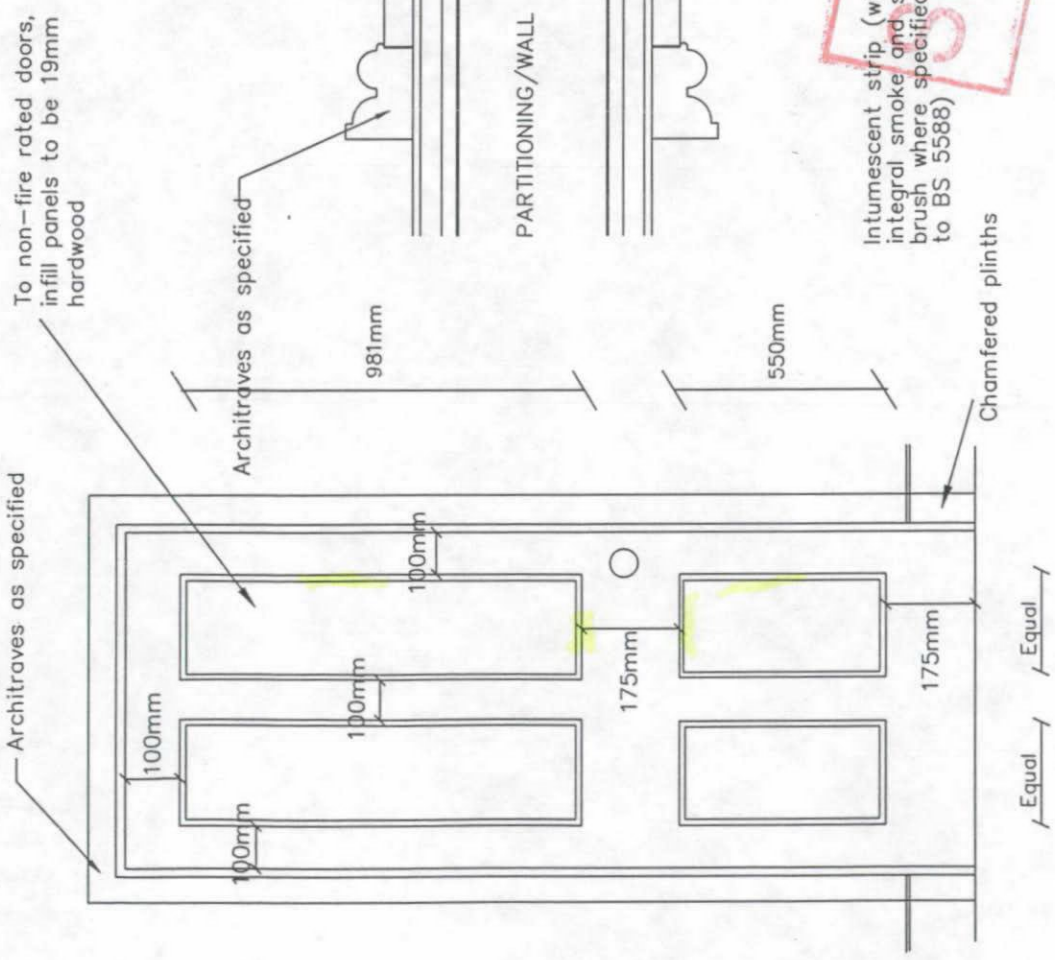
Handwritten: Bruce,
not quite right,
there should be
no mouldings
planned a gert ✓ I
agreed this
Revision awaited.

Handwritten: B. 2/12/98

LONDON RW Jonas FRICS S Hibberdine BS FRICS DMS Hampton MA FRICS RGC Clarke FRICS RWR Cullum FRICS CAG Hatherell MS FRICS RH Cobb FRICS RB Denny BS FRICS GH Mounsey-Heysham FRICS
RS Cotton BS FRICS AB Peterkin BS FRICS DL Warner BA FRICS MFA Tolley BS FRICS PFCO MISHINEE RAA Cresswell MS FRICS MATH IWN Noble FRICS SH Scott Barrett MA FRICS ACIAA AN Dunkley FRICS GE Clutton BA FRICS
MG Chumbley DT FRICS MATH JEC Briant BA FRICS BE Brown FRICS WP Siegle FRICS WD Leefe BS FRICS GM Hall BS FRICS SH Quincey MA FRICS Dip Proj Man RW Lodge BS FRICS JPS Bianco FRICS ACIAA
NA Crockett BS FRICS TK Gibbs BS FRICS JC Tune FCA K Gatford FSST AJ Stanley FRICS MBA TDJ Marshall CNC Lowrey BS PJWS Ling FRICS FAAY AE Ford ASVA CE Millington BS FRICS WG Lee MA FRICS
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CP Stewart-Morgan FRICS R Pitman LLB ARICS FAAY CM Cox BS FRICS PH Smalley TB BS FRICS FAAY CL Dawson MA FRICS RKW Jackson GR Merrett ASVA RH Bartlett BS FRICS BRIGHTON W Shipley BS FRICS
CANTERBURY & MAIDSTONE PH Harland FRICS AJ Meire FRICS GJ Carter FRICS FBENE JD Tennant ARICS MJ Linington ARICS DA Elliott BS FRICS DG Parry FRICS CFC Payne CARLISLE GH Mounsey-Heysham FRICS
CARNOUTHIE BCG Laughton ARICS OXFORD JCC Bell FRICS WF Hughes FRICS JR Dingle FRICS AJ Packe FRICS HET St John BS FRICS RD Seares BS FRICS DIP RATING IRRV SE Hodgkinson ROMSEY WF Hughes FRICS
WG Sleeman BS FRICS ASVA SJ Melligan MA MA MATH ABU DHABI MR Bellamy BS FRICS ACIOB MBA DUBAI & SHARJAH R Hinchey FRICS SAUDI ARABIA DM Bradley FRICS IRRV OMAN MC Lowes BS FRICS
ASSOCIATED SA Crowsley FASI JR Gray BS FRICS SPuddicombe BS FRICS PJ Stapley BS FRICS CONSULTANTS RH Clutton CB FRICS PW Trumper FRICS RAS Brock FRICS NH Clutton CB FRICS JO Trumper FRICS
AH Flint MA FRICS CH Brown FRICS MLH Sankey FRICS BUSINESS OPERATIONS MANAGER GE Green ASSOCIATED OFFICES Ayr Edinburgh & Haywards Heath

NOTES

Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.



25 x 38mm Travis Perkins Ovolo moulded doorstop, glued and screwed at 300mm centres

Panel mouldings as specified, securely nailed in place to all stiles and rails bedded in intumescent paste. Allow for making good so as to produce an invisible fixing

Supalux fire resistant board, thickness suitable to provide half hour fire resistance (unless otherwise specified) sandwiched between min. 3mm thick WBP plywood bonded with calcarmit

Intumescent strip (with integral smoke and seal brush where specified to BS 5588)

Min. 44mm hardwood rails, stiles, etc. as approved by the Contract Administrator



Chartered Surveyors - Property Consultants
43 Upper Berkeley Street, London W1H 8EP
Tel: 0171-724-6545 Fax: 0171-724-9900

Project
17-19 ONSLOW SQUARE
LONDON SW7

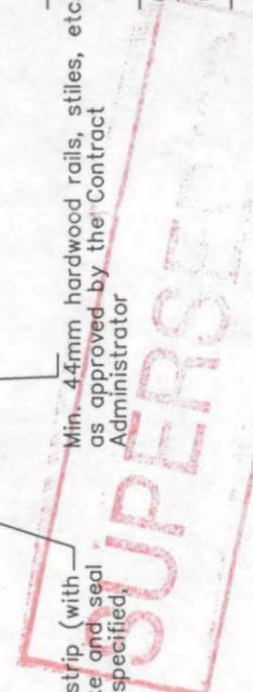
Client
THE WELLCOME TRUST LTD
(A REGISTERED CHARITY)

Drawing
TYPICAL DOOR DETAIL

Drawn By RJG

Dwg No 0881/D/01 **Rev**

Date 12/11/98 **Scale** 1:50



NOTES:
All door furniture shall meet the requirements of the smoke seal

The dimensions of the doors are for reference only and are to be confirmed on site with the Contract Administrator

PLANNING AND CONSERVATION

THE TOWN HALL • HORNTON STREET • LONDON W8 7NX

THE ROYAL
BOROUGH OF

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS
Director of Planning Services



Cluttons Daniel Smith,
42 Upper Berkeley Street,
London W1H 8EP

Switchboard: 0171-937 5464

Direct Line: 0171-361 2702

Facsimile: 0171-361 3463

KENSINGTON
AND CHELSEA

18 AUG 1998

My reference:

Your reference:

Please ask for:

RJG
DPS/PA/TP/98/0166/M/28/4125

South East Area Team



Dear Sir/Madam,

TOWN AND COUNTRY PLANNING ACT, 1990
TOWN AND COUNTRY PLANNING GENERAL DEVELOPMENT ORDER, 1988

Permission for development (Conditional) (TP6a)

The Borough Council hereby permit the development referred to in the under-mentioned Schedule, subject to the conditions set out therein and in accordance with the plans submitted, save insofar as may otherwise be required by the said conditions. Your attention is also drawn to the enclosed Information Sheet.

SCHEDULE

DEVELOPMENT

Construction of new mansard roofs to create one two bedroom flat, at 17/19 ONSLOW SQUARE, KENSINGTON, S.W.7, as shown on submitted drawing(s) No(s). TP/98/0166, TP/98/0166/A and TP/98/0166/B, Applicant's drawing(s) No(s). 7200/ME/01A, 02, 03, 04A, 08, 09, 7200/M/01, 02, 03, 04A, 7200/P/01D, 02C, 7200/R/01A and 7200/X/01A, in accordance with your application dated 22/01/98, completed 02/02/98, revised 08/07/98.

/ CONDITIONS ...

CONDITIONS

1. The development hereby permitted shall be begun before the expiration of five years from the date of this permission. (C.1)
2. All external joinery shall be of painted timber. (C.209)
3. The rooflight hereby permitted shall be a traditional conservation-type. (C.83)
4. All new windows shall be timber framed, single glazed double hung sliding sashes and shall be so maintained.
5. The roof slopes of the extension hereby permitted shall be clad in natural slates and so maintained. (C.73)
6. No water tank, lift motor room or other roof structure shall be erected which rises above the level of the roof hereby approved. (C.77)

REASONS FOR THE IMPOSITION OF CONDITIONS

1. As required by Section 91 of the Town and Country Planning Act 1990 to avoid the accumulation of unexercised planning permissions. (R.1)
2. In order to safeguard the special architectural or historic interest of the building. (R.206)
3. To safeguard the appearance of the building. (R.83)
4. To protect the character and appearance of the building which is statutorily listed. (R.73)
5. To protect the character and appearance of the building which is statutorily listed. (R.73)
6. To safeguard the appearance of the area. (R.77)

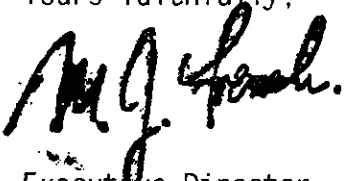
INFORMATIVES

1. This permission does not permit the use of the premises as temporary sleeping accommodation (including holiday lets or short lets) or any purpose specified in Section 25 of the Greater London Council (General Powers) Act 1973 as substituted by the Greater London Council (General Powers) Act 1983 or as timeshare accommodation as specified in Section 5 of the Greater London Council (General Powers) Act 1984. Use for such purposes would constitute a change of use requiring planning permission and it is the Council's policy to resist such changes of use. (I.2)

/2. Approval....

2. Approval under the Planning Acts is hereby granted for the development as shown on the approved drawings and subject to the conditions. Any alteration to the approved scheme, resulting from the requirements of the Building Regulations or for any other reason, may require further approval. You are advised to consult the Directorate of Planning Services before commencing work. (I.9)
3. Your attention is drawn to the conditions of this approval and to the Council's powers of enforcement, including the power to serve a Breach of Condition Notice under the Town and Country Planning Act, 1990, as amended. (I.10)
4. Separate consent for the works hereby given approval under the Planning Acts may be required by the Building Act 1984 and the Building Regulations 1991, and this approval does not imply that such consent will be given. The Director of Building Control, Council Offices, 102-108 Warwick Road, London, W14 8PT should be consulted before works commence. (I.21)
5. Any proposals for external fire escapes, roof walkways or safety railings arising from the requirements of the Building Regulations may require further approval under the Planning Acts, and consent under those Regulations does not imply that approval under the Planning Acts will be given. The Directorate of Planning Services will be pleased to advise on the implication of any changes. (I.22)
6. Demolition and building works are subject to the Environmental Protection Act, and appropriate controls over methods, noise and hours of work may be imposed by the Council. You are advised to consult the Director of Environmental Health, Council Offices, 102-108 Warwick Road, W14 8PT at an early stage. (I.30)

Yours faithfully,



Executive Director, Planning & Conservation

1.0 INTRODUCTION

1.1 This report concerns applications for Planning Permission and Listed Building Consent to erect an additional storey to two properties in Onslow Square. The proposed works are considered to comply with the provisions of the development plan, and are accordingly recommended to be approved.

2.0 THE PROPERTY

2.1 Nos. 17 and 19 are located on the North-East side of Onslow Square. They are Grade II Listed Buildings, dating from the mid 19th Century, Listed for their group value. Onslow Square is located within the Thurloe Estate and Smiths Charity Conservation Area.

2.2 The properties comprise basement, ground and four upper floors with the top floor taking the form of an attic contained within a pitched roof. They are divided into a number of self-contained flats. The attic accommodation is disused.

3.0 THE PROPOSAL

3.1 The applicants are applying for Planning Permission and Listed Building Consent for the erection of a new mansard roof to create one x two bedroom flat.

4.0 PLANNING CONSIDERATIONS

4.1 The principal considerations are compliance with the relevant policies in the Unitary Development Plan towards works to Listed Buildings, development in Conservation Areas and additional storeys.

4.2 Compliance with the policies in the relevant Conservation Area Proposals Statement towards additional storeys is also a material consideration. The Committee are however advised that the statement for Thurloe Estate and Smiths Charity Conservation Area is of some age (approved 1981) and that the statutory policies in the Unitary Development Plan take precedence.

4.3 Policy CD58 in the Unitary Development Plan concerns works to Listed Buildings and normally resists them unless, inter alia, the alterations are in the style of the original building.

4.4 Policies STRAT 6, CD48 and CD52 reflect the statutory duty to preserve or enhance the character or appearance of the Royal Borough's Conservation Area. Policy CD53 ensures that all development in Conservation Areas is to a high standard of design and is compatible with, inter alia, bulk, height and roofscape of surrounding development.

4.5 The policies towards additional storeys and roof level alterations, CD38 and CD39, are designed to be read as a pair with CD38 setting out the circumstances where Planning Permission will be refused and CD39 setting out the limited circumstances where permission may be granted. policy CD39, which is considered to be particularly relevant to these applications, states:

"Normally to permit additional storeys and roof level alterations in the following circumstances;

- (a) Where the character of a terrace or group of properties has been severely compromised by a variety of roof extensions and where infilling between them would help to re-unite the group, and
- (b) The alterations are architecturally sympathetic to the age and character of the building.."

4.6 The Thurloe Estate and Smiths Charity Conservation Area Proposals Statement categorises Onslow Square as a location where alterations at roof level may be acceptable, such as altering an unsightly dormer window to a more suitable pattern but additional storeys will not generally be permitted.

4.7 The impact on residential amenity is also a material consideration; the relevant policies in the Unitary Development Plan being CD28 (light) and CD30 (privacy).

4.8 The properties were inspected from the street, and the roof was inspected on 6th April. The North-East side of Onslow Square generally has mansarded top floors, with the exception of Nos. 15, 17 and 19 where, from street level, the sky is visible through the balusters above the cornice. Nos. 19 and 21 form the centre piece of the terrace and are slightly set forward. No. 21 has a hipped upper part to the mansard which becomes visible from the opposite side of the square. The roof structure of Nos. 15-19 is masked by the balustraded parapet and forms a gap in the skyline.

4.9 The proposal, as revised following discussions between the applicants agents and Council officers, is to replace the existing pitched attic structure with a flat topped mansard at No. 17 and a mansard with a hipped upper slope at 19, reflecting the other property in the centre piece of the terrace (no. 21). Two dormer windows are proposed on the front elevation of each property, and a fire escape route provided behind the balustrade. To the rear it is proposed to raise both properties vertically in brick.

- 4.10 In principle although the proposed mansard represents a more radical alteration at roof level than encouraged by the Conservation Area Proposals Statement, it is considered to comply with current Council policies. In particular, it partly infills between existing roof extensions, helping to re-unite the group and complies with Policy CD39. By partly infilling the gap at roof level, the character and appearance of the Conservation Area will be enhanced, and hence Policies STRAT 6, CD48, CD52 and CD53 are satisfied. As revised, incorporating the suggestions of the Royal Borough's design officer, the design is considered to be in keeping with the style of the building and hence Policy CD58 is complied with.
- 4.11 Due to the distance of this property from properties on the opposite side of Onslow Square and from properties in Pelham Place to the rear, the proposal is not considered to raise issues of loss of light or privacy.
- 4.12 Formal Observations of the Design and Conservation Officer

This application has been released by English Heritage and the Royal Borough have been authorised to determine the application for Listed Building Consent. The formal observations of the Royal Borough's design and conservation officer are:

"It is proposed to erect an additional storey on the two properties. At front the details of the mansards vary on the two buildings whereby the initial lower mansard slope on both is capped by a more prominent hipped top slope arrangement at No. 19 matching the same on the adjoining No. 21 (these two properties being the centre piece of the terrace with more ornate and prominent detailing on elevations). At the rear both additional storeys are taken up vertically in brick, as this is now the predominant form on this elevation and this detail will serve to reunite the terrace at rear.

It is also proposed to form fire escape provisions at front between Nos. 15/17 and Nos. 13/15 to complete the necessary escape route. Due to the relatively high front parapets and deep parapet gutters the effect of these features on the elevation is minimal. It is also proposed to rationalise and improve the pipework on the front elevation.

The proposals will preserve the special architectural and historic interest of these Listed Buildings."

5.0 PUBLIC CONSULTATION

- 5.1 The occupiers of 29 neighbouring properties in Onslow Square, Pelham Place, and Pelham Street were notified of these applications. To date, one objection has been received.
- 5.2 A company who let Flat 8 in the application property object on the grounds of noise and disruption during building works and exacerbation of existing parking problems.

5.3 The Committee are advised that noise and disruption during building works is not a material planning consideration. The proposal is unlikely to significantly impact on existing parking problems. Furthermore, although the attic accommodation appears to have been disused for many years it would appear to be possible to refurbish it in part as a residential unit without the need for Planning Permission.

6.0 RECOMMENDATION

6.1 Grant Planning Permission.

M.J. FRENCH
EXECUTIVE DIRECTOR, PLANNING AND CONSERVATION

Background Papers

The contents of the file number TP/98/0166 referred to at the head of this report save for exempt or confidential information as defined by the Local Government (Access to Information) Act, 1985.

Officer Contact

The above documents can be inspected by prior appointment with Tracey Rust in the Planning Information Office, Room 325, The Town Hall, Telephone 0171-361-2080.

REPORT PREPARED BY: BC
REPORT APPROVED BY: LAWJ
DATE REPORT APPROVED: 27/07/98

PSC9807.BC.REP

RBK&C
CONSERVATION & DESIGN

GRADE II LISTED BUILDINGS
FORMAL OBSERVATIONS

Address: 17/19 Onslow Square, SW7

Description: Additional storeys and fire escape provisions

Application No.: 98/0167 **DC Case Officer:** BC

Drawing Nos: 7200/ME/01A, 02, **CD Case Officer:** HB
03, 04A, 08, 09,
7200/M/01, 02, 03, **Date:** 9 July 1998
04A, 7200/P/ 01D,
02C, 7200/R/01A,
7200/X/01A

Grant/Refuse: Grant

Formal Observations:

It is proposed to erect an additional storey on the two properties. At front the details of the mansards vary on the two buildings whereby the initial lower mansard slope on both is capped by a more prominent hipped top slope arrangement at no. 19 matching the same on the adjoining no. 21 (these two properties being the centrepiece of the terrace with more ornate and prominent detailing on elevations). At the rear both additional storeys are taken up vertically in brick, as this is now the predominant form on this elevation and this detail will serve to reunite the terrace at rear.

It is also proposed to form fire escape provisions at front between nos. 15/17 and nos. 13/15 to complete the necessary escape route. Due to the relatively high front parapets and deep parapet gutters the effect of these features on the elevation is minimal. It is also proposed to rationalise and improve the pipework on the front elevation.

The proposals will preserve the special architectural and historic interest of these listed buildings.

Conditions:

C205

C208 in respect of:

- any new doors at the fourth floor level

C209

Also conditions specifying conservation style roflights, single glazing in the new sash windows and natural slates. ✓

Signed; *H. H. Breen*

Date; *9/7/98*

Approved; *David M. Don M*

Date; *9/7/98*

Other Notes;



BC

Chartered Surveyors • Property Consultants

Meriden House 42 Upper Berkeley Street Hyde Park London W1H 8EP Telephone 0171 724 4545
FAX 0171 724 4040 LDE BOX NO 104 E.MAIL bsd@cluttons.com

OTHER LONDON OFFICES 45 Berkeley Square W1X 5DB 0171 408 1010 • 48 Pelham Street SW7 • 73 Sloane Avenue SW3 • 84 Bourne Street SW1
23 Albion Street • W2 25 St John's Wood Park NW8 • 72 Southgate Road N1 • 3 Gainsford Street SE1 • 109 Upper Thames Street EC4 • 303 Rotherhithe Street SE16

Royal Borough of Kensington & Chelsea,
Planning and Conservation Department,
The Town Hall,
Hornton Street,
London W8 7NX

Direct Line: 0171 647 7362
E-Mail rj.greenslade@cluttons.com
Our Ref: 857A-8485-SCL.RJG
Your Ref: DPS/DCSE/TP/98/0166

Date: 12th June 1998

RECEIVED BY PLANNING SERVICES							
EX DIR	HDC	N	C	SW	SE	ENF	AO ACK
15 JUN 1998							
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEES	

*AC
copy plan 520
please*

Dear Sirs,

The Wellcome Trust Limited (A Registered Charity No. 210183)
The South Kensington Estate
17-19 Onslow Square, London SW7
Construction of the Mansard Roofs

In accordance with our telephone conversations, we now enclose drawing Nos. 7200/R/01 and 7200/P/02C. These drawings incorporate the amendments as requested by Miss Helena Benes during a meeting held on 6th April 1998, as follows.

1. Alterations of the hipped roof arrangement to match No. 21. The roofing lines are shown on Drawing No. 7200/R/01.
2. Alterations to the sash window design to the front mansard dormer windows.

As discussed, we wish this application to be taken in isolation with that at No. 15. Our client is the freeholder of the property at No. 15 and therefore any alterations to that property will be subject to scrutiny and approval by ourselves. As such, we have the authority to control the development at No. 15 and therefore the leaseholder (should they continue to proceed with their application) will be required to match our proposals and not the other way round. The main aspect which this relates to is the provision of means of escape to the front parapet gutter; this will need to be designed accordingly by the leaseholder of No. 15 if they proceed with their proposals. At present, however, we would wish you to consider our proposals as submitted.

PARTNERS

LONDON RW Jonas FRICS S Hibberdine BSC FRICS DMS Hampton MA FRICS RGC Clarke FRICS RWR Cullum FRICS CAG Hatherell MSc FRICS RH Cobb FRICS RB Denny BSC FRICS GH Mounsey-Heysham FRICS
RS Cotton BSC FRICS AB Peterkin BSC FRICS DL Warner BA FRICS MFA Tolley BSC CEM FRICS PCSI MISOURI RAA Cresswell MSc DipT FRICS MRTPI IW Noble FRICS SH Scott Barrett MA FRICS ACIAA AN Dunkley FRICS GE Clutton BA FRICS
MG Chumbley DipT FRICS MRTPI JEC Briant BA FRICS BE Brown FRICS WP Siegle FRICS WD Leefe BSC FRICS GM Hall BSC FRICS SH Quincey MA FRICS Dip Prof Man RW Lodge BSC FRICS JPS Bhatia FRICS ACIAA
NA Crockett BSC FRICS TK Gibbs BSC FRICS JC Tune FCA K Gatford FIST AJ Stanley FRICS MBA TDJ Marshall CNC Lowrey BSC PJWS Ling FRICS FAAY AE Ford ASVA CE Millington BSC FRICS WG Lee MA FRICS
NP Baynes BSC FRICS ACIAA AD Stanford BSC FRICS JE Barrett BA FRICS RLB Read MI Dix FRICS G Hubble FRICS JK Hayes BSC FRICS HPW Payne BA DipT FRICS MRTPI ANL Shapland BSC FRICS KM Aitchison BSC Dip Bldg Est FRICS
N Andrews BSC FRICS AS Whitehouse BSC FRICS JF German BSC FRICS ADM Forrester BSC FRICS ARUNDEL & GOODWOOD NGH Draffan MA FRICS AD Kinnear FRICS TG Butler BSC FRICS CR Jowett FRICS FAAY BATH & WELLS
CP Stewart-Morgan FRICS R Pitman LLB FRICS FAAY CM Cox BSC FRICS PH Smalley TD BSC FRICS FAAY CL Dawson MA FRICS RKW Jackson GR Merrett ASVA RH Bartlett BSC FRICS BRIGHTON W Shipley BSC FRICS
CANTERBURY & MAIDSTONE PH Harland FRICS AJ Meire FRICS GJ Cartet FRICS FRENCH JD Tennant FRICS MJ Lington FRICS DA Elliott BSC FRICS DG Parry FRICS CFC Payne CARLISLE GH Mounsey-Heysham FRICS
CARNOUSTIE BCG Laughton FRICS OXFORD JCC Bell FRICS WF Hughes FRICS JR Dingle FRICS AJ Packe FRICS HET St John BSC FRICS RD Seares BSC FRICS Dip Rating IRRV SE Hodgkinson ROMSEY WF Hughes FRICS
WG Sleeman BSC FRICS ASVA SJ Melligan MA MA MRTPI ABU DHABI MR Bellamy BSC ACIO MBA DUBAI & SHARJAH R Hinchey FRICS BAHRAIN & SAUDI ARABIA DM Bradley FRICS IRRV OMAN MC Lowes BSC FRICS
ASSOCIATES SA Crowsley FASJ JR Gray BSC FRICS S Puddicombe BSC FRICS PJ Stapley BSC FRICS CONSULTANTS RH Clutton CBE FRICS PW Trumper FRICS RAS Brock FRICS NH Clutton CBE FRICS JO Trumper FRICS
AH Flint MA FRICS CH Brown FRICS MLH Sankey FRICS BUSINESS OPERATIONS MANAGER GE Green ASSOCIATED OFFICES Ayr Edinburgh & Haywards Heath



2/...

We would therefore be grateful if you could process our application in this respect, but please do not hesitate to contact the writer at this office should you have any queries.

Yours faithfully,

A handwritten signature in black ink, appearing to read "R.J. Greenslade", is written over a faint, illegible typed name.

R.J. Greenslade
for Cluttons Daniel Smith

Enc.

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These my set of drugs
Bruce
3 small
revisions
copy of form.
shall I do a formal of. in the meantime
B. 217

Helena - would I
have your obs. on these
revisions please

PP 29.6

Bruce,

The elevations better, the
roof plan OK but some
odd window positioning at
rear. The rest of the drawings
are still all over the place,
some possibly superseded, some
rather sketchy. Pl. discuss.
P. 29/6/78

MESSAGE FORM

WHILE YOU WERE OUT

To

M

of

Tel. No.

.....
.....
.....

<input type="checkbox"/>	PLEASE RING	<input type="checkbox"/>	CALLLED TO SEE YOU
<input type="checkbox"/>	PLEASE VISIT	<input type="checkbox"/>	TELEPHONED
<input type="checkbox"/>	WILL RING YOU	<input type="checkbox"/>	WANTS TO SEE YOU
<input type="checkbox"/>	WILL CALL AGAIN	<input type="checkbox"/>	URGENT

re

Message

.....

Signed

Date

Time

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.....



RBKC
District Plan Observations
CONSERVATION AND DESIGN

Address 17/19, Dorset Square	Appl. No. 98/167/BC	L.B. II	C.A. 134	N C SE
Description Roof addition, adjustments to fire escapes roofs and pipework		Code AS M		

This would appear acceptable in principle, roof mansards with vertical ^{atrium} run, seem to exist in the terrace. The fire escape route adjustments appear to make sense. Pipework simplification at front welcome.

I will need to check this on site & query some details with the architect: -

- dormer framing thickness
- drainage
- gl. pattern
- roof top design on No. 19 ~
- no external changes at all ~ Stairs ~
fire regs ~ WS.

J.

27/4/98

C: - railings, walkways, steps all to be black painted

ENGLISH HERITAGE



Director of Planning & Transportation
 Royal Borough of Kensington & Chelsea
 The Town Hall
 Hornton Street
 LONDON
 W8 7NX

Your refs: DPS/DCSE/BC/TP
 /98/0167
 Our ref: LRS/2718/17
 Contact: P Calvocoressi
 Direct Dial: 0171-973 3763

RECEIVED BY PLANNING SERVICES							
EX DIR	HDC	N	C	SW	SE	ENF	AO ACK
- 4 MAR 1998							
AH							
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEES	

27 FEB 1998

Dear Sir/Madam

**Planning (Listed Buildings and Conservation Areas) Act, 1990:
 ATTIC ROOMS, FOURTH FLOOR, 17-19 ONSLOW SQUARE, SW7**

Applicant: The Wellcome Trust Ltd
Grade of building: II
Proposed works: Construction of new mansard roofs.

Drawing numbers: 7200/M/01 to 04; 7200/ME/01, 02, 03, 04, 08 & 09; 7200/P/O1C and 02B; 7200/X/01; 20606/3; 30499/4A & 5.

Date of application: 22.01.1998
Date of referral by Council: 05.02.1998
Date received by English Heritage: 09.02.1998
Date referred to D.o.E.: 24.02.1998

You are hereby authorised to determine the application for listed building consent referred to above as you think fit. In so doing English Heritage would stress that it is not expressing any views on the merits of the proposals which are the subject of the application, nor any parallel application for planning permission.

Yours faithfully

PAUL CALVOCORESSI
 London Region

The Secretary of State has considered the information given above and does not intend to require the application concerned to be referred to him

Signed JCR/mk
 Date 26/2/98

LR/F

THE ROYAL
BOROUGH OF

NOTICE OF A PLANNING APPLICATION

TOWN AND COUNTRY PLANNING ACT 1990
PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990



KENSINGTON
AND CHELSEA

Notice is hereby given the Royal Borough of Kensington and Chelsea Council have received an application:

- (a) for development of land in or adjacent to a Conservation Area.
- (d) for consent to demolition and/or alteration of a building which is of architectural or historic interest.

Details are set out below.

Members of the public may inspect copies of the application, the plans and other documents submitted with it at:

The Planning Information Office, 3rd Floor, The Town Hall, Hornton Street, W8 7NX between the hours of 9.15 and 4.45 Mondays to Thursdays and 9.15 to 4.30 Fridays;

For applications in the Chelsea area: The Reference Library, Chelsea Old Town Hall, Tel. 0171-361-4158.

For postal areas W10, W11, and W2: The 1st floor, North Kensington Library, 108 Ladbroke Grove, W11. Tel. 0171-727-6583.

Anyone who wishes to make representations about this application should write to the Executive Director of Planning and Conservation at the Town Hall (Department 705) within 21 days of the date of this notice.

SCHEDULE

Large flat, PF

Reference: TP/98/0166/BC

Date: 13/02/98

ATTIC ROOMS, FOURTH FLOOR, 17/19 ONSLOW SQUARE, S.W.7

Construction of new mansard roofs to the properties to create one new two bedroom flat.

APPLICANT The Wellcome Trust Limited



98/0766

SK

Planning Department
Royal Borough of Kensington & Chelsea
The Town Hall
Hornton Street
London W8 7NX

9th February, 1998

Dear Sirs,

RECEIVED BY PLANNING SERVICES

EX DIR	HDC	N	9	BW	SE	ENF	AC AC
12 FEB 1998							SK
APPEALS	IO	RZC	AMB	FWD PLN	CON DEB	FEEB	

132

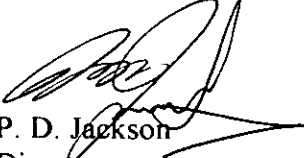
037

SK

re: **The Wellcome Trust Ltd (A Registered Charity No. 210183)**
The South Kensington Estate (17-19 Onslow Square, London SW7)
Town & Country Planning Act 1990
Notice Under Section 66 of Application for Planning Permission
Planning (Listed Buildings in Conservation Areas) Act 1990
Notice Under Section 11 Part 1 of Application For Listed Building Consent

I strongly object to the proposals outlined above. Apart from the nightmare of adding to the parking problems that already exist, we feel that Flat 8, which our Company lets, would be substantially affected by the noise and disruption caused by such a major project and thus it would spoil the quiet enjoyment of the tenants. These tenants pay a very substantial rent and if they were forced to vacate the property due to the huge disruption and noise and demand compensation, then Welcome Trust would quite clearly be expected to pay for that compensation.

Yours faithfully,
Lefebvre Investments Ltd


P. D. Jackson
Director

PLANNING AND CONSERVATIONTHE TOWN HALL HORNTON STREET LONDON W8 7NX

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS

Director of Planning Services

**THE ROYAL
BOROUGH OF****KENSINGTON
AND CHELSEA**

COUNCIL NOTIFICATION OF DEVELOPMENTTHE OCCUPIER
FILE COPY

Switchboard: 0171 - 937 5464

Direct Line: 0171-361 2079/2080

Facsimile: 0171 - 361 3463

Date: 05/02/98

My reference:

Your reference:

Please ask for:

Planning Information Office

DPS/DCSE/BC/TP/98/0166

**THIS LETTER INVITES YOU TO COMMENT ON A PLANNING APPLICATION /
LISTED BUILDING APPLICATION WHICH MAY AFFECT YOUR PROPERTY**

Dear Sir/Madam,

The Council has received a planning application for development at a property which is close to yours. The address of that property is set out below, together with brief details of the development for which permission is sought. The Council's Planning Applications Committee, in considering the proposal, will welcome comments, for or against the scheme from those who live in or own property nearby. I should therefore be pleased to know, in writing, if you as the occupier/owner of neighbouring property have any comments.

Address of application propertyATTIC ROOMS, FOURTH FLOOR, 17/19 ONSLOW SQUARE,
S.W.7**Proposal for which permission is sought**Construction of new mansard roofs to the properties to
create one new two bedroom flat.

Further details are printed overleaf.

Yours Sincerely,

M.J. FRENCH

Executive Director, Planning and Conservation

TOWN AND COUNTRY PLANNING ACTS, 1990

The Council is required by the Secretary of State for the Environment to consider all planning applications expeditiously. Any letter of support or objection should be received as soon as possible within 21 days of the date of this letter, although later objections, if received in time, will be reported to the Council Committee meeting which decides the application. An early response gives the Council's Officers the opportunity to encourage applicants to amend their plans in the light of objections received, and the application may therefore be amended before it is decided. If you cannot formulate your detailed objections within 21 days you should acknowledge this letter so that your interest can be noted.

The reasons for any objection should be clearly stated.

Objections relating to party walls and inconveniences which may be caused by building operations should however be taken up, either by yourself or your professional representative, with the applicant.

All correspondence received will be available to members of the determining Committee when the application is considered.

It must be clearly understood that any comments you may choose to make will be made available to the applicant, his agent and any other interested party, pursuant to the requirements of the Local Government (Access to Information) Act, 1985.

Should there be any tenants in the buildings of other persons likely to be affected by this application, would you please be good enough to bring this letter to their attention.

If you are not the owner of the property to which this notice is addressed will you kindly forward this letter to the owner.

WHERE TO EXAMINE THE PLANS

The plans and/or application details referring to this proposal may be inspected at the Planning Information Office on the 3rd floor at the Town Hall, Hornton Street, W8 7NX, between the hours of 9.00 a.m. and 4.45 p.m., Mondays to Thursdays and 9.00am to 4.15pm Fridays.

Alternatively, copies of all planning applications relating to:

- (a) the Chelsea area can be examined at the Reference Library, Chelsea Old Town Hall, King's Road, SW3. Tel. 0171-361-4157. Any questions you have regarding Planning matters should be directed to the Planning Department at the Town Hall, Hornton Street, W8. Tel. 0171-361-2079/2080
- (b) the postal areas W10, W11, or W12 can be examined at the 1st Floor, North Kensington Library, 108 Ladbroke Grove, W11. Tel. 0171-727 6583

Please telephone the Chelsea and Westway offices to check opening times.

Please quote the T.P. reference number on all written replies.

- Please note:**
- i) In the interest of economy, letters in agreement or without objections to the proposals will not be acknowledged.
 - ii) Should you be interested in attending the Committee Meeting at which the application is to be determined, you are advised to contact the Planning Information Office.

MEMORANDUM

From: EXECUTIVE DIRECTOR,
PLANNING AND CONSERVATION

To: FOR FILE USE ONLY

My Ref: TP/98/0166/BC

Your Ref:

P.A.X.No. 2087

Date: 05/02/98

DEVELOPMENT

ATTIC ROOMS, FOURTH FLOOR, 17/19 ONSLOW SQUARE, S.W.7

Construction of new mansard roofs to the properties to create one new two bedroom flat.

Would you please advertise the above development under:-

1. Section 73 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (development affecting the character or appearance of a Conservation Area or adjoining Conservation Area).
4. Town and Country Planning (LISTED BUILDINGS AND CONSERVATION AREAS) Regulations, 1990 (applications for listed building consent).

M.J. FRENCH
EXECUTIVE DIRECTOR, PLANNING AND CONSERVATION

DEVELOPMENT CONTROL

TECHNICAL INFORMATION

OA

THE ROYAL
BOROUGH OF



KENSINGTON
AND CHELSEA

ATTIC ROOMS, FOURTH FLOOR

ADDRESS 17-19 Onslow Square

TP980166

TP980166

SE

- | | | | |
|-----|---|--------|--|
| HB | Buildings of Architectural or Historic interest | LSC | Local Shopping Centre |
| AMI | Area of Metropolitan Importance | AI | Sites of Archeological Importance |
| MDO | Major Sites with Development Opportunities | SV | Designated View of St. Paul's From Richmond |
| MOL | Metropolitan Open Land | SNCI | Sites of Nature Conservation Importance |
| SBA | Small Business Area | REG 7 | Restricted size and use of Estate Agent Boards |
| PSC | Principal Shopping Centre (Core or Non core) | ART IV | Restrictions of Permitted Development Rights |

Conservation Area	HB	CPO	TPO	AMI	MDO	MOL	SBA	Unsuitable for Diplomatic use	PSC		LSC	AI	SV	SNCI	REG 7	ART IV
									C	N						
13A	III															

Density	
Site Area	
Habitable rooms proposed	
Proposed Density	

Plot Ratio	
Site Area	
Zoned Ratio	
Floor Area proposed	
Proposed Plot Ratio	

Daylighting	Complies	
	Infringes	

Car Parking	spaces required	
	spaces proposed	

Notes

17 ONSLOW SQUARE

Property Card N° : 0608 048 00

Sitename :
 Comment :
 TP Arch/History : H 3435
 See Also : 15/23

Xref :
 Notes :

TP No TP/76/0767	Brief Description of Proposal	1	of	3	Adverts & History No
THE RECONSTRUCTION OF THE TOP FLOOR.					

Received	Decision & Date	Appeal	Works
Completd	Conditional	28/10/76	Lodged
Revised	LBC		Completed

TP No TP/98/0124	Brief Description of Proposal	2	of	3	Adverts & History No
<- FLAT 3					

Received	Decision & Date	Appeal	Works
Completd		Lodged	Completed
Revised			

TP No TP/98/0123	Brief Description of Proposal	3	of	3	Adverts & History No
<- FLAT 3					

Received	Decision & Date	Appeal	Works
Completd		Lodged	Completed
Revised			

15-23 ONSLOW SQUARE

Property Card N° : 0608 044 00

Sitename :
 Comment :
 TP Arch/History : 44161 H 3435 (HB)
 See Also : Ind. Nos.

Xref :
 Notes :

TP No	Brief Description of Proposal	1	of	1	Adverts & History No
	THE CONVERSION INTO 2 S/C MAISONNETTES AND 9 S/C FLATS WITH STORAGE, CARETAKERS AND GARDENERS ROOM AND WORKROOM FOR THE MAINTENANCE OF THE LETTINGS IN THE BASEMENT.				

Received	Decision & Date	Appeal	Works
Completd	Unconditional	18/11/48	Lodged
Revised			Completed

19 ONSLOW SQUARE

Property Card N° : 0608 051 00

Sitename :
 Comment :
 TP Arch/History : 44161 H 3435
 See Also : 15/23

Xref :
 Notes :

TP No	TP/89/1912	Brief Description of Proposal	1	of	1	Adverts & History No
INTERNAL ALTERATIONS AT BASEMENT AND GROUND FLOOR LEVELS						

Received	30/10/89	Decision & Date		Appeal	Works
Completd	31/10/89	Conditional	26/01/90	Lodged	Completed
Revised		LBC			

THE ROYAL BOROUGH OF KENSINGTON AND CHELSEA



M. J. FRENCH, ARICS, Dip. T. P.
Executive Director of Planning and Conservation

Department 705,
Room 325,
The Town Hall,
Hornton Street,
London,
W8 7NX

Telephone: 0171 - 361 - 2010

Facsimile: 0171 - 361 - 3463

30166

My reference: TP/

Your reference: 30166

Please ask for:

Dear Sir (Madam),

Town and Country Planning Act, 1990 – Town and Country Planning (General Permitted Development) Order 1995 and (Applications) Regulations, 1988 Town and Country Planning (Fees for Applications and Deemed Applications) Regulations 1989 and (Amendment) Regulations 1993

I refer to your Town Planning Application dated _____ for _____

I would advise you that before I can accept your application as a complete application – it will be necessary for you to provide the following information:-

- Photograph(s) of the existing front and rear elevation(s) in relation to adjacent properties.
- Complete and return 4 copies of the enclosed TP.1.Part.
- Complete and return 4 copies of the enclosed TP.1(HB/CA)Part.
- Copies of the existing plans, sections and elevations.
- Copies of **ALL** *8 copies of drawings*
- £ Total Fee Required £ _____
Received £ _____
Outstanding £ _____

You are requested to note that the eight weeks statutory period will not begin until the application has been completed.

Yours faithfully,

M. J. French

Executive Director of Planning and Conservation

PLEASE RETURN TEAR OFF SLIP BELOW WITH INFORMATION REQUIRED

REF: TP/C/APP/PEND

Address:

17-19 ONSLOW SQUARE
LONDON

RECEIVED BY PLANNING SERVICES
EX. 1000
C SW SE ENF AO
LONDON SW7 JACK

ATT/PM

To be completed by applicant: Please find enclosed the following:

TWO ADDITIONAL SETS OF DRAWINGS

Signed

Clare David

30 JAN 1998

73

PHOTOGRAPHS

Date

APPEALS 10 REC ARB FWD CON FEES
PLN DE04/3/37



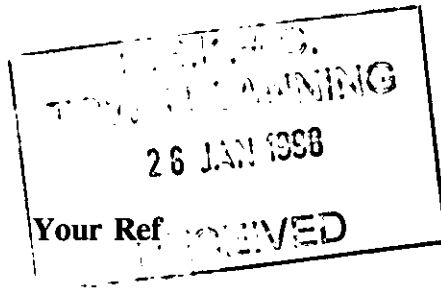
Chartered Surveyors • Property Consultants

Meriden House 42 Upper Berkeley Street Hyde Park London W1H 8EP Telephone 0171 724 4545
FAX 0171 724 4040 LDE BOX NO 104 E.MAIL bsd@cluttons.co.uk

OTHER LONDON OFFICES 45 Berkeley Square W1X 5DB 0171 408 1010 • 32 St James's Street SW1 • 48 Pelham Street SW7 • 73 Sloane Avenue SW3 • 23 Albion Street W2
25 St John's Wood Park NW8 • 72 Southgate Road N1 • 3 Gainsford Street SE1 • 109 Upper Thames Street EC4 • 303 Rotherhithe Street SE16

Mrs N Brooke
Flat 3, 11 Onslow Square
London SW7

Our Ref
693-8485.AS.RJG



TP980166

Date
23 January 1998

Dear Madam,

The Wellcome Trust Limited (A Registered Charity No.210183)
The South Kensington Estate, 17-19 Onslow Square, London, SW7
Town & Country Planning Act 1990
Notice Under Section 66 of Application For Planning Permission
Planning (Listed Buildings in Conservation Areas) Act 1990
Notice Under Section 11 Part 1 of Application For Listed Building Consent

On behalf of our client, we have submitted an application for the construction of a new mansard roof over each of the above properties to replace the existing roof structure, to produce a new self-contained flat, which will also include the improvement of existing means of escape route over the roofs of Nos.11-15. As part of the application, we are obliged to inform you that an application has been made to the Royal Borough of Kensington & Chelsea for the proposed development.

If you should wish to make representations about the application, you should do so in writing within twenty days of the date of service of this Notice to the Planning Department, the Royal Borough of Kensington & Chelsea, The Town Hall, Hornton Street, London, W8 7NX.

Yours faithfully,

R J Greenslade

For Cluttons Daniel Smith

PARTNERS

LONDON RW Jonas FRICS S Hibberdine BSc FRICS DMS Hampton MA FRICS RGC Clarke FRICS RWR Cullum FRICS CAG Hatherell MSc FRICS RH Cobb FRICS RB Denny BSc FRICS GH Mounsey-Heysham FRICS
RS Cotton BSc FRICS AB Peterkin BSc FRICS DL Warner BA FRICS MFA Tolley BSc FRICS FRICS MISOUND RAA Cresswell MSc Dip FRICS MRTP IW Noble FRICS SH Scott Barrett MA FRICS ACAIA AN Dunkley FRICS GE Clutton BA FRICS
MG Chumbley Dip FRICS MRTP JEC Briant BA FRICS BE Brown FRICS WP Siegle FRICS WD Leefe BSc FRICS GM Hall BSc FRICS SH Quincey MA FRICS Dip Prop Man RW Lodge BSc FRICS JPS Bianco FRICS ACAIA NA Crockett BSc FRICS
TK Gibbs BSc FRICS JC Tune FCA K Gatford FST AJ Stanley FRICS MBA TDJ Marshall CNC Lowrey BSc PJWS Ling FRICS FAAV AE Ford ASVA CE Millington BSc FRICS WG Lee MA FRICS NP Baynes BSc FRICS AD Stanford BSc FRICS
JE Barrett BA FRICS RLB Read MI Dix FRICS G Hubble FRICS JK Hayes BSc FRICS HPW Payne BA Dip FRICS MRTP ANL Shapland BSc FRICS KM Aitchison BSc Dip BSc FRICS N Andrews BSc FRICS AS Whitehouse BSc FRICS
ARUNDEL & GOODWOOD NGH Draffan MA FRICS AD Kinnear ARICS TG Butler BSc FRICS CR Jowett ARICS FAAV **BATH & WELLS** NS Hawksley MA FRICS FAAV CP Stewart-Morgan FRICS R Pitman LLB ARICS FAAV
CM Cox BSc FRICS PH Smalley TD BSc FRICS FAAV CL Dawson MA FRICS RKW Jackson GR Metrett ASVA **BRIGHTON** W Shipley BSc FRICS **CANTERBURY & MAIDSTONE** PH Harland FRICS AJ Meire FRICS GJ Carter FRICS FRICS
JD Tennant ARICS MJ Lington ARICS DA Elliott BSc FRICS DG Parry FRICS **CARLISLE** GH Mounsey-Heysham FRICS **CARNOSTIE** BCG Laughton ARICS **OXFORD** JCC Bell FRICS WF Hughes FRICS JR Dingle FRICS
AJ Packe FRICS HET St John BSc FRICS RD Seares BSc FRICS Dip FRICS IRRV SE Hodgkinson **ROMSEY** WF Hughes FRICS **ABU DHABI** MR Bellamy BSc ACIOB MBA **DUBAI & SHARJAH** R Hinchey FRICS **BAHRAIN & SAUDI ARABIA**
DM Bradley FRICS IRRV **OMAN** MC Lowes BSc FRICS
ASSOCIATES SA Crowsley FASJ JR Gray BSc FRICS PJ Stapley BSc FRICS **CONSULTANTS** RH Clutton CRE FRICS PW Trumper FRICS RAS Brock FRICS NH Clutton CRE FRICS JO Trumper FRICS AH Flint MA FRICS CH Brown FRICS
MLH Sankey FRICS **BUSINESS OPERATIONS MANAGER** GE Green **ASSOCIATED OFFICES** Ayr Edinburgh & Haywards Heath



Chartered Surveyors • Property Consultants

Meriden House 42 Upper Berkeley Street Hyde Park London W1H 8EP Telephone 0171 724 4545
FAX 0171 724 4040 LDE BOX NO 104 E.MAIL bsd@cluttons.co.uk

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1580166

D Taylor Esq
The Royal Borough of Kensington & Chelsea
Conservation & Planning Department
The Town Hall
Hornton Street
London W8 7NX



Our Ref
564-8485.AS.RJG

Your Ref

Date
22 January 1998

Dear Mr Taylor,

The Wellcome Trust Limited (A Registered Charity No.210183)
The South Kensington Estate
17-19 Onslow Square, London, SW7
Proposed Construction of New Mansard Roofs

We now enclose a Planning Application and a Listed Building Consent application for proposals to construct new mansard roofs over each of the above properties, to create one flat at fourth floor level. You may recall some time ago, we had a meeting with yourself and Ms Helena Benes, and I believe it was generally agreed that the provision of new mansard additions to the properties would generally balance the overall terrace, providing the exact design could be agreed. In order to provide some uniformity to the terrace, we are intending to construct a hipped roof over No.19 to match that of the adjacent property of No.21. Nos. 19 and 21 are key houses within the terrace. We have also taken the opportunity to amend the detailing to the front elevation rainwater pipework, which at present is rather ugly. Our proposals are detailed on the enclosed drawings but briefly comprise the following:-

- i) The complete removal of the existing roof structures and coverings to the properties. The construction of new roofs to comprise a new mansard to the front elevations with the existing walls raised vertically to the rear.
- ii) Any existing partitions etc are to be removed internally although there is little remaining to these areas. The existing third to fourth floor staircase in No.17 is to be retained and reused.

1..2

PARTNERS

LONDON RW Jonas FRICS S Hibberdine BS:FRICS DMS Hampton MA:FRICS RGC Clarke FRICS RWR Cullum FRICS CAG Hatherell MS:FRICS RH Cobb FRICS RB Denny BS:FRICS GH Mounsey-Heysham FRICS
RS Cotton BS:FRICS AB Peterkin BS:FRICS DL Warner BA:FRICS MFA Tolley BS:FRICS RAA Cresswell MS:FRICS MG Chumbley D:PT:FRICS MRTH JEC Briant BA:FRICS BE Brown FRICS WP Siegle FRICS WD Leefe BS:FRICS GM Hall BS:FRICS SH Quincey MA:FRICS RW Lodge BS:FRICS JPS Bianco FRICS ACIA: NA Crockett BS:FRICS
TK Gibbs BS:FRICS JC Tune FCA K Garford FSST AJ Stanley FRICS MBA TDJ Marshall CNC Lowrey BS:FRICS PJWS Ling FRICS FAAV AE Ford ASVA CE Millington BS:FRICS WG Lee MA:FRICS NP Baynes BS:FRICS AD Stanford BS:FRICS
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CM COX BS:FRICS PH Smalley TD BS:FRICS FAAV CL Dawson MA:FRICS RKW Jackson GR Merritt ASVA BRIGHTON W Shiplee BS:FRICS CANTERBURY & MAIDSTONE PH Harland FRICS AJ Meire FRICS CJ Carter FRICS FB:FRICS
JD Tennant ARICS MJ Linington ARICS DA Elliott BS:FRICS DG Parry FRICS CARLISLE GH Mounsey-Heysham FRICS CARROUSTIE BCG Laughton ARICS OXFORD JCC Bell FRICS WF Hughes FRICS JR Dingle FRICS
AJ Packe FRICS HET St John BS:FRICS RD Seares BS:FRICS SE Hodgkinson FRICS ABU DHABI MR Bellamy BS:FRICS DUBAI & SHARJAH R Hinchey FRICS SAUDI ARABIA
DM Bradley FRICS OMAN MC Lowes BS:FRICS
ASSOCIATES SA Crowsley FASJ JR Gray BS:FRICS PJ Stapley BS:FRICS CONSULTANTS RH Clutton CBE FRICS PW Trumper FRICS RAS Brock FRICS NH Clutton CBE FRICS JO Trumper FRICS AH Flint MA:FRICS CH Brown FRICS
MLH Sankey FRICS BUSINESS OPERATIONS MANAGER GE Green ASSOCIATED OFFICES Ayr Edinburgh & Haywards Heath



1..2

- iii) At present there is an existing reciprocal means of escape leading from No.17 to No.11 across the parapet gutters of these properties. During initial discussions with the local Building Control, it is a requirement that this is upgraded and our proposals therefore include for this. This includes the removal of sections of the existing party walls and the provision of new handrail details.
- iv) As part of the works, it is the intention to remove and replace all the existing entrance doors into each of the flats throughout the property with new fire resisting doors. The design of all of these doors will be to match existing. At present, there is an existing glazed partition around the staircase leading down to the basement. It is our proposal to replace the existing glass with clear fire resisting glass to match existing. The existing door down into the basement will also be replaced with a new fire resisting door.

We hope that our proposals are clear but if you require any further information then please do not hesitate to contact me.

Yours sincerely,

A handwritten signature in black ink, appearing to read "R J Greenslade", written in a cursive style.

R J Greenslade

Enc.

TOWN & COUNTRY PLANNING ACT 1990

FORM TP1

APPLICATION FOR PERMISSION TO DEVELOP LAND AND/OR BUILDINGS IN GREATER LONDON

FOR OFFICE USE ONLY

COMPLETE

Fee £ 190-00

Cheque / Postal Order / Cash 036929 - 2 FEB 1998

Receipt No. Issued 1010046

Borough Ref.

Registered No.

Date Received

RECEIVED BY PLANNING SERVICES									
NO	DIR	REC	N	C	SW	SE	ENF	AO	ACK

PLEASE READ CAREFULLY THE GENERAL NOTES BEFORE FILLING IN THE FORM

PART ONE To be completed by or on behalf of all applicants as far as applicable
FEE (where applicable)

APPEALS	IO	REC	APR	AWD	CON	FEES
---------	----	-----	-----	-----	-----	------

1. APPLICANT (in block capitals)

Name The Wellcome Trust Limited
 Address c/o Cluttons Daniel Smith
48 Pelham Street
London SW7 2NW
 Tel. No. 0171 584 3651

AGENT (if any) to whom correspondence should be sent

Name Cluttons Daniel Smith
 Address 42 Upper Berkeley Street
London W1H 8EP
 Tel. No. 0171 724 4545 Ref. RJG

TPS 00166

2. PARTICULARS OF PROPOSAL FOR WHICH PERMISSION IS SOUGHT

(a) Full address or location of the land to which this application applies
Attic rooms, fourth floor
17-19 Onslow Square, London SW7

(b) Site area
Approx. 150200m.sq

(c) Give details of proposal indicating the purpose for which the land/buildings are to be used and including any change(s) of use.
Construction of new mansard roofs to the properties
to create one new two bedroomed flat.

(d) State whether applicant owns or controls any adjoining land and if so, give its location.
Freehold owner of Nos.9-23 Onslow Square
London SW7 and of a large number of buildings in
South Kensington

(e) State whether the proposal involves:-

State Yes or No

(i) New building(s) or extension(s) to existing building(s)

YES

If "Yes" state gross floor area of proposed building(s).

Approx 150-200 m²

If residential development state number of dwelling units proposed and type if known, e.g. houses, bungalows, flats.

One new self-contained flat

(ii) Alterations

YES

(iii) Change of use

NO

(iv) Construction of new access to a highway } vehicular pedestrian

NO

(v) Alteration of an existing access to a highway } vehicular pedestrian

NO

If "Yes" state gross area of land or building(s) affected by proposed change of use (if more than one use involved state gross area of each use).

2 FFR 100g
Hectares/m²

Strike out whichever is inapplicable

3. PARTICULARS OF APPLICATION

State whether this application is for: State Yes or No

- (i) Outline planning permission NO
- (ii) Full planning permission YES
- (iii) Renewal of temporary permission or permission for retention of building or continuance of use without complying with a condition subject to which planning permission has been granted. NO
- (iv) Consideration under Section 72 only (Industry) NO

If "Yes" strike out any of the following which are not to be determined at this stage.

- 1. Siting
- 2. Design
- 3. Landscaping
- 4. External appearance
- 5. Means of access

If "Yes" state the date and number of previous permission and identify the previous condition.

Date Number

The Condition

4. PARTICULARS OF PRESENT AND PREVIOUS USE OF BUILDINGS OR LAND

State :-

- (i) Present use of buildings/land Residential
- (ii) If vacant the last previous use and period of use with relevant dates.

5. LIST ALL DRAWINGS, CERTIFICATES, DOCUMENTS, ETC; forming part of this application

..... 7200/M/01-04, 7200/P/02B, 7200/P/01C, 7200/ME/01-04 and 08-09

6. ADDITIONAL INFORMATION State Yes or No

- (a) Is the application for non-residential development NO If "Yes" complete PART THREE of this form (See PART THREE for exemptions)
- (b) Does the application include the winning and working of minerals NO If "Yes" complete PART FOUR of this form
- (c) Does the proposed development involve the felling of any trees NO If "Yes" state numbers and indicate precise position on plan
- (d) (i) How will surface water be disposed of? N/A
- (ii) How will foul sewage be dealt with? Connected into existing
- (e) Materials - Give details (unless the application is for outline permission) of the colour and type of materials to be used for:
 - (i) Walls Second hand brickwork to match adjacent
 - (ii) Roof Natural slates and lead
 - (iii) Means of enclosure N/A

We hereby apply for (strike out whichever is inapplicable)

- (a) Planning permission to carry out the development described in this application and the accompanying plans in accordance therewith
- (b) Planning permission to retain the building(s) or work(s) already constructed or carried out, or a use of the land already instituted as described in this application and accompanying plans.

Signed Clifford Dunsen on behalf of THE WELCOME TRUST LTD Date 22/1/98

AN APPROPRIATE CERTIFICATE MUST ACCOMPANY THIS APPLICATION (See General Notes)

If you are the ONLY owner of ALL the land at the beginning of the period 20 day before the date of application, complete Certificate A. If otherwise see PART TWO of this form.

CERTIFICATE A - Certificate under Section 66 of the Town & Country Planning Act 1990. I hereby certify that:-

- *Strike out whichever is unapplicable.
- 1. No person other than the applicant was an owner (a) of any part of the land to which the application relates at the beginning of the period of 20 days before the date of the accompanying application.
- 2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or
- 3. *I have / the applicant has given requisite notice to every person other than *myself/himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:-

(a) "Owner" means a person having freehold interest or a leasehold interest the unexpired term of which was not less than 7 years.

Name and Address of Tenant

Date of Service of Notice

Signed on behalf of Date

IF 20 DAYS BEFORE MAKING THE APPLICATION YOU ARE NOT THE ONLY OWNER OF ALL THE LAND AND HAVE SIGNED A CERTIFICATE ON PART ONE OF THE FORM THEN DO NOT COMPLETE PART TWO OF THE FORM. For definition of 'owner' see General Notes

EX [HDC] N C SW SE CIV JACK

PART TWO TOWN AND COUNTRY PLANNING ACT 1990 CERTIFICATE UNDER SECTION 66

26 JAN 1999

PLEASE READ THE NOTES OVERLEAF BEFORE FILLING IN PART TWO.

CERTIFICATE B

I hereby certify that:

APPEALS IO REC ARB FWD CON FEES

† See note (a) to Certificate

1. I have/the applicant has* given the requisite notice to all persons who 20 days before the date of accompanying application, were owners of any part of the land to which the application relates, viz:

Name of Owner AS ENCLOSED LETTERS Address TP980166
Date of Service of Notice

*2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or

3. I have/the applicant has given the requisite notice to every person other than myself/himself* who, 20 days before the date of the application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:

Name and Address of Tenant

Date of Service of Notice

Signed Clifford David on behalf of THE WELLSOME TRUST Date 22.1.99

* Strike out whichever is inapplicable

CERTIFICATE C

I hereby certify that:

† See note (a) to Certificate

1. (i) I am/the applicant is* unable to issue a certificate in accordance with either paragraph (a) or paragraph (b) of Section 66 (1) of the Act, in respect of the accompanying application dated

(ii) I have/ the applicant has* given the requisite notice to the following persons who, 20 days before the date of the application, were owners of any part of the land, to which the application relates, viz:

Name of Owner Address
Date of Service of Notice

(iii) I have/the applicant has* taken the steps listed below, being steps reasonably open to me/him* to ascertain the names and addresses of the other owners of the land or part thereof and have/has* been able to do so:

(a)

*2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or

3. I have/the applicant has been given the requisite notice to every person other than myself/himself* who, 20 days before the date of the application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:

Name and Address of Tenant

Date of Service of Notice

Signed on behalf of Date

(a) Insert description of steps taken.
(b) Insert name of local newspaper circulating in the locality in which the land is situated.
(c) Insert date of publication (which must not be earlier than 20 days before the application).

* Strike out whichever is inapplicable

CERTIFICATE D

I hereby certify that:

† See note (a) to Certificate

1. (i) I am/the applicant is* unable to issue a certificate in accordance with Section 66 (1) (a) of the Act in respect of the accompanying application dated and have/has* taken the steps listed below, being steps reasonably open to me/him*, to ascertain the names and addresses of all the persons who, 20 days before the date of the application were owners of any part of the land to which the application relates and have/has* been unable to do so:

(a)

(iii) Notice of application as set out below has been published in the (b) on (c) (Copy of notice as published).

*2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or

3. I have/the applicant has given the requisite notice to every person other than myself/himself* who, 20 days before the date of application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:

Name and Address of Tenant

Date of Service of Notice

Signed on behalf of Date

(a) Insert description of steps taken.
(b) Insert name of local newspaper circulating in the locality in which the land is situated.
(c) Insert date of publication (which must not be earlier than 20 days before the application).

* Strike out whichever is inapplicable



Chartered Surveyors • Property Consultants

Meridien House 42 Upper Berkeley Street Hyde Park London W1H 5EP Telephone 020 7724 4545
FAX 020 7724 4040 LDE BOX NO 104 E-mail bsd@cluttons.com www.cluttons.com

J. Nicholls Esq
The Royal Borough of Kensington and Chelsea
Planning and Conservation Dept.
Town Hall
Hornton Street
London W8 7NX

Direct Line : 020 7647 7362
E-Mail : rj.greenslade@cluttons.com
Our Ref : 13-03-0881.rjg
Your Ref : DPS/DCSE/E/01/4127/JN

13th March 2002

Dear Sirs

**The Wellcome Trust Ltd. (A Registered Charity No. 210183)
Flat 5, 17 Onslow Square, London SW7**

Further to your letter dated 26th February 2002, I enclose four copies of the "As-built" plan form of the property as requested.

Regarding the other matters in your letter, following a telephone conversation with Mr. Mark Aylmer of this office and Mr. Adamtyzk, we would request a meeting to discuss these. I would therefore be grateful if you could contact me to arrange a convenient appointment.

Yours sincerely,

Richard J. Greenslade

ejm 15-3-02.

EX DIR	HDC	TP	CAG	AD	GLU	AO AK
R.B. K.C.	15 MAR 2002		PLANNING			
N. C. A.			REC		SI	
ADDRESSING FEES						



INVESTOR IN PEOPLE

A full list of Partners is available from our Head Office. See overleaf for a list of offices.

HEAD OFFICE: 45 Berkeley Square, W1J 5AS Telephone 020 7408 1010

LONDON OFFICES

48 Pelham Street
Kensington SW7 2NW
Telephone 020 7584 3651

73 Sloane Avenue
Chelsea SW3 3DH
Telephone 020 7584 1771

84 Bourne Street
Belgravia SW1W 8HQ
Telephone 020 7730 0303

42 Upper Berkeley Street
Hyde Park W1H 5EP
Telephone 020 7724 4545

23 Albion Street
Hyde Park W2 2AS
Telephone 020 7262 2226

5 Addison Avenue
Holland Park W11 4QS
Telephone 020 7371 3600

25 St. John's Wood Park
Hyde Park NW8 6QR
Telephone 020 7722 7007

53 Charlbert Street
St John's Wood NW8 6JN
Telephone 020 7586 5863

36 Horselydown Lane
Tower Bridge SE1 2NJ
Telephone 020 7407 3669

61 Wapping Wall
Wapping E1W 3SD
Telephone 020 7488 4858

125 Lavender Hill
Battersea SW11 3QJ
Telephone 020 7228 0023

REGIONAL OFFICES

1 London Road
Arundel
West Sussex BN18 9BH
Telephone 01903 882213

23 Gay Street
Bath BA1 2NS
Telephone 01225 447575

Edgar Buildings
Bath BA1 2EE
Telephone 01225 469511

10/12 The Broadway
Old Beaconsfield
Buckinghamshire HP9 1ND
Telephone 01494 681111

44-46 Old Steine
Brighton
East Sussex BN1 1NH
Telephone 01273 738383

3 Beer Cart Lane
Canterbury
Kent CT1 2NJ
Telephone 01227 457441

Castletown
Rockcliffe
Carlisle

Cumbria CA6 4BN
Telephone 01228 674792

The Coach House
Pickwick Road
Corsham
Wiltshire SN13 9BJ
Telephone 01249 715511

26-28 Albion Place
Maidstone
Kent ME14 5DZ
Telephone 01622 756000

Blackett House, Matfen
Newcastle upon Tyne NE20 0RH
Telephone 01661 886888

13 Beaumont Street
Oxford OX1 2LP
Telephone 01865 728000

1 Eastwood Court
Broadwater Road
Romsey
Hampshire SO51 8JJ
Telephone 01794 522670

No 1 Mount Ephraim Road
Tunbridge Wells
Kent TN11 1ET
Telephone 01892 616666

9 Sadler Street
Wells
Somerset BA5 2RR
Telephone 01749 678012

ESTATE OFFICES

Goodwood
Chichester
West Sussex PO18 0PX
Telephone 01243 755000

Sutton Scotney
Winchester
Hampshire SO21 3JW
Telephone 01962 760207

OVERSEAS

Dubai
Telephone 009714 3348585

Bahrain
Telephone 00973 535003

Sharjah
Telephone 0097165 723794

Oman
Telephone 00968 564250

Saudi Arabia
Telephone 009663 8572023

South Africa
Telephone 002721 425 8989

ASSOCIATED OFFICES

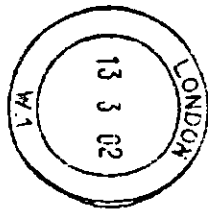
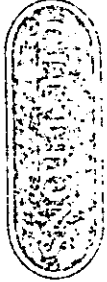
55 Perrymount Road
Haywards Heath
West Sussex RH16 3BN
Telephone 01444 441166

7 Killoch Place
Wells
Ayr KA7 2EA
Telephone 01292 268181

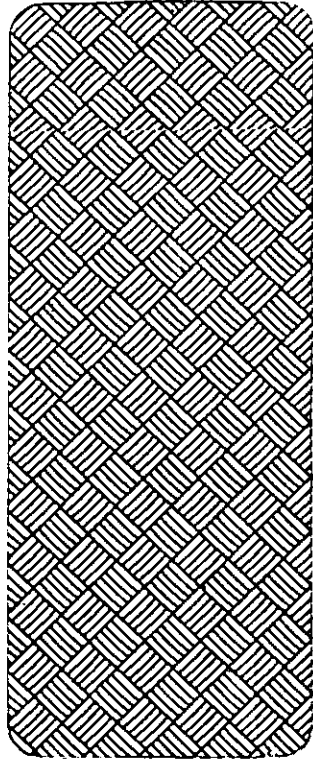
17 Dublin Street
Edinburgh EH1 3PG
Telephone 0131 556 4422

The Estate Office
Kirk Road
Houston by Johnstone
Renfrewshire PA5 7HW
Telephone 01505 612124

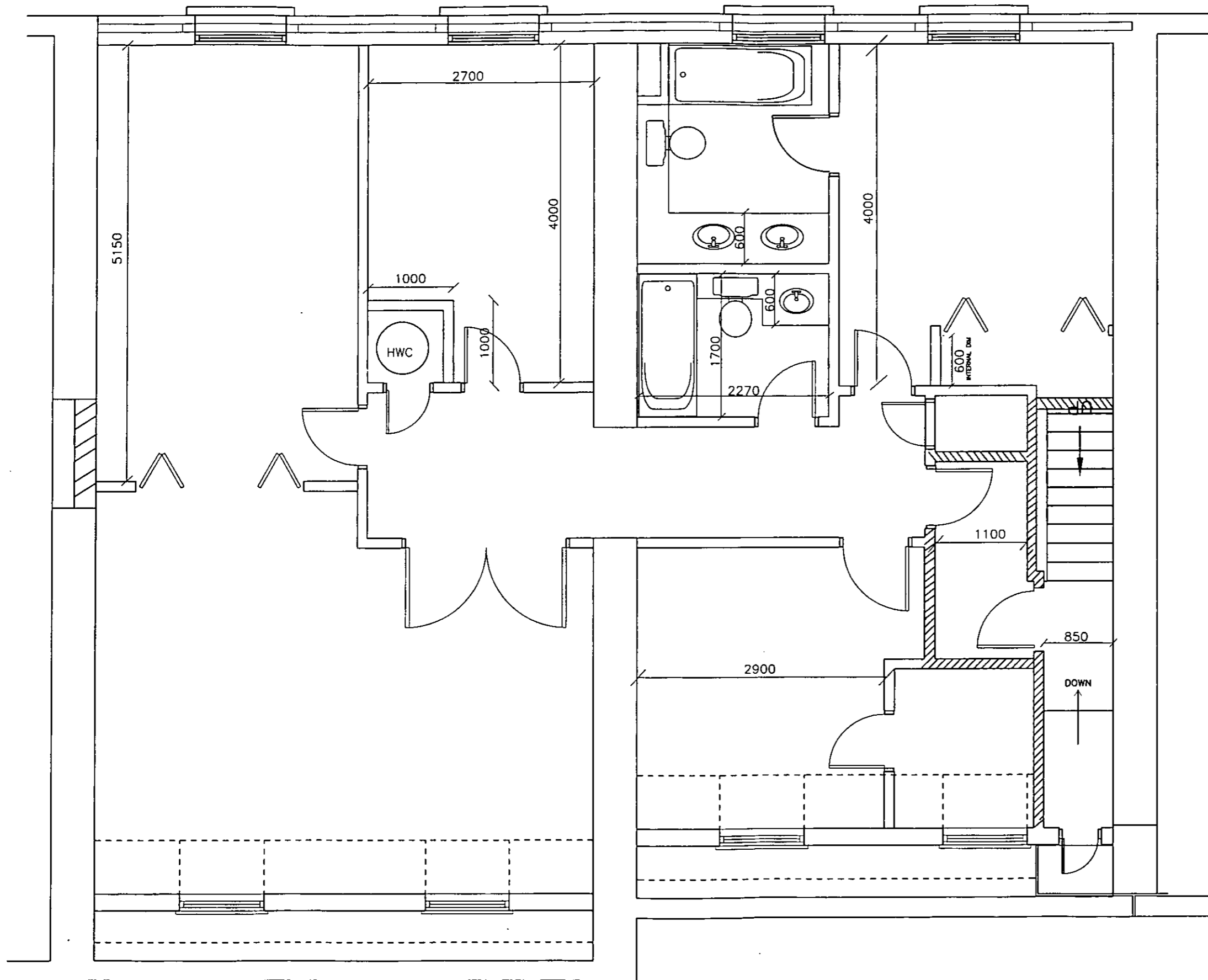
Chartered Surveyors • Property Consultants
42 Upper Berkeley Street, London



POSTAGE PAID
0.19
ASA 90066
GREAT BRITAIN



NOTES
 All dimensions to be checked on site prior to commencement of any works, and refer any discrepancies to the surveyor. This drawing is to be read in conjunction with the specification and all relevant drawings. Do not scale this drawing.



REVISED / CAD / CLUTTONS
 DATE: 15 MAR 2012
 PLANNING
 AHB / PLN / DES

Rev	Date	Amendment	By

Project
 FLAT 5, 17 ONSLOW SQUARE
 LONDON SW7

Client
 THE WELLCOME TRUST
 (A REGISTERED CHARITY)

Drawing
 AS BUILT LAYOUT

Drawn By
 RG

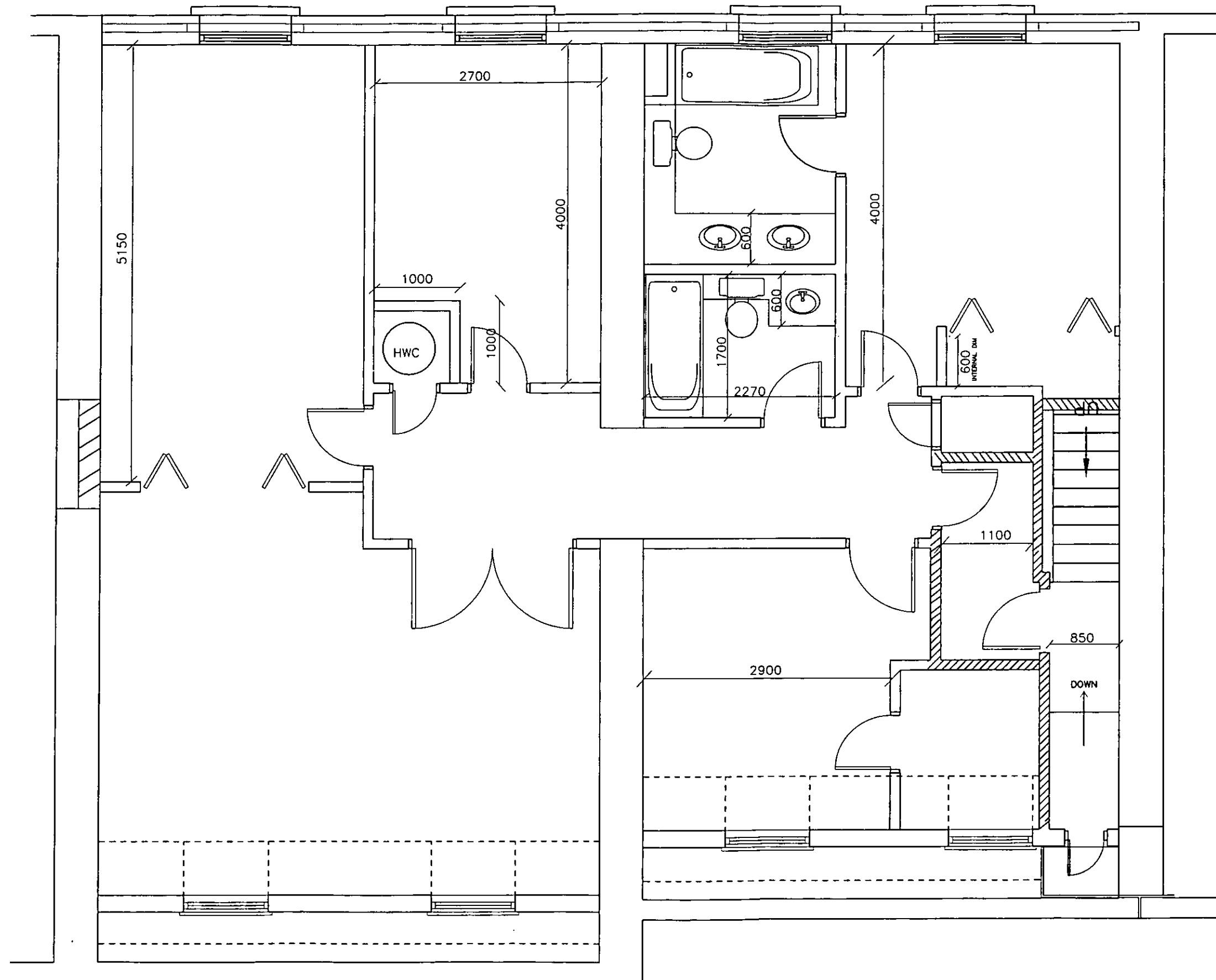
Date March 02 **Scale** 1:50

Dwg No 0881/P/01 **Rev** C



Building Surveying - Project Management Division
 Meridian House, 42 Upper Berkeley Street
 London W1H 8EP
 Tel: 020-7724-4545 Fax: 020-7724-6060
 E Mail: hsd@cluttons.com Web Site: cluttons.com

NOTES
 All dimensions to be checked on site prior to commencement of any works, and refer any discrepancies to the surveyor. This drawing is to be read in conjunction with the specification and all relevant drawings. Do not scale this drawing.



EX-100 TP 040 AD CLU/AC
 15 MAR 2002 PLANNING
 REC
 AND FEES

Rev	Date	Amendment	By

Project
 FLAT 5, 17 ONSLOW SQUARE
 LONDON SW7

Client
 THE WELLCOME TRUST
 (A REGISTERED CHARITY)

Drawing
 AS BUILT LAYOUT

Drawn By
 RG

Date March 02 **Scale** 1:50

Dwg No 0881/P/01 **Rev** C

CLUTTONS

Building Surveying - Project Management Division
 Meridian House, 42 Upper Berkeley Street
 London W1H 6EP
 Tel: 020-7724-4545 Fax: 020-7724-0000
 E Mail: bud@cluttons.com Web Site: cluttons.com

10/2/98
 10/2/98
 10/2/98
 10/2/98

APPROVED BY
 PLANNING SERVICES CTTEE
 1 3 AUG 1998
 CONSENT REF:

Boxed gutters

Hipped roof arrangement to match existing to No. 21, concealing new water tanks

Flue outlet

New lead covered flat roof

ROOFLIGHT

NEW ROOFLIGHTS

Mansard roof slopes

TR98/0166B



Chartered Surveyors - Property Consultants
 40 Upper Berkeley Street, London W1R 4AL
 Tel: 0171-725-0001 Fax: 0171-725-0002

Project
 Proposed mansard roof additions to 17 and 19 on-site Square

Client
 The Walkome Trust Ltd.
 (A Registered Charity No. 210183)

Drawing
 Proposed roof plan

Drawn By RJS

Eng No 200/R/01 **Rev** A

Date 27/98 **Scale** 1:50

No. 19

No. 17

NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

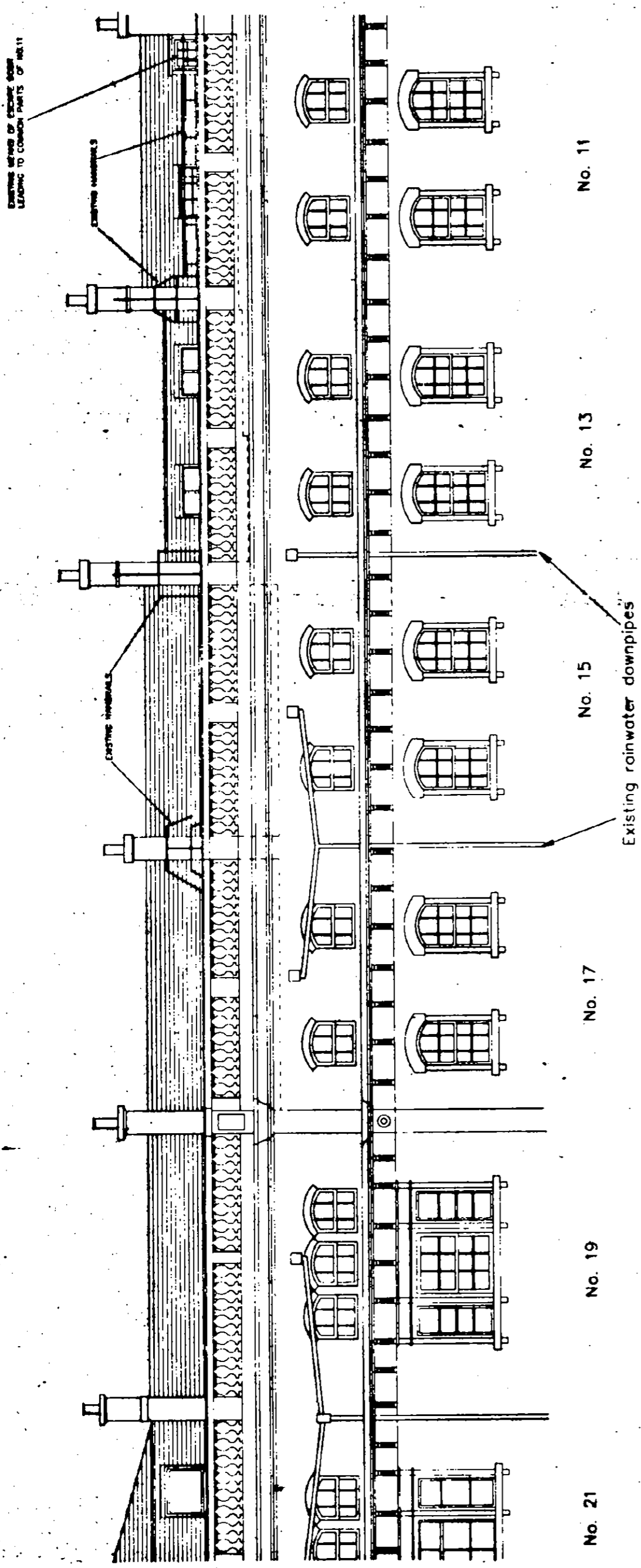
PARAPET GUTTER LEVEL

FOURTH FLOOR

THIRD FLOOR

SECOND FLOOR

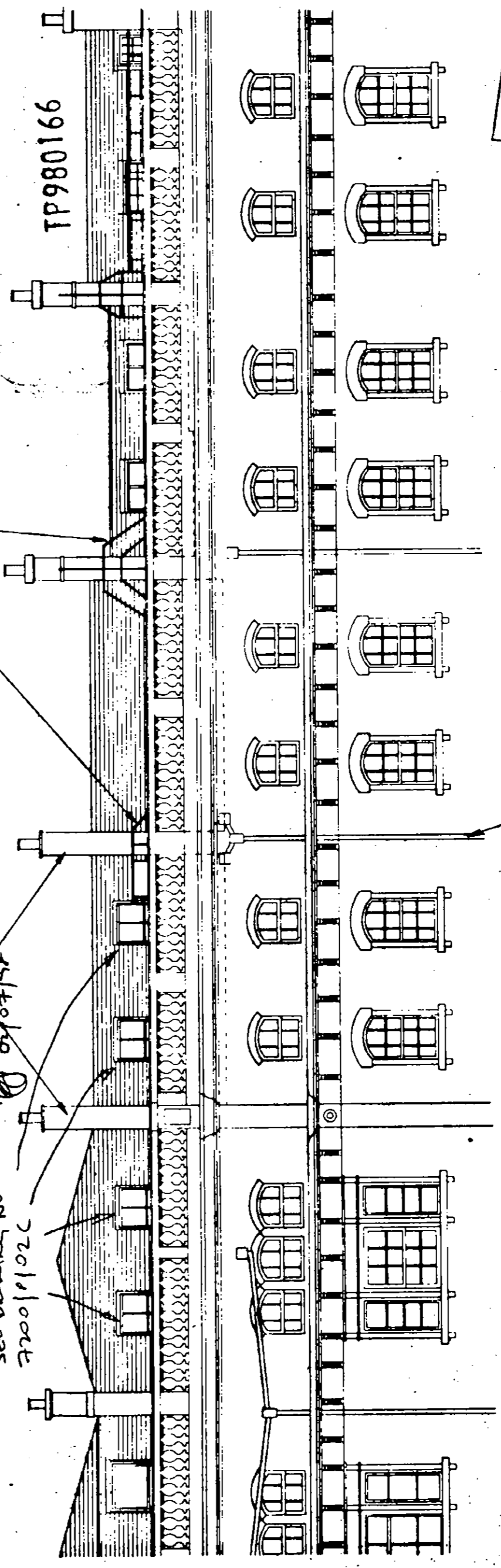
EXISTING



Party walls raised and provided with new terracotta pots and cowls to produce uniformity of length of chimney stack

GLAZING PATTERN SEE DRAWING NO 7200/1102C

New adapted handrails



PROPOSED

R.B.K. & C.
TOWN PLANNING
26 JAN 1998
RECEIVED

APPROVED BY
PLANNING SERVICES CTTEE
1 3 AUG 1998
CONSENT REF.....

CLUTTONS

Chartered Surveyors - Property Consultants
45 Berkeley Square, London W1X 5DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project
17-19 ONSLOW SQUARE, SW7

Client
THE WELLCOME TRUST LTD
(A REGISTERED CHARITY)

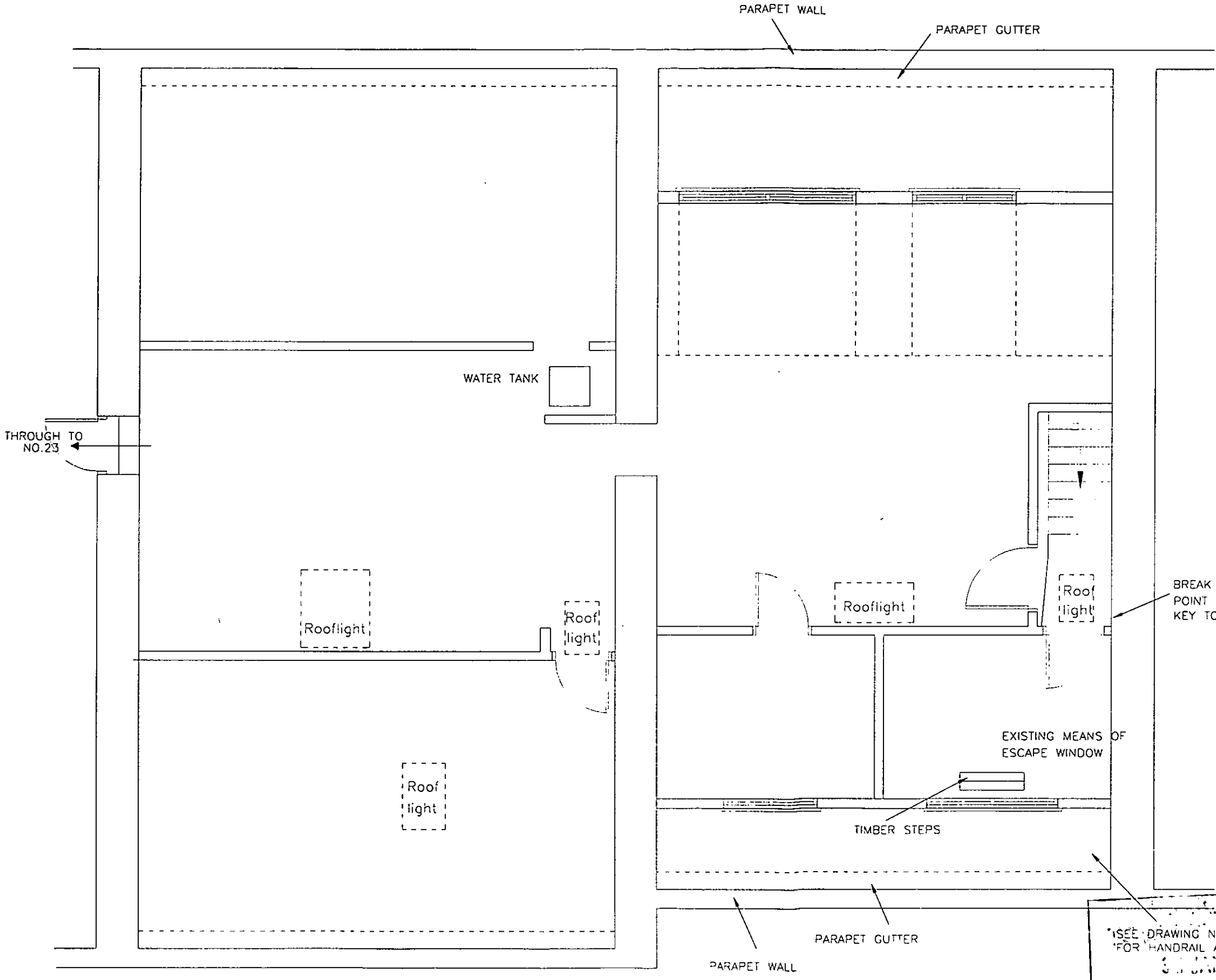
Drawing
ALTERATIONS TO FRONT
ELEVATIONS OF 11-19 ONSLOW SQ

Drawn By RJG

Dwg No 7200/M/04 Rev A

Date 15/1/1998 Scale 1:100

PROPOSED ALTERATIONS TO HANDRAILS TO NOS. 11-17 ONSLOW SQUARE



APPROVED BY
PLANNING SERVICES CTTEE
1 3 AUG 1998
CONSENT REF.....

NOTES
Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

SUPERSEDED

TP980166

CLUTTONS

Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 5DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project
17-19 GNSLOW SQUARE
LONDON SW7

Client
THE WELLCOME TRUST LTD.
(A REGISTERED CHARITY)

Drawing
EXISTING FOURTH FLOOR
ATTIC ROOMS

Drawn By RJG

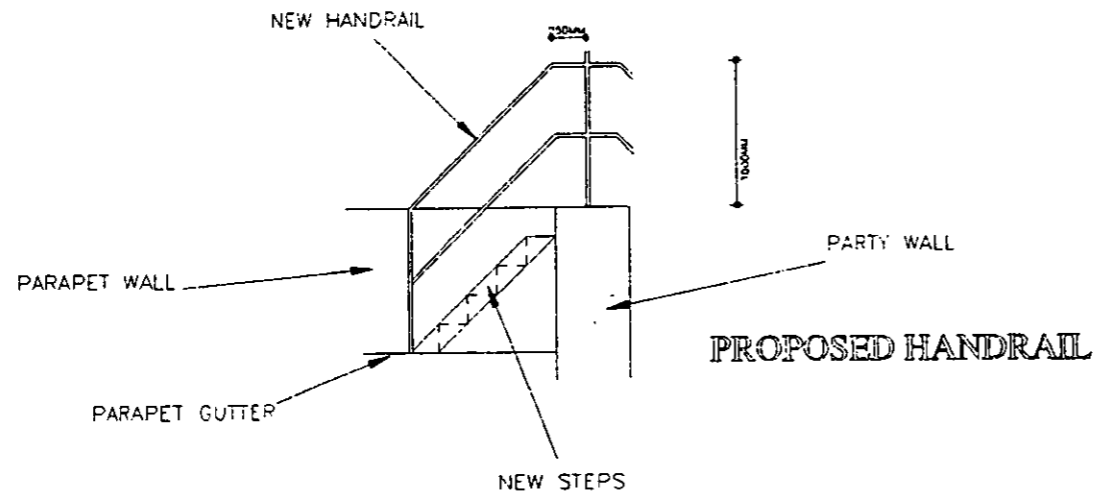
Drg No 7200/M/01 Rev

Date 6/11/1997 Scale 1:50

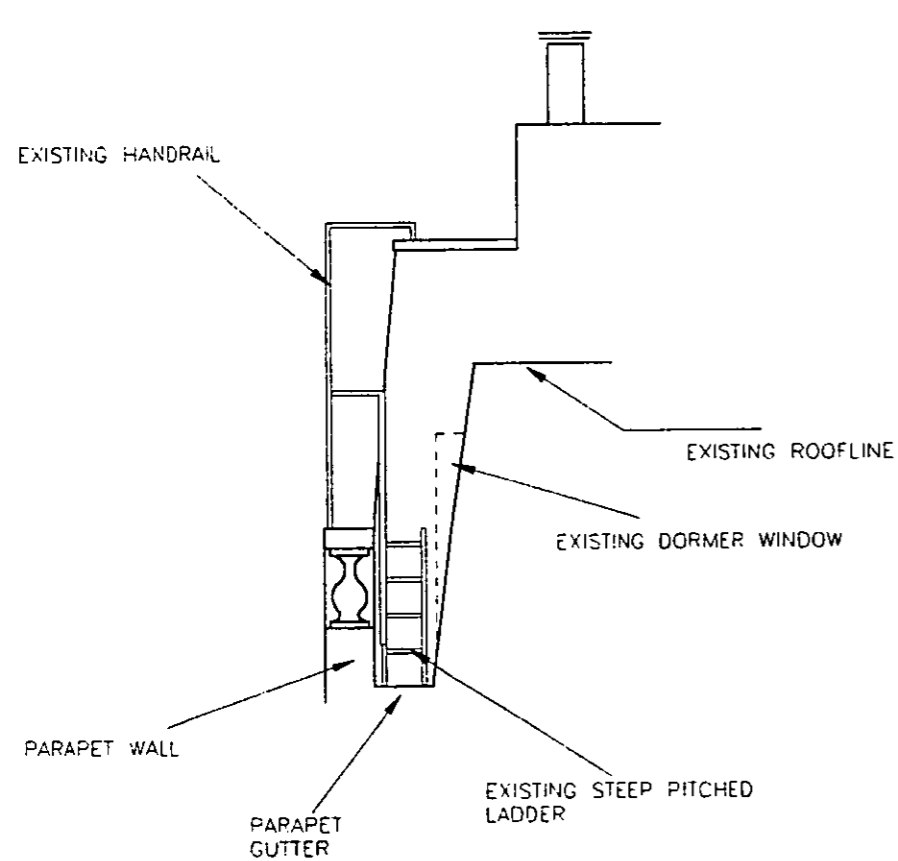
SEE DRAWING NO.7200/ME/08
FOR HANDRAIL AND STEP LAYOUT
6 JAN 1998

NO.19

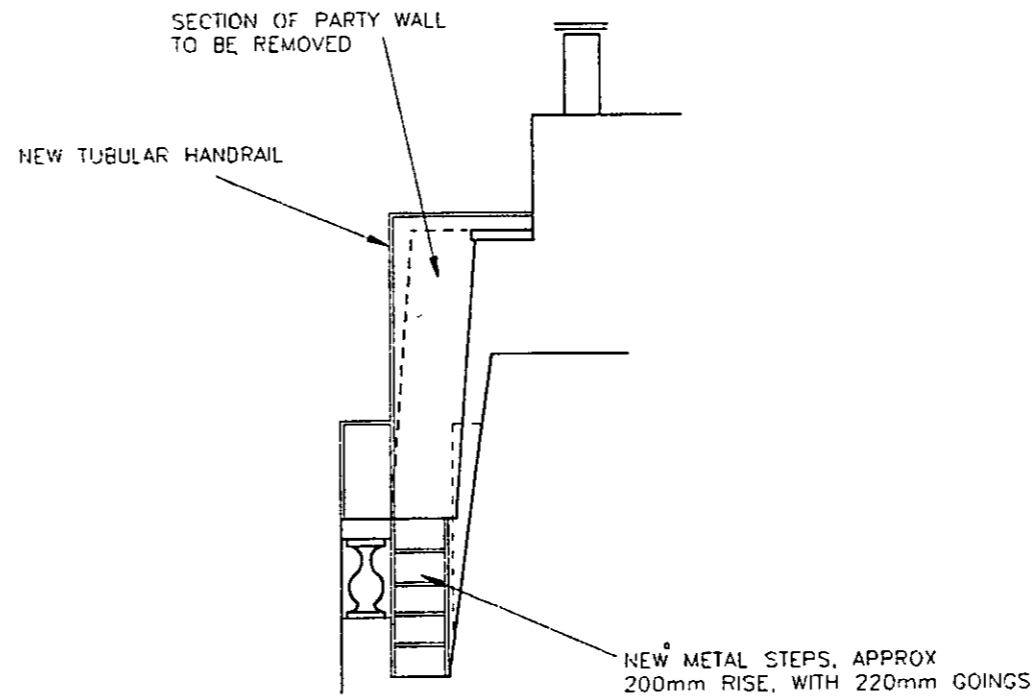
NO.17



APPROVED BY
PLANNING SERVICES CTTEE
1 3 AUG 1998
CONSENT REF.....



EXISTING



PROPOSED

PARTY WALL BETWEEN NOS. 13 AND 15
LOOKING FROM NO 15 TOWARDS NO 13

13

15

[Handwritten signature]

02/07/98

REK.M.D.
TOWN PLANNING
30 JAN 1998
RECEIVED

NOTES
Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

TP980166

CLUTTONS

Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 3DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project
17-19 Onslow Square
London SW7

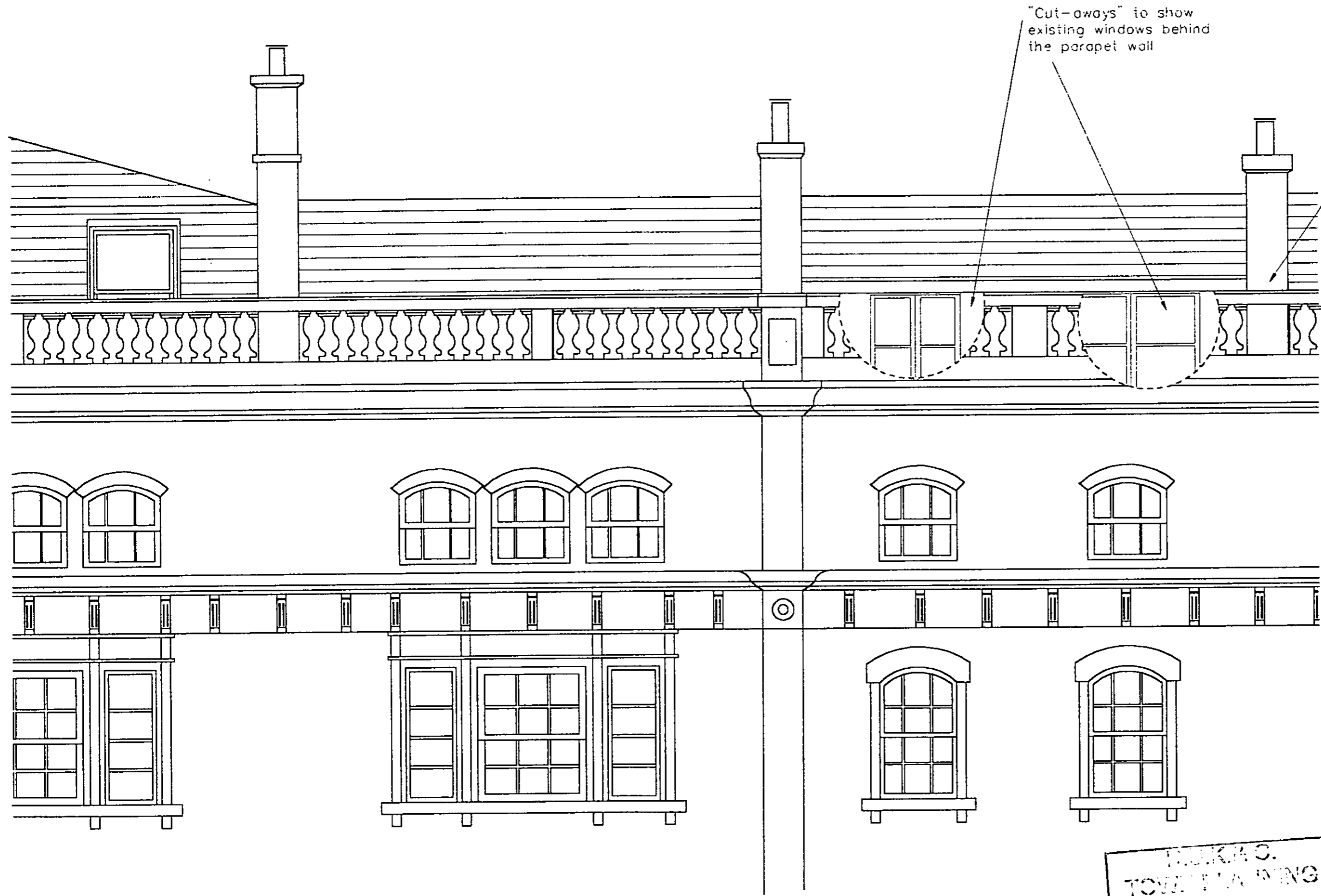
Client
The Wellcome Trust Ltd.
(A Registered Charity)

Drawing
Alterations to means of
escape route

Drawn By RJG

Drg No 7200/ME/04 Rev A

Date 6/11/1997 Scale 1:50



"Cut-aways" to show existing windows behind the parapet wall

Existing parapet detail shown on Drawing No 7200/M/04

APPROVED BY
PLANNING SERVICES CTTEE
3 AUG 1998
CONSENT REF:.....

NOTES
Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.
NB. Position of rainwater downpipes shown on Drawing No.7200/M/04

TP980166

CLUTTONS

Chartered Surveyors - Property Consultants
45 Berkeley Square, London W1X 5DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project
17-19 ONSLOW SQUARE
LONDON SW7

Client
THE WELLCOME TRUST LTD
(A REGISTERED CHARITY)

Drawing
EXISTING FRONT ELEVATION
SECOND TO FOURTH FLOORS

Drawn By RJG

Drg No 7200/M/02 **Rev**

Date 15/1/1998 **Scale** 1:50

WELLCOME TRUST LTD
TOUR PLANNING
30 JAN 1998
RECEIVED

No. 21

No. 19

No. 17

NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

TP980166

CLUTTONS
30, Abchurch Lane, London EC4N 3DF
RECEIVED



Chartered Surveyors - Property Consultants
45 Berkeley Square, London W1X 5DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project
17-19 Onslow Square
London SW7

Client
The Wellcome Trust Ltd.
(A Registered Charity)

Drawing
New means of escape platform
at No. 15

Drawn By RJG

Dwg No 7200/ME/05 Rev

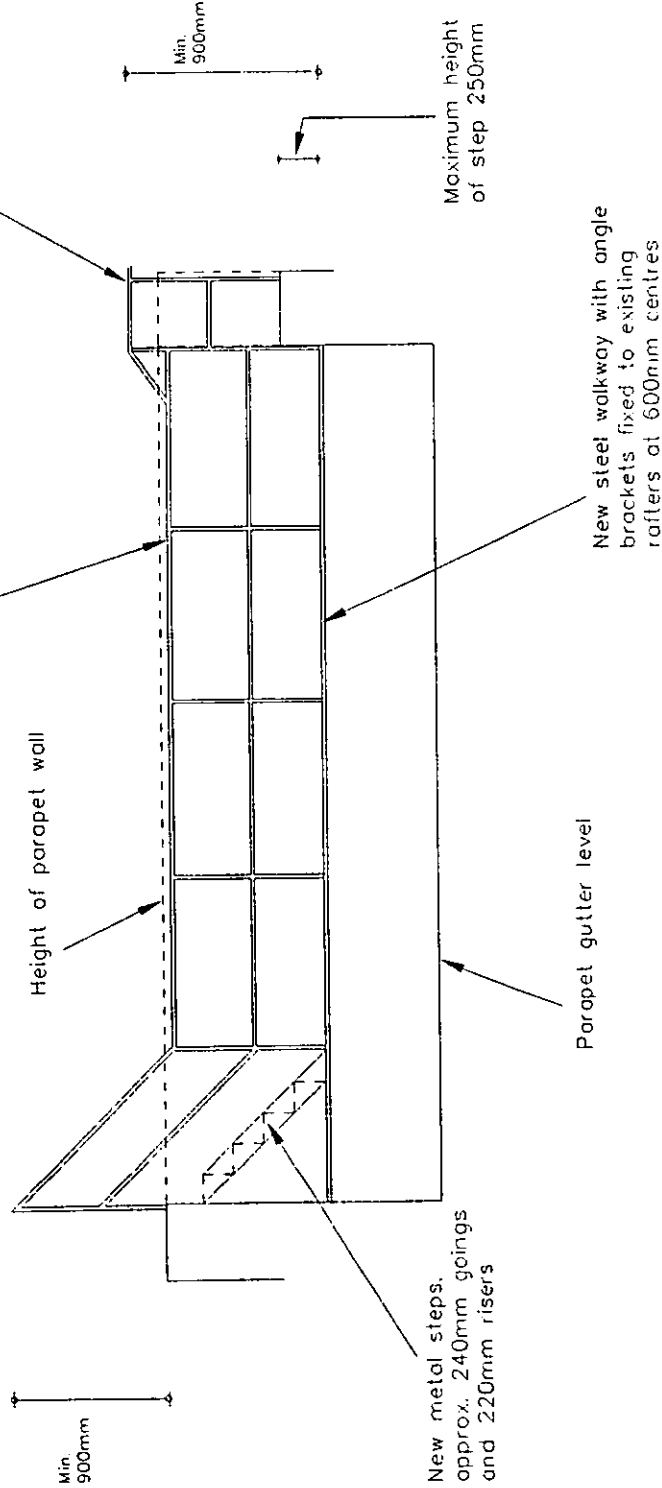
Date 5/11/1997 **Scale** 1:10

APPROVED BY
PLANNING SERVICES OFFICE

1 3 AUG 1998

CONSENT REF.....

New handrail and balustrading detail concealed behind parapet wall
See Drawing No. 7200/ME/01 for detail of access landing to No.17



NO. 13

NO. 15

NO. 17

15723
 Approved by the Council
 on 13 AUG 1998

APPROVED BY
 PLANNING SERVICES OFFICE
 13 AUG 1998
 CONSENT REF:

All windows to rear elevation
 to be inset to match third floor
 below

NEW FALSE CHIMNEY
 BREAST

NEW
 ROOFLIGHTS

TP98/01668



Chartered Surveyors - Property Consultants
 4 Upper Berkeley Street, London W1B 6EP
 Tel: 021 4752500 Fax: 021 4756000

Project
 17-19 ONSLOW SQUARE
 LONDON SW7

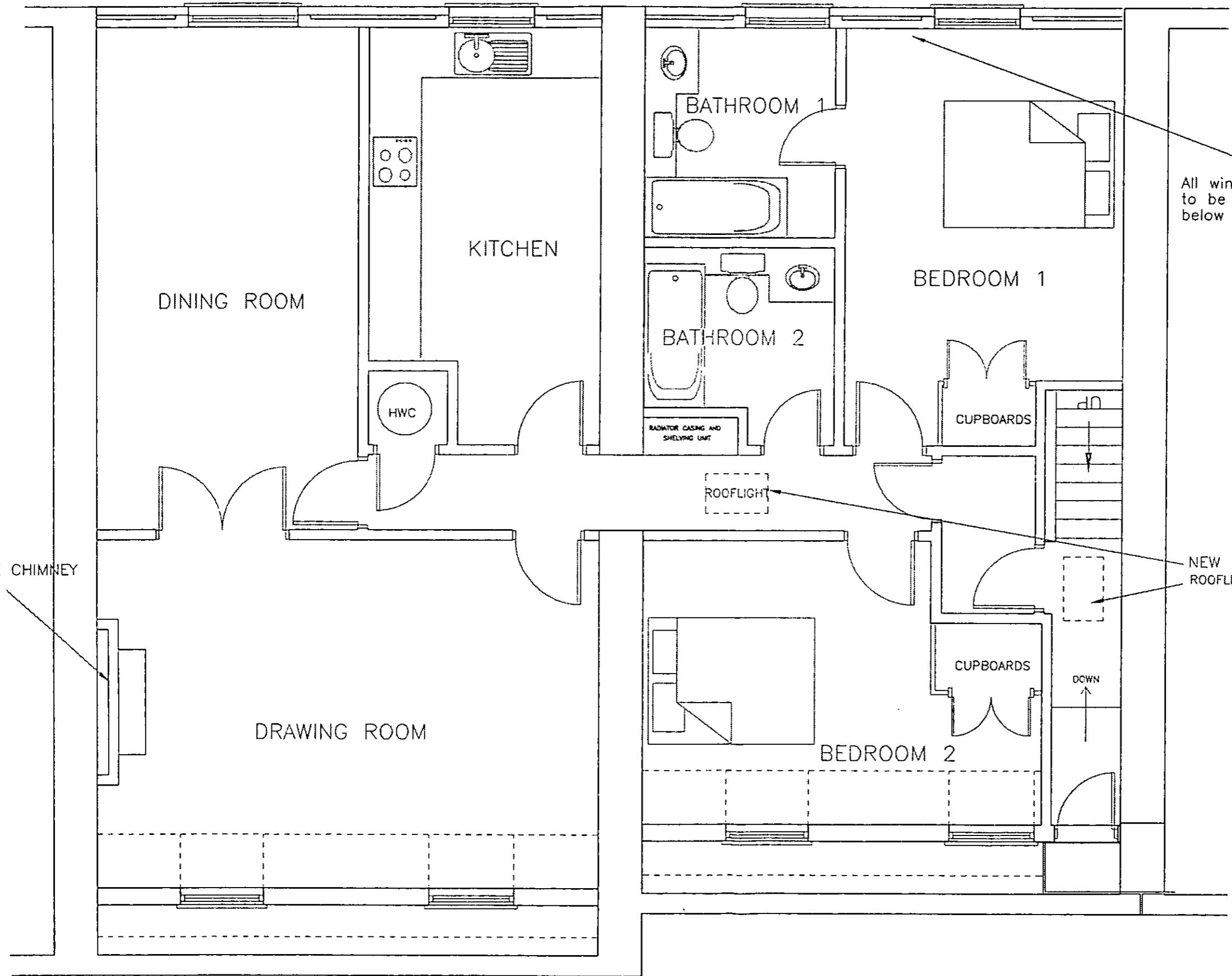
Client
 THE WELLCOME TRUST
 (A REGISTERED CHARITY)

Drawing
 PROPOSED FOURTH FLOOR
 FLAT

Drawn By RJG

Drwg No 2200/P/0: Rev D

Dt: 02/7/98 Scale 1:50



17-19 ONJLOW ~~SS~~

Photo's.

(Duplicate set to be mounted)

TP980166

TP980166

Extra prints

Use this detachable negative pocket to order extra sets of prints and enlargements – they will make a wonderful gift. Your negatives are contained in the pocket overleaf. Simply detach along the perforation, **remove negatives** then fill in the order form before handing it to your Dealer.

*Handle your
negatives with care*

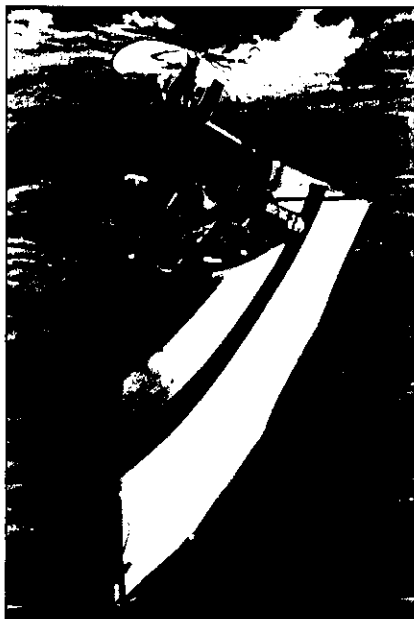
To ensure that your negatives remain free from scratches, keep them at all times in their sleeve/pocket. When handling, always hold them by their edges – never the image area.

Enlargements

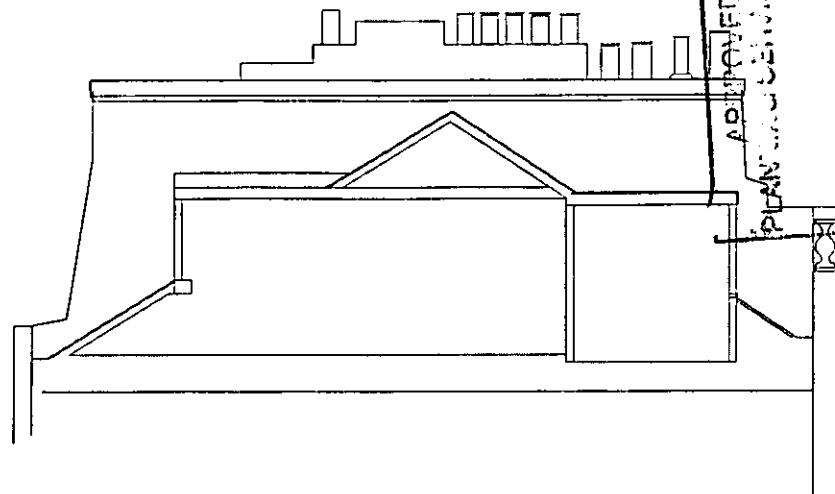
Have your photographs enlarged, they will make excellent gifts for family and friends - remember the bigger they are, the better they look.



P H O T O G R A P H S



EXISTING



APPROVED BY
 PLANNING SERVICES OFFICE
 13 AUG 1998
 CONSENT REF.....

New flat roof, maximum falls 10° covered with lead

Party wall to be raised to match existing between Nos. 13 and 15. All chimney pots to be replaced with new terracotta pots to provide uniformity along length of stack.

New raking copings provided, pointed white

Rear wall to be raised vertically, with external faced with second hand brickwork to match existing adjacent surfaces

New lead cheeked and roofed dormer window, with timber sash windows

70° pitch

Sash windows to be rebated to match third floor below

Lead lined parapet gutter

PROPOSED

TP98/0166B



Chartered Surveyors - Property Consultants
 41 Upper Berkeley Street, London W1B 6GP
 Tel: 0171-734-6449 Fax: 0171-734-6443

Project
 17-19 Onslow Square
 London SW7

Client
 The Wellcome Trust Ltd.
 (A Registered Charity)

Drawing
 Schematic section through No.17

Drawn By RUG

Doc No 7200/4/97 **Rev** A

Date 3/7/98 **Scale** 1/100





'87 2 2



'87 2 2







'87 2 2









1872

NOTES
Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

This Drawing is for reference purposes only.

R.B.K. & C.
TOWN PLANNING
29 JAN 1999
RECEIVED

Section BB shown on Drawing No. 0881/D/03.

Min Code 6 lead roof coverings, designed and installed to Lead Sheet Association standards

PLATEAU ROOFLIGHT
600 x 600mm



Chartered Surveyors - Property Consultants
43 Upper Berkeley Street, London W1H 8EP
Tel: 0171-724-8545 Fax: 0171-724-8949

Project
Proposed mansard roof additions to 17 and 19 onslow Square

Client
The Wellcome Trust Ltd.
(A Registered Charity No. 210183)

Drawing
Indicative roof plan

Drawn By RJG

Dwg No 0881/D/12 **Rev A**

Date 04/1/99 **Scale** 1:50

Parapet wall detail capped with precast concrete coping stones

New 300mm wide lead lined paper gutter.

New cast iron hopper head and gutter lining to be taken through chufe and dressed into hopper head.

New cast iron head-gutter lining to be carried through chufe and dressed into hopper head.

MIN 215MM wide parapet gutters lined with code 5 lead work (arrows show direction of fall)

Slate covered Hipped roof arrangement to match existing to No. 21, concealing new water tanks

Brick enclosed flue outlet for chimney breast below.

Conservation-type rooflight, approx. 900x1200mm.

PYRAMID ROOFLIGHT 900x900mm

MEANS OF ESCAPE DOOR TO BE CREI CONSERVATION-TYPE ESCAPE ROOFLIGHT

Slate covered mansard roofs.

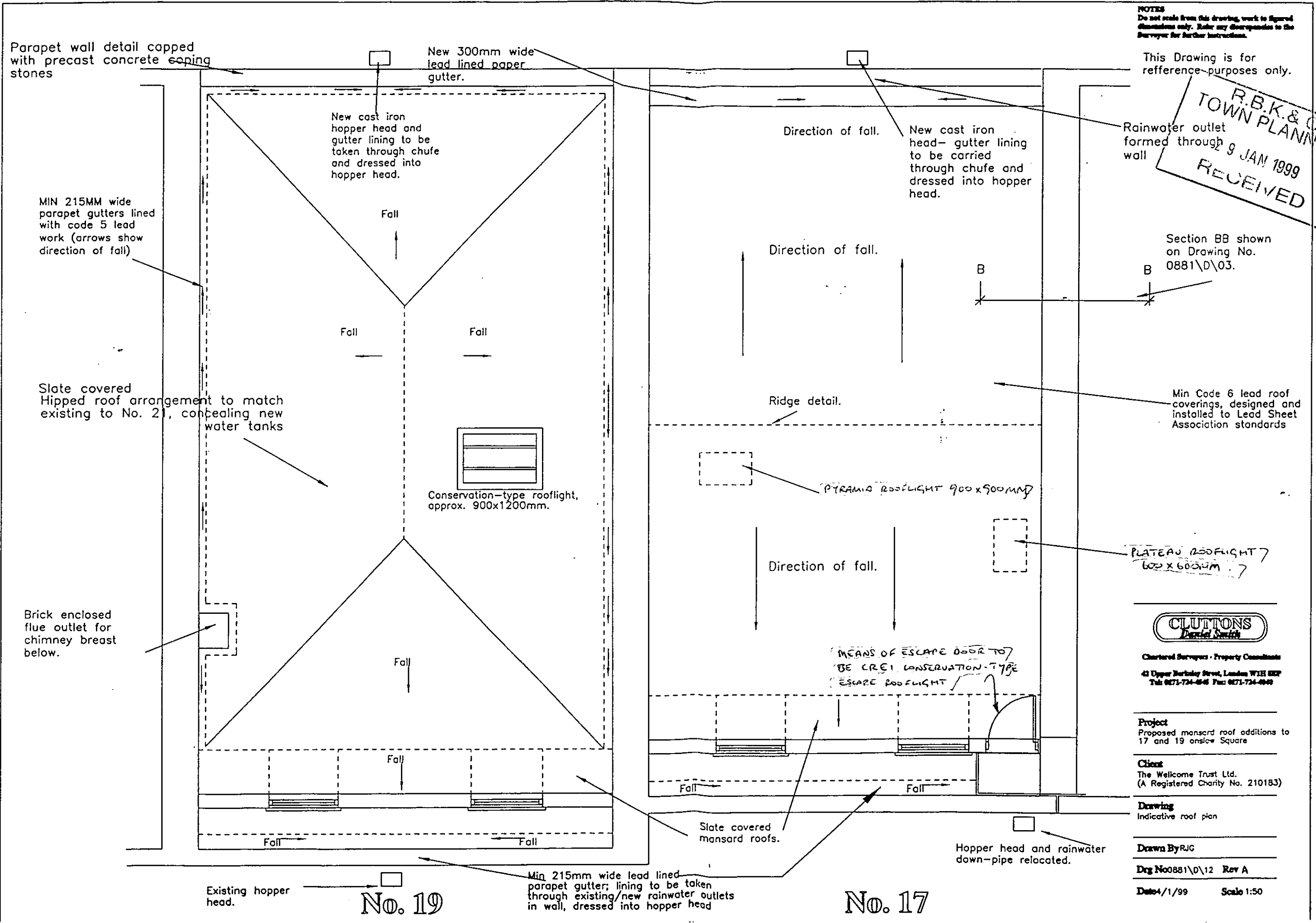
Hopper head and rainwater down-pipe relocated.

Min 215mm wide lead lined parapet gutter; lining to be taken through existing/new rainwater outlets in wall, dressed into hopper head

Existing hopper head.

No. 19

No. 17



Parapet wall detail capped with precast concrete coping stones

New 300mm wide lead lined paper gutter.

New cast iron hopper head and gutter lining to be taken through chufe and dressed into hopper head.

MIN 215MM wide parapet gutters lined with code 5 lead work (arrows show direction of fall)

Slate covered Hipped roof arrangement to match existing to No. 21, concealing new water tanks

Brick enclosed flue outlet for chimney breast below.

Existing hopper head.

No. 19

Min 215mm wide lead lined parapet gutter; lining to be taken through existing/new rainwater outlets in wall, dressed into hopper head

Direction of fall.

New cast iron head-gutter lining to be carried through chufe and dressed into hopper head.

Rainwater outlet formed through wall

Direction of fall.

Ridge detail.

PYRAMIA ROOFLIGHT 900x900mm

Direction of fall.

PLATEAU ROOFLIGHT 600x600mm

MEANS OF ESCAPE DOOR TO BE CREI CONSERVATION-TYPE ESCAPE ROOFLIGHT

Slate covered mansard roofs.

Hopper head and rainwater down-pipe relocated.

No. 17

NOTES
Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

This Drawing is for reference purposes only.

Section BB-shown on Drawing No. K & C. 0881\0\03J PLANNING
29 JAN 1999
RECEIVED

Min Code 6 lead roof coverings, designed and installed to Lead Sheet Association standards



Chartered Surveyors - Property Consultants
41 Upper Berkeley Street, London W1H 6EP
Tel: 0271-724-4646 Fax: 0271-724-4649

Project
Proposed mansard roof additions to 17 and 19 onslow Square

Client
The Wellcome Trust Ltd.
(A Registered Charity No. 210183)

Drawing
Indicative roof plan

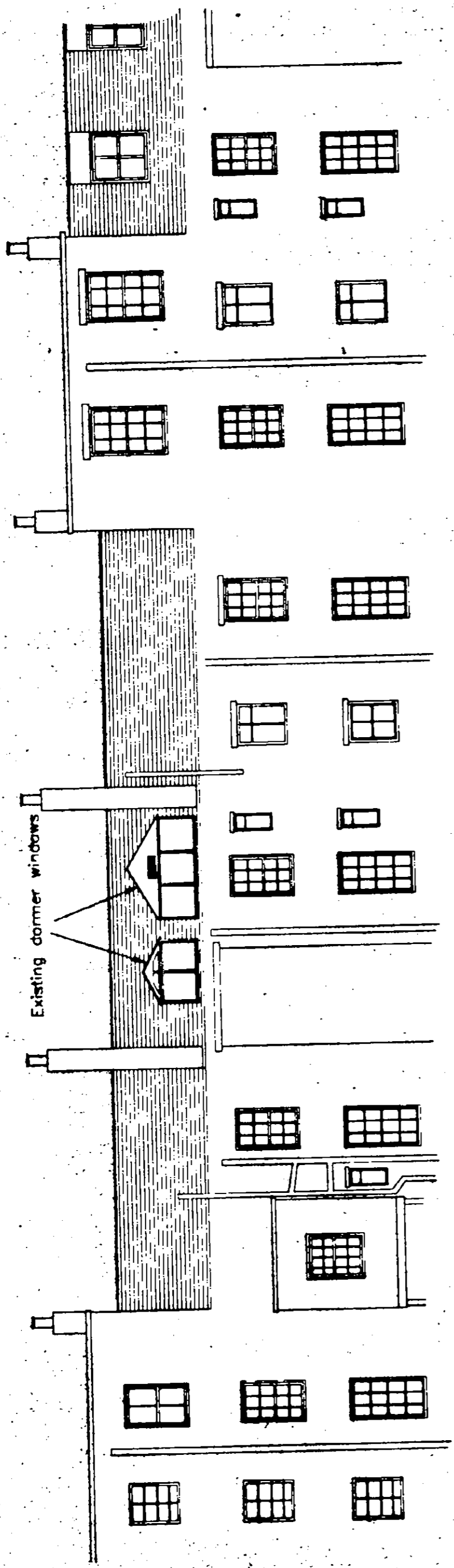
Drawn By: RJC

Dwg No: 0881\0\12 Rev A

Date: 4/1/99 Scale: 1:50

NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions



No. 13 No. 15 No. 17 No. 19 No. 21 No. 23

EXISTING REAR ELEVATION

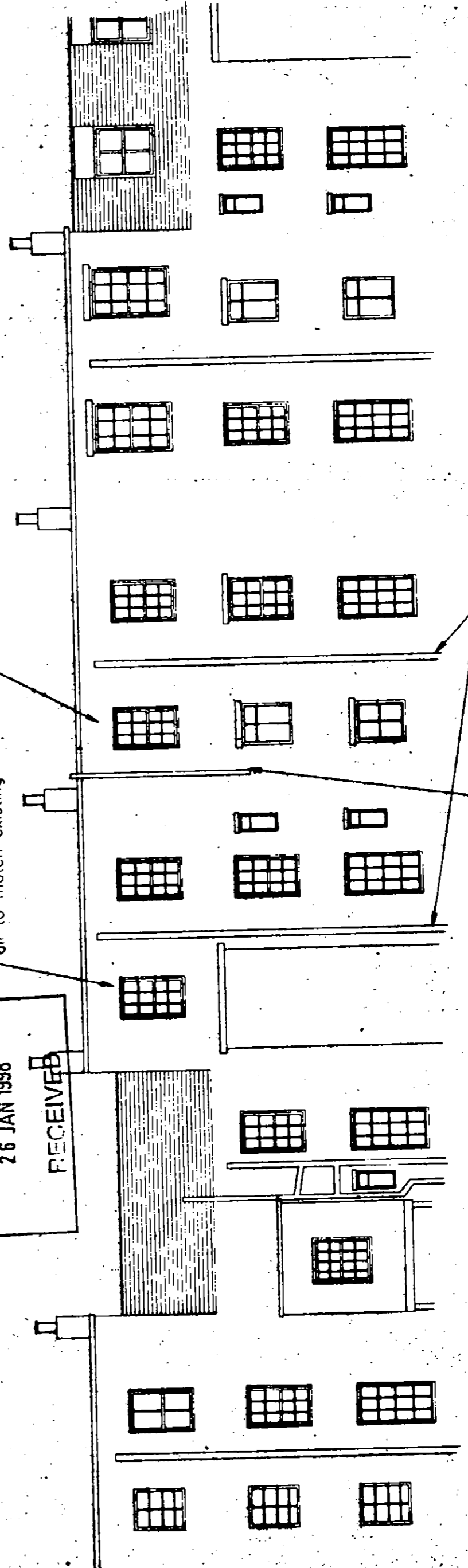
T.B.K. & C.
TOWN PLANNING
 26 JAN 1998
RECEIVED

New timber sash windows with brick arches over, all to match existing

Rear elevation to be raised vertically to match No 21, faced externally with second hand bricks to match existing

Existing wall pipe to be raised in cast iron

Existing rainwater goods to be raised in cast iron



No. 13 No. 15 No. 17 No. 19 No. 21 No. 23

PROPOSED REAR ELEVATION

APPROVED BY
 PLANNING SERVICES OFFICE
 13 AUG 1998
 CONSENT REF.

CLUTTONS
 Chartered Surveyors - Property Consultants

45 Bechley Square, London W1X 5DS
 Tel: 0171-406-1010 Fax: 0171-493-4449

Project
 17-19 ONSLOW SQUARE
 LONDON SW7

Client
 THE WELLCOME TRUST
 (A REGISTERED CHARITY)

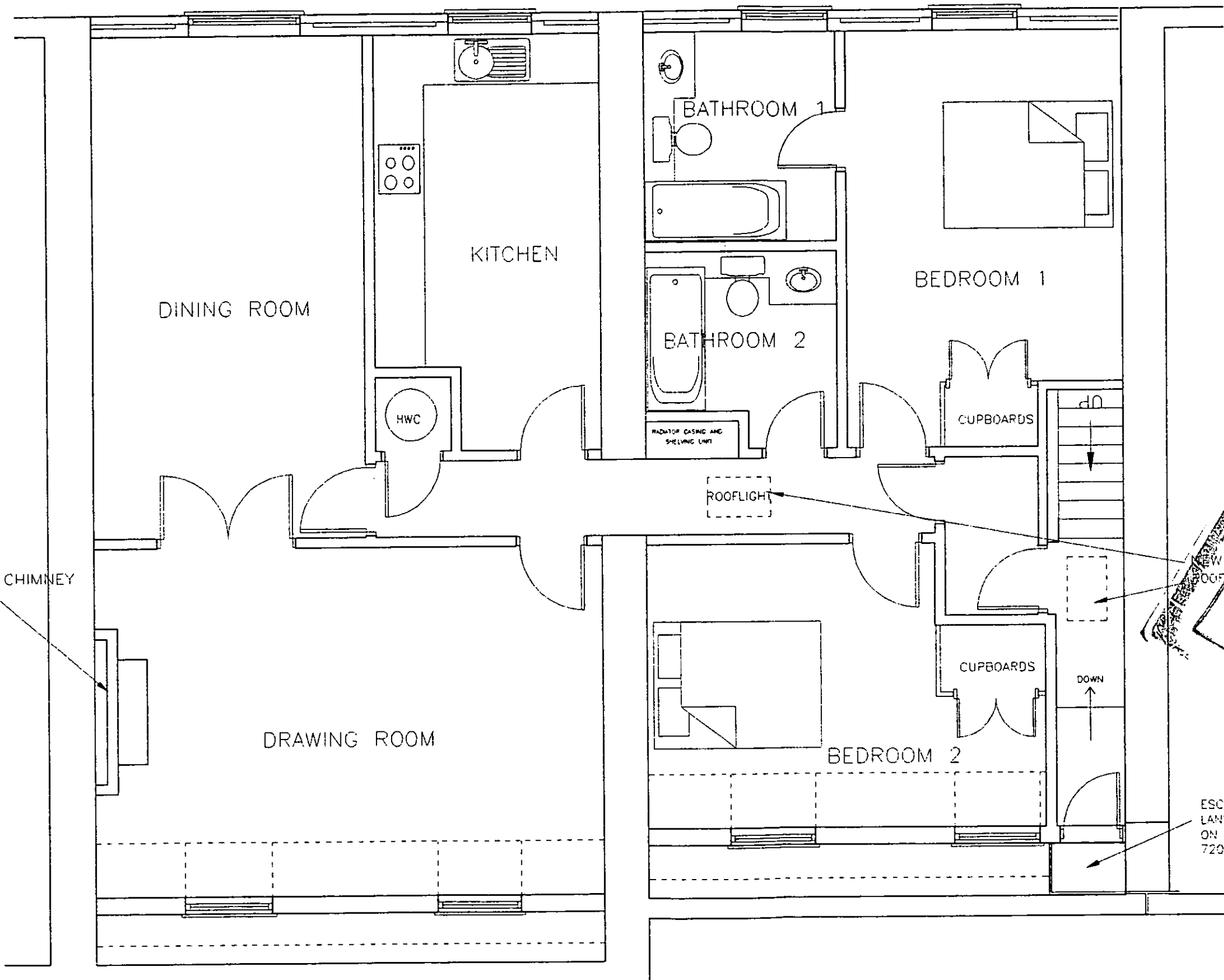
Drawing
 REAR ELEVATION - SECOND,
 THIRD AND FOURTH FLOORS

Drawn By RJG

Dwg No 7200/M/03 Rev

Date 7/1/1998 **Scale** 1:100

TP980166



NOTES
 Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

TP980166

MARK D.
 TOWN PLANNING

26 JAN 1998

RECEIVED

CLUTTONS

Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 5DB
 Tel: 0171-408-1010 Fax: 0171-493-4449

Project
 17-19 ONSLOW SQUARE
 LONDON SW7

Client
 THE WELLCOME TRUST
 (A REGISTERED CHARITY)

Drawing
 PROPOSED FOURTH FLOOR
 FLAT

Drawn By RJG

Drg No 7200/P/01 **Rev** C

Date 5/11/1997 **Scale** 1:50

ESCAPE DOOR AND
 LANDING DETAILED
 ON DRAWING NO.
 7200/ME/01

NEW FALSE CHIMNEY
 BREAST

ROOFLIGHT

ROOFLIGHTS

DOWN

BEDROOM 1

BATHROOM 1

BATHROOM 2

KITCHEN

DINING ROOM

DRAWING ROOM

BEDROOM 2

CUPBOARDS

CUPBOARDS

HWC

RADIATOR CASING AND
 SHELVING UNIT

NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

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PLANNING SERVICES OFFICE

1 3 AUG 1998

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Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 5DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project

17-19 Oneflow Square
London SW7

Client

The Wellcome Trust Ltd.
(A Registered Charity)

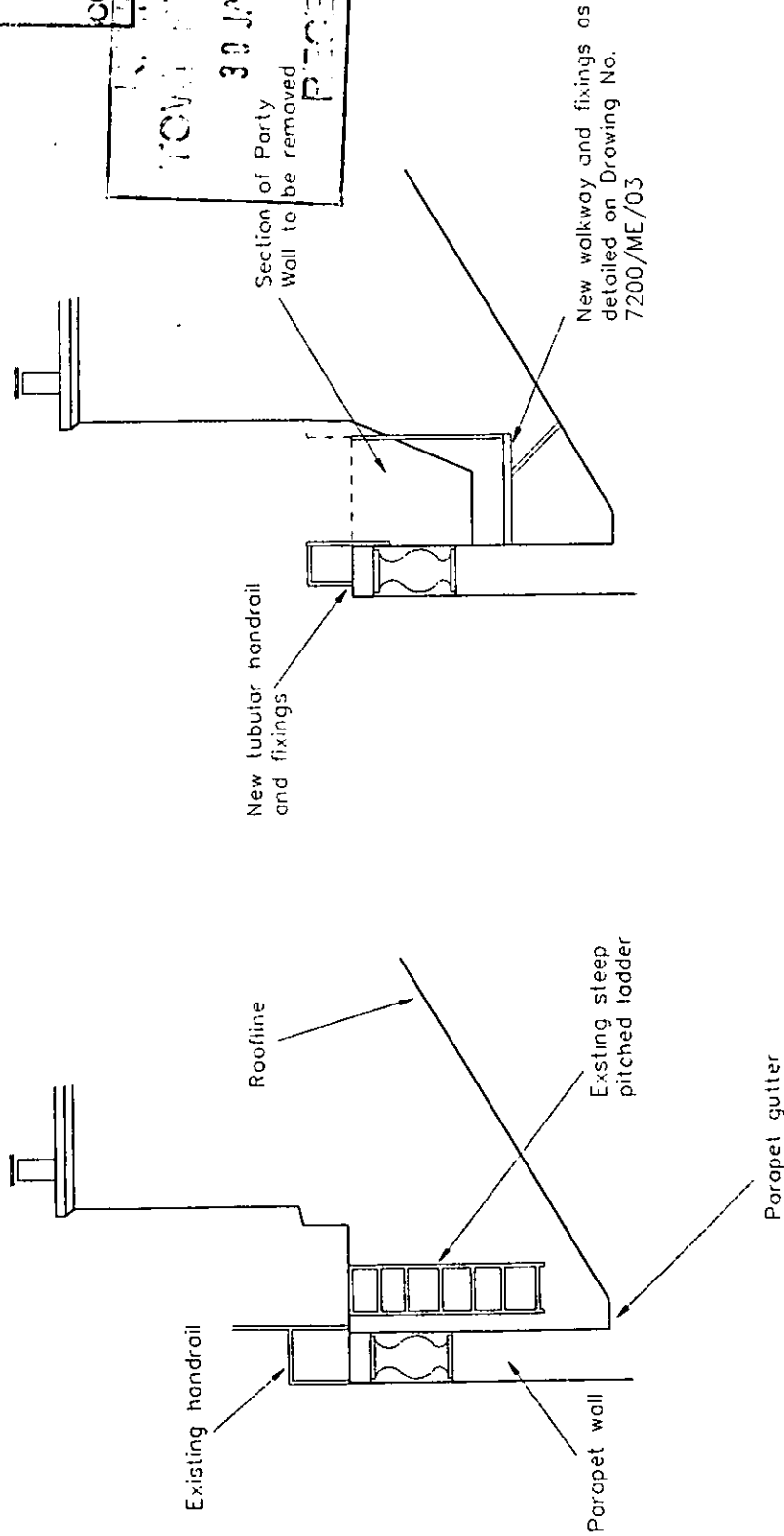
Drawing

Alterations to means of escape
route

Drawn By RIC

Proj No 7200/ME/03 Rev

Date 6/11/1997 Scale 1:50



PROPOSED

EXISTING

PARTY WALL BETWEEN NO.15 AND 17
LOOKING FROM NO.15 TOWARDS NO.17

NOTES

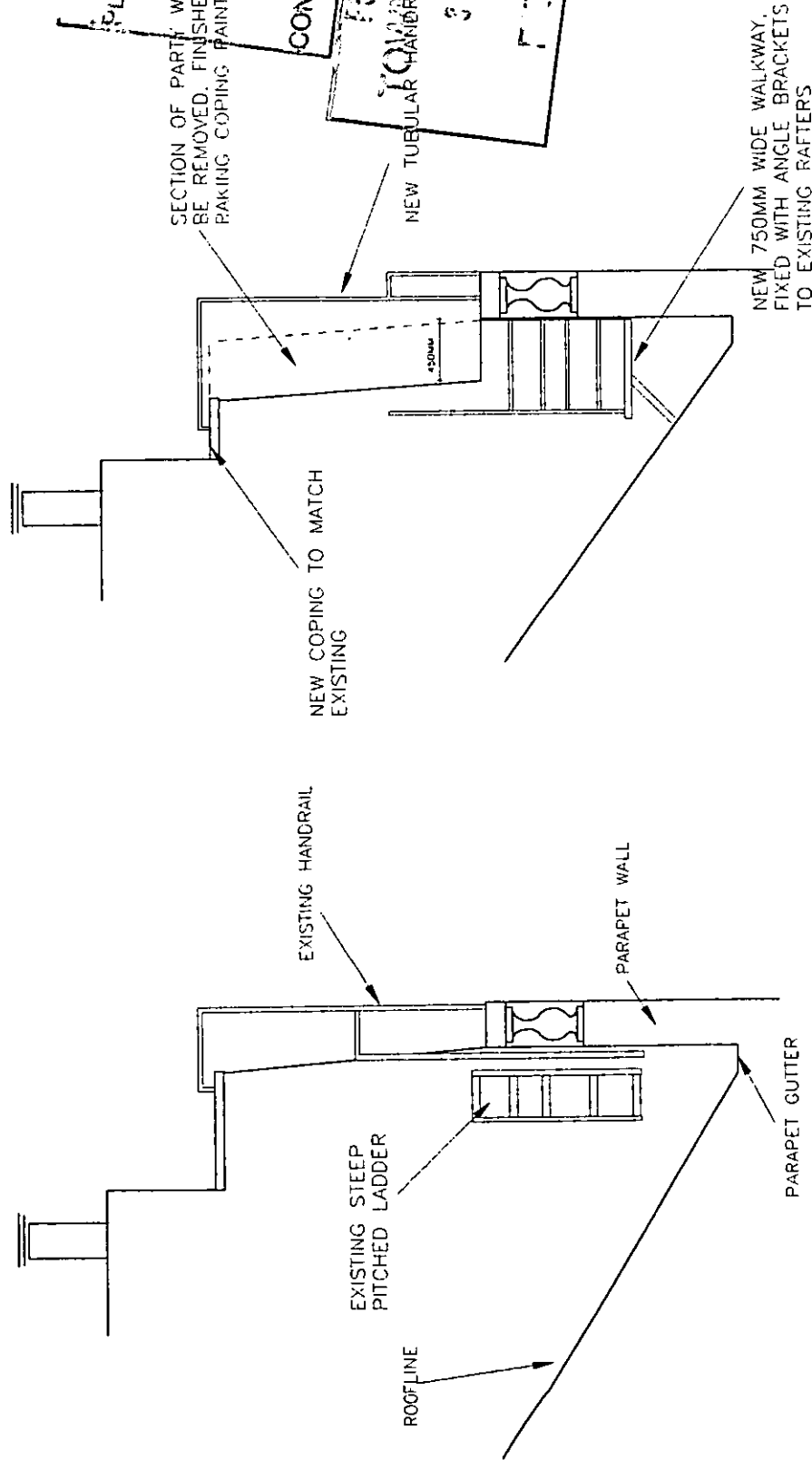
Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

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PLANNING SERVICES CTTEE

3 AUG 1998

TP980166
CONSENT REF.....

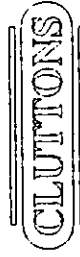
PLANNING SERVICES CTTEE
3 AUG 1998



PROPOSED

EXISTING

PARTY WALL BETWEEN NOS 13 AND 15
LOOKING FROM NO 15 TOWARDS NO 13



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17-19 Onslow Square
London SW7

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Drawing

Alterations to means of escape route

Drawn By RJG

Dwg No 7-200/ME/03 Rev

Date 6/11/1997

Scale 1:50

10/07/73

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PLANNING SERVICES CITEE

1 3 AUG 1998

TPA/S/ent/66A

Party wall raised to match existing between Nos. 13 and 15, with new terracotta pots and coverings

Section of party wall to be removed, finished with raking coping stone painted white

New means of escape door, painted slate grey to match adjacent roof coverings, min. dimensions 850x500mm

Maximum rise on step to be 250mm

New floor level

Ceiling of flat below

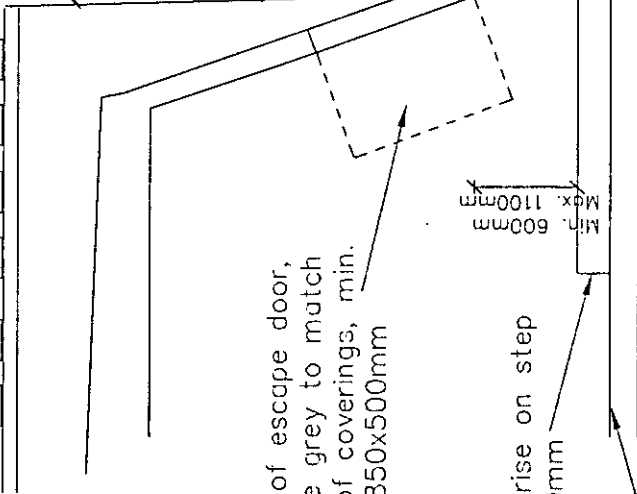
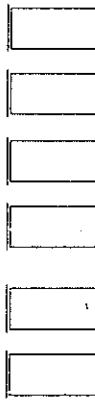
New tubular handrail

New tubular balustrading around access landing

Steel landing with angle brackets fixed to rafters

New lead lined parapet gutter

Front elevation wall



Min. 600mm
Max. 1100mm



CLUTTONS
Property Services
Chartered Surveyors - Property Consultants
46 Upper Berkeley Street, London W1U 5ST
Tel: 0171-726-4643 Fax: 0171-726-4043

Project
17-19 Onslow Square
London SW7

Client
The Wellcome Trust Ltd
(A Registered Charity)

Drawing
Schematic diagram of means of escape door at No.17

Drawn By RJG

Eng No 7200/ME/01 **Rev** A

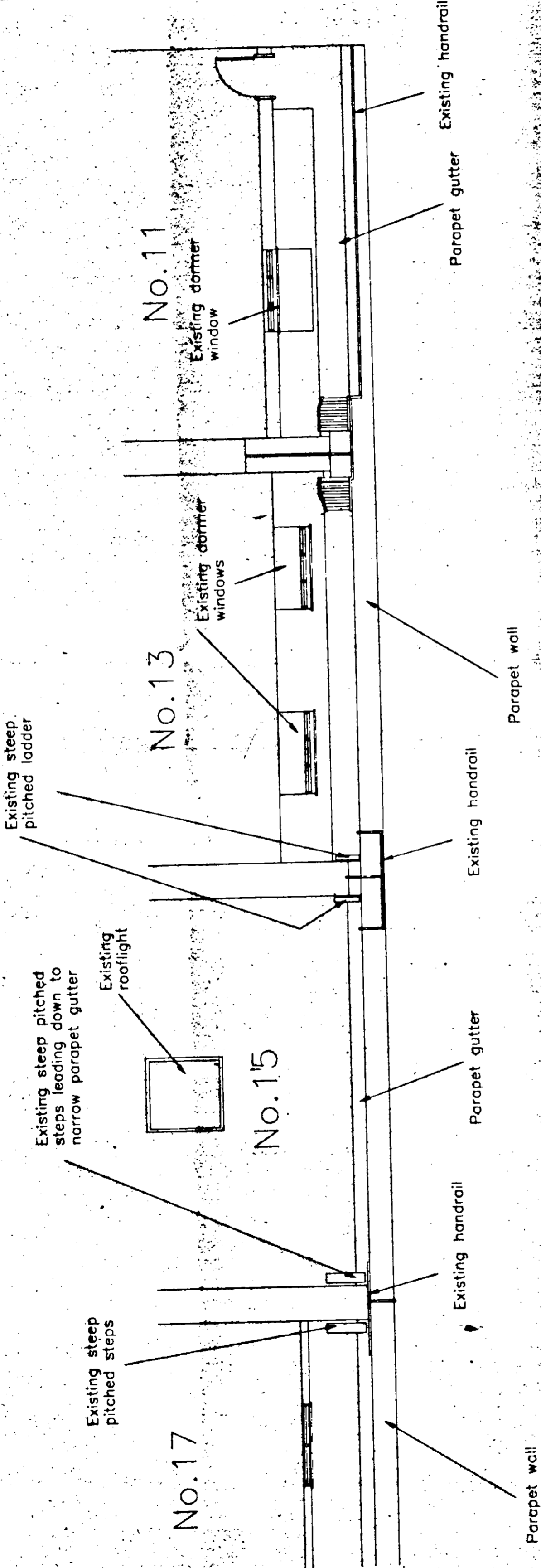
Date 3/7/98 **Scale** 1:50

PARTY WALL BETWEEN NOS. 15 AND 17
LOOKING TOWARDS NO.15 FROM NO.17

NOTES

Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

Emergency lights are to be installed along the length of the route, to light when access doors are opened, on one hours time switch



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45 Barbican Square, London W1X 5DB
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Project
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London SW7

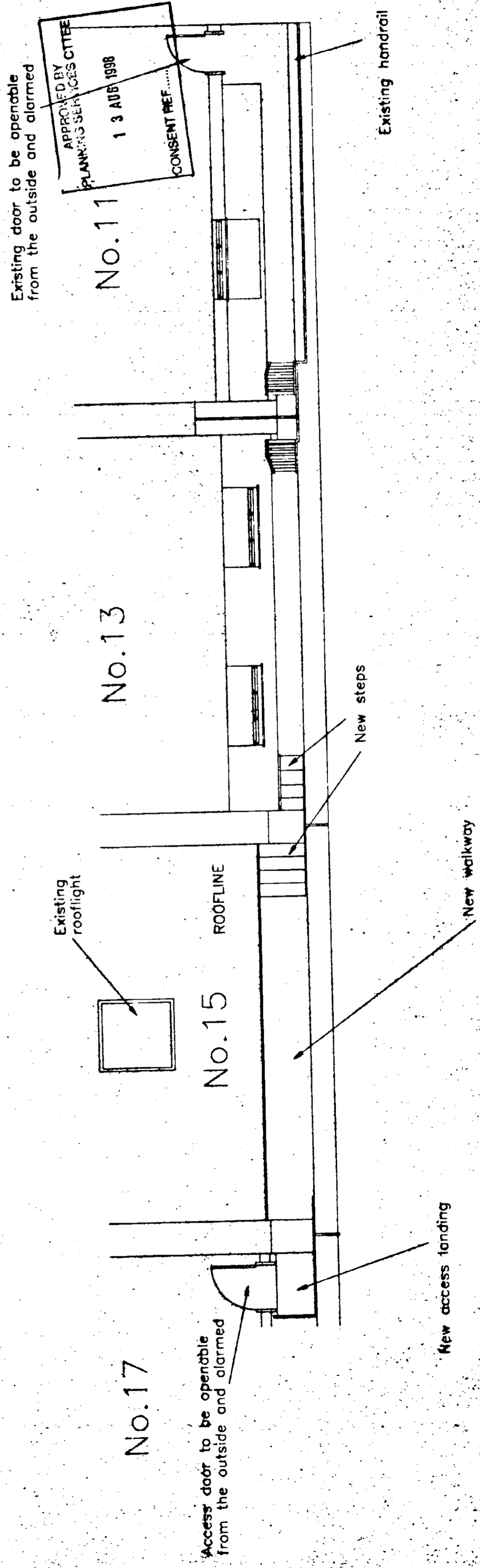
Client
The Wellcome Trust Ltd.
(A Registered Charity)

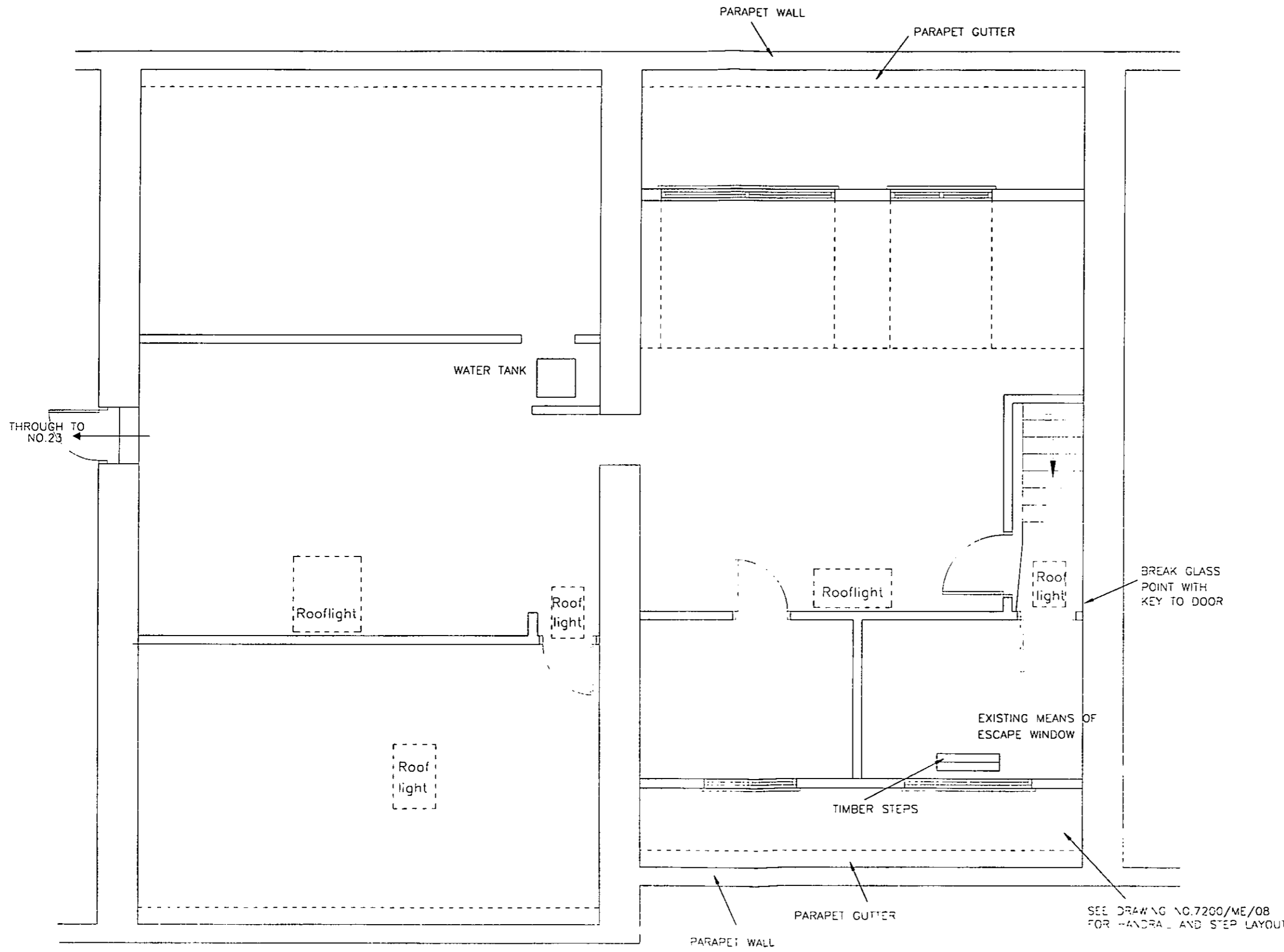
Drawing
Alterations to means of escape route between No. 11 & 17

Drawn By RJG

Drg No 7200/ME/08 Rev

Date 6/11/1997 **Scale** 1:50





NOTES
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Project
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 LONDON SW7

Client
 THE WELLCOME TRUST LTD.
 (A REGISTERED CHARITY)

Drawing
 EXISTING FOURTH FLOOR
 ATTIC ROOMS

Drawn By RJG

Drg No 7200/M/01 **Rev**

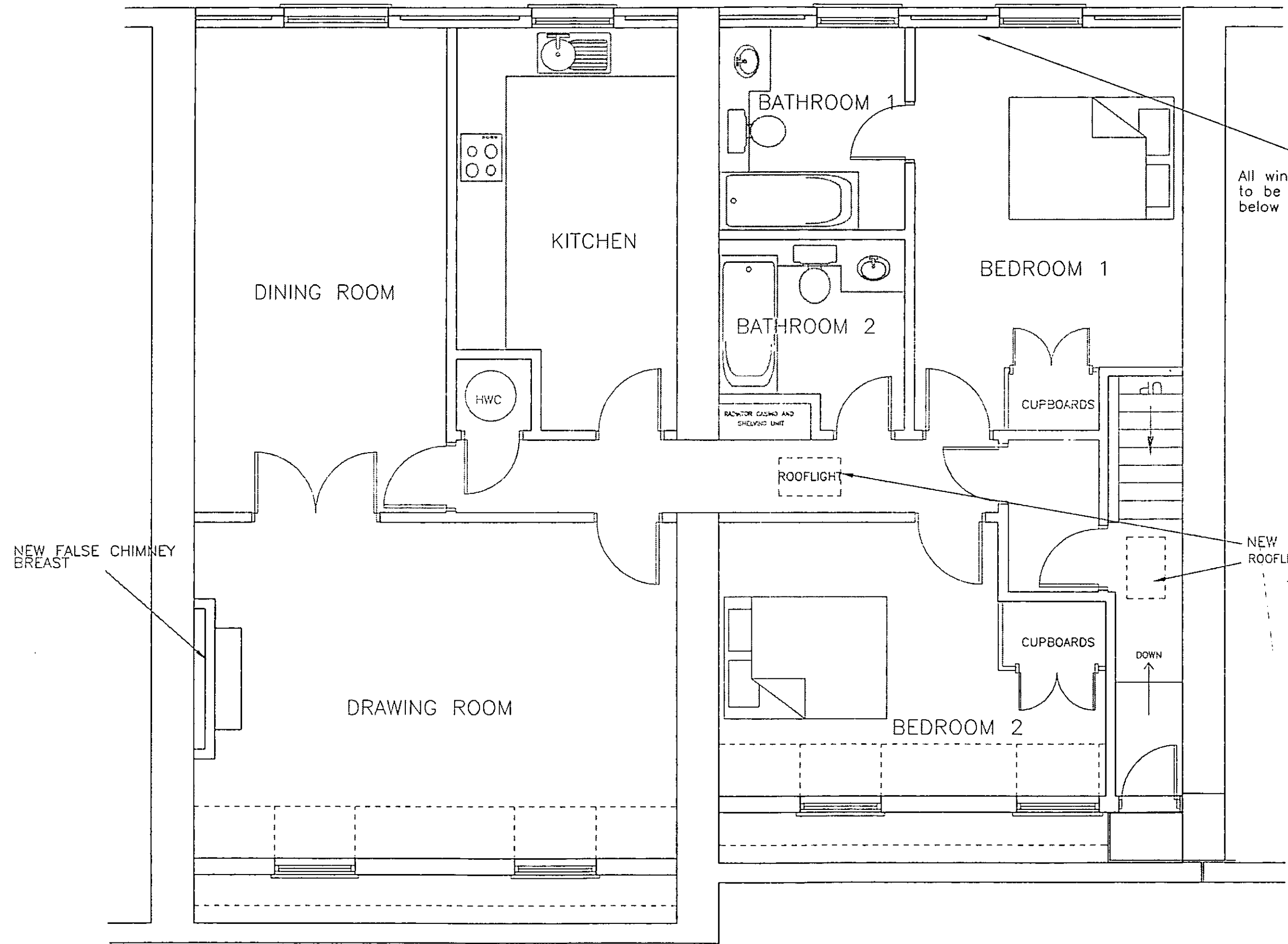
Date 6/11/1997 **Scale** 1:50

NO.19

NO.17

SEE DRAWING NO.7200/ME/08
 FOR HANDRAIL AND STEP LAYOUT

NOTES
Do not scale from this drawing, visit to ground
checkings only. Make any changes to the
Contractor for cost or location.



All windows to rear elevation
to be inset to match third floor
below

TP 98/0166B

NEW FALSE CHIMNEY
BREAST

NEW
ROOFLIGHTS



Chartered Surveyors • Property Consultants
41 Upper Berkeley Street, London W1B 5AH
Tel: 021-2546600 Fax: 021-2546600

Project
17-19 ONSLOW SQUARE
LONDON SW7

Client
THE WELLCOME TRUST
(A REGISTERED CHARITY)

Drawing
PROPOSED FOURTH FLOOR
FLAT

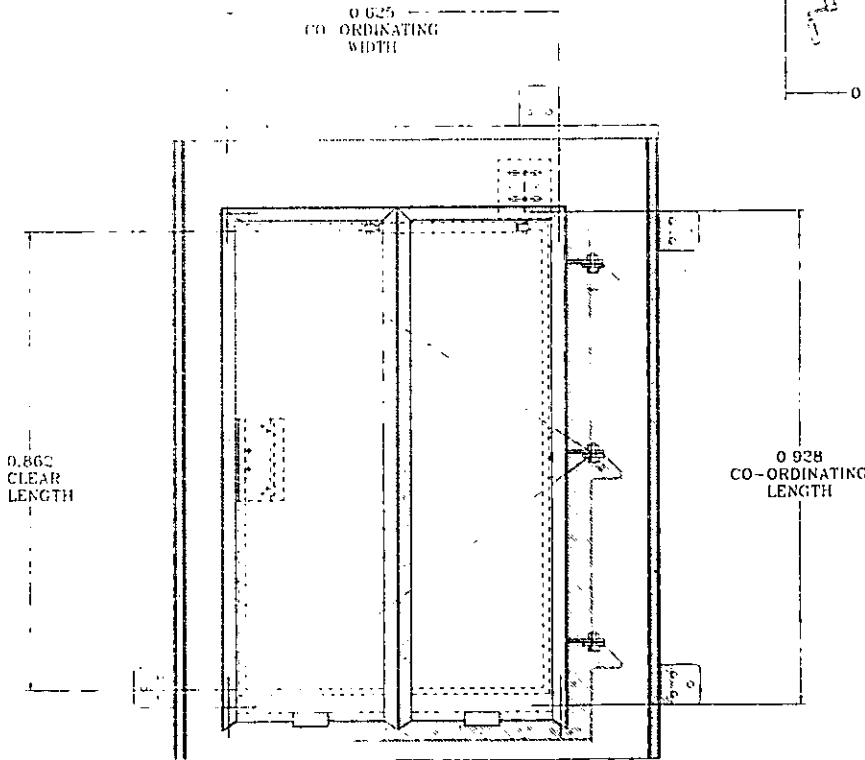
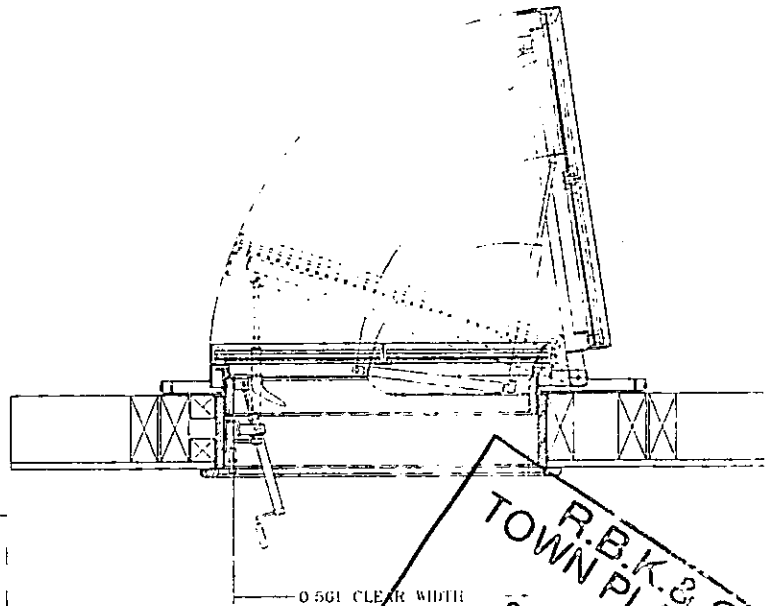
Drawn By RUG

Draw No 7200/F/01 **Rev** 0

Date 02/7/98 **Scale** 1:50

the Conservation Rooflight

CR-E1 Escape Rooflight



Main features:

- Minimum clear opening width of 561mm and clear opening length of 862mm give compliance with B1 means of escape size requirements of the Building Regulations (500mm x 850mm clear).
- Side-located hinges and gas strut-assisted opening geometry with "D" handle for ease of opening/closing.
- Winding-type opener fitted as standard (with quick release clip) for convenience in normal opening use. Winder arrangement facilitates "background ventilation" as required under the Building Regulations for habitable rooms. Lockable winding gear with key/break glass box available to restrict full access to emergency use only.
- Shares low-profile design with other rooflights of the **Conservation Rooflight** range.

This drawing and the design shown upon it are Copyright and Designright of the Metal Window Company Limited.

The Conservation Rooflight is obtainable from: The Metal Window Co. Ltd
Unit 8, Wychwood Business Centre, Milton Road, Shipton-under-Wychwood, Oxon OX7 6XU
Tel: 01993 830613 Fax: 01993 831066

the Conservation Rooflight

WHAT IS THE CONSERVATION ROOFLIGHT?

The *Conservation Rooflight* is a faithful reproduction of a low-profile Victorian cast-iron rooflight, updated to conform to modern standards of insulation and convenience. It is of robust sheet steel construction which is hot zinc sprayed and polyester-powder painted. The standard colour is black, but all B.S. colours are available. The "Replica Range" consists of 20 different sizes of rooflights, most of which replicate specific Victorian models in their proportions and detailing. In addition to the Replica Range we also offer the CR-E1 escape rooflight, which, with its side-hung gas-assisted opening casement, meets the Building Regulations B1 Means of Escape requirements of a rooflight.

MAIN FEATURES OF THE CONSERVATION ROOFLIGHT

- **Traditional appearance:** The *Conservation Rooflight* exactly replicates the proportions and detailing of Victorian cast-iron rooflights with its use of low-profile steel frame sections and genuine glazing bars. The opening casement is also top hinged as was that of the original unit. Due to its traditional appearance the *Conservation Rooflight* is used and recommended for use on historic buildings by Conservation Officers, English Heritage, and conservation architects and surveyors. It is also frequently used by the National Trust.
- **Ease of Installation:** The *Conservation Rooflight* is suitable for installation on all tiled roof constructions, including plain clay tile, slate, rolled tile types such as pantiles, and thick stone tiles. It is simple to install, and can be used at any angle associated with these tile types. Special *Conservation Rooflights* with appropriate detailing for sheet roofing can be used on flat roofs.
- **High Quality Specification:** Units are supplied with double-glazing panels (whose inner leaf is of laminated safety glass), and neoprene draughtstrip all round. For maximum insulation the "Thermoliner"TM, thermally decoupled lining can be specified (see technical sheet for details). Pilkington "K" glass is available in addition to other glazing options. The *Conservation Rooflight* can be opened easily using winding-type ironmongery to give varying ventilation openings. Most Local Authorities will accept the *Conservation Rooflight* with winding ironmongery as providing "background ventilation" in accordance with Building Regulation requirements.
- **Long Life / Low Maintenance:** The *Conservation Rooflight* is manufactured using the highest specification of protective finish to give a long low-maintenance service life, which can be expected to be between fifteen and twenty years, depending upon location and frequency of maintenance. Double glazing panels carry an industry-best guarantee of five years, and the hinges utilise all stainless steel components. Silicone is used as bedding and fronting to glazing, which does not require painting and has a minimum service life of ten years.

TECHNICAL SPECIFICATION

FRAME WORK: Folded and welded 3mm. BSC sheet to B.S. En 10025 FE430B.
Shotblasted to S.A. 2.5. Hot zinc sprayed to E.N. 22063.
Polyester-powder painted to B.S. 6497:1984, Section 2.

GLAZING: Sealed double-glazed panels to B.S. 5713. Inner leaf is 6.4mm. laminated, outer leaf is 6mm. clear float, air gap is 6mm.

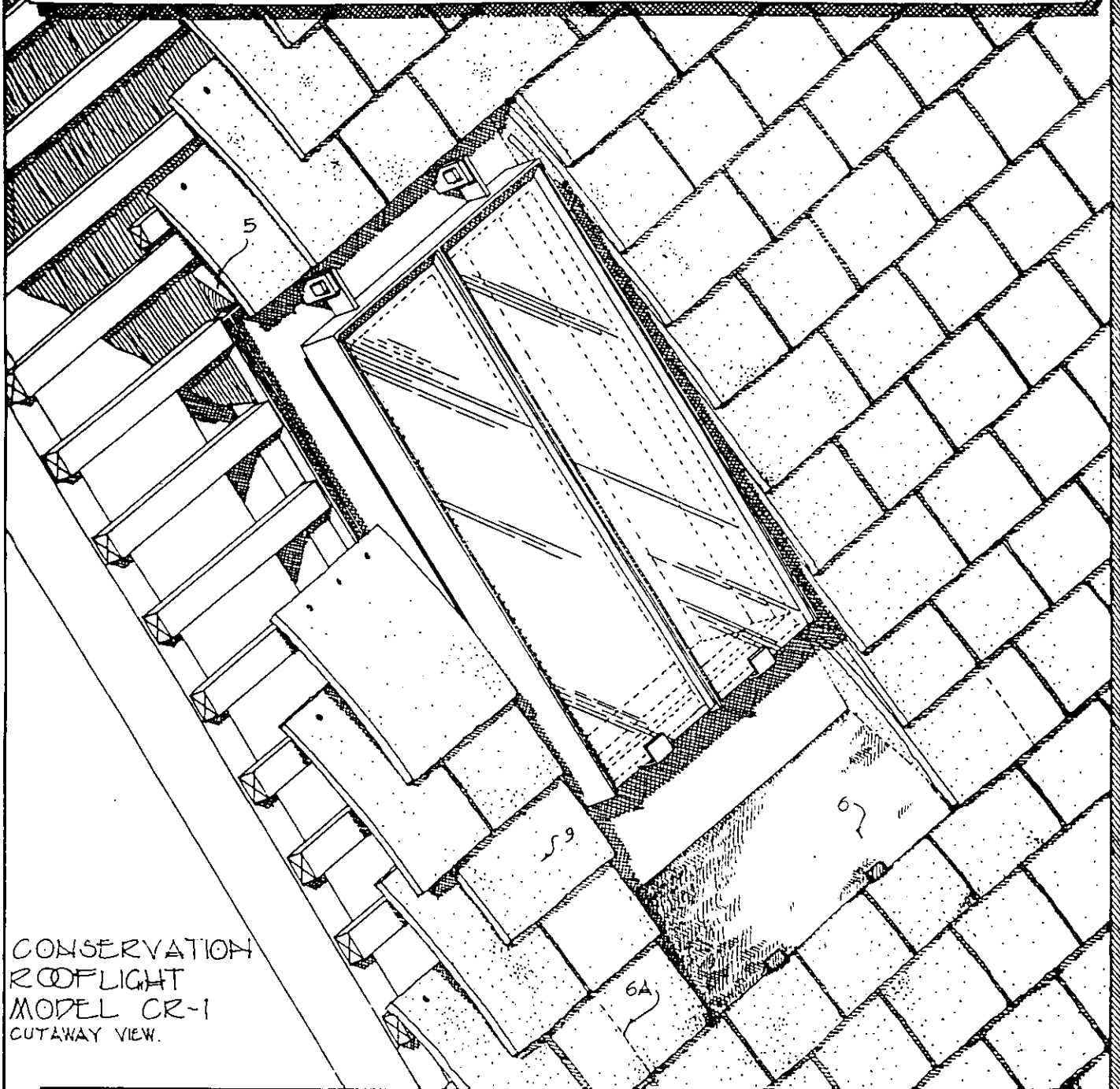
IRONMONGERY

A range of hand or pole operated ironmongery is available in brass or chrome finish, in addition to a range of cord and electric operators. Please refer to the Ironmongery Options sheet for further details.

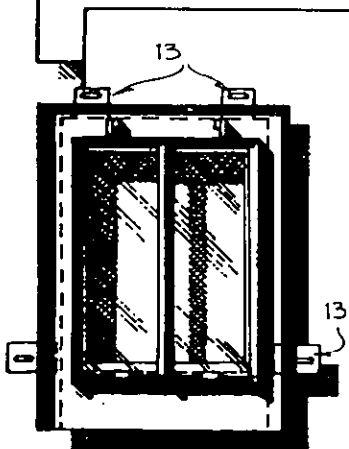
PRICE AND QUOTATIONS

Prices for the Replica Range of rooflights are set out in our Price List. We can provide written quotations promptly upon notification of requirements.

the Conservation Rooflight



CONSERVATION
ROOFLIGHT
MODEL CR-1
CUTAWAY VIEW.



CR-1 UNIT
1:20 SCALE

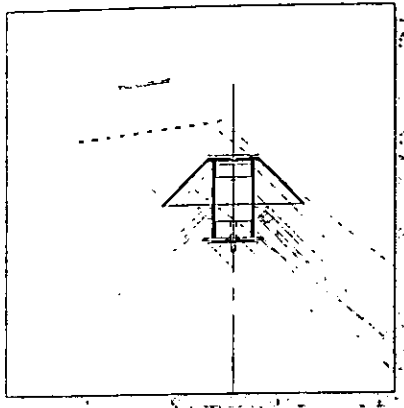
WHAT IS THE CONSERVATION ROOFLIGHT ?

- IT IS A FAITHFUL REPLICA OF A LOW - PROFILE TRADITIONAL CAST-IRON ROOFLIGHT , BUT BROUGHT UP TO DATE BY THE USE OF DOUBLE GLAZING, DRAUGHTSTRIPPING AND LONG - LIFE PAINT SYSTEM.

FEATURES :-

- EASY TO INSTALL, AND SUITABLE FOR ALL TILED ROOF COVERINGS.
- OPENABLE FOR VENTILATION + CLEANING.
- SHEET METAL CONSTRUCTION IS HOT - DIP GALVANISED AND POLYESTER POWDER PAINTED (STANDARD COLOUR IS BLACK).
- DOUBLE GLAZED AS STANDARD.*
- REPLACEABLE CLIP - ON DRAUGHTSTRIP FITTED.
- IRONMONGERY OPTIONS AVAILABLE TO SUIT REQUIREMENTS.
- BRITISH MADE.
- * OPTIONS AVAILABLE TO SUIT MOST REQUIREMENTS.

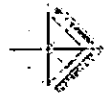
The Metal Window Company



Pyramid Rooflights: basic technical information

Pyramid Rooflights are a development of the standard Conservation Rooflight design, utilising sheet steel construction and complex section detailing, but adopting a skirted base unit, and a pyramid casement component.

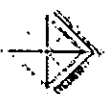
Basic technical characteristics and options are:



Four standard sizes available from stock - please refer to technical drawings for recommended kerb sizes/ aperture allowances.



Standard glazing specification is toughened outer leaf and laminated safety inner leaf.



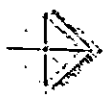
Pyramids utilise steel construction weather-protected in accordance with standard Conservation Rooflight specification.



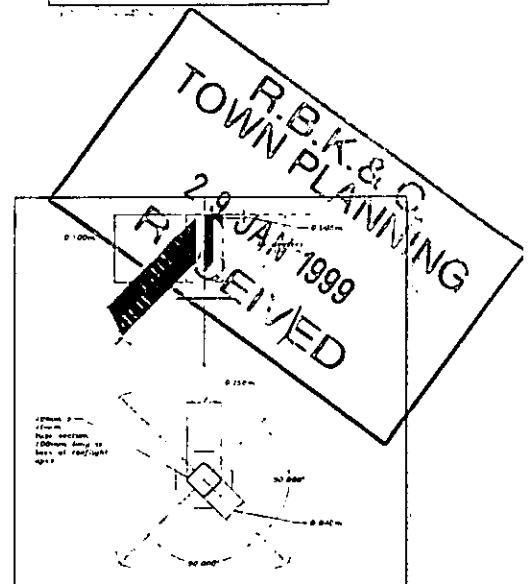
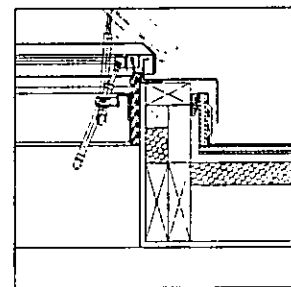
For security, all rooflight fixings are internal, glazing is set upon security glazing tape, and hinge assemblies are welded to prevent external tampering.



All Pyramids are fitted with Thermoliner (TM), a thermally-decoupled lining that collects and removes condensation from the rooflight frame to outside air.



Standard Pyramid colour is black, but white and storm grey are no-cost options available to order. Any other BS colour is also available to order.

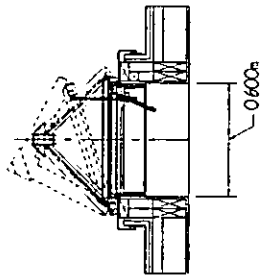


The Pyramid Rooflight is obtainable from: The Metal Window Company Ltd, Unit B, Wychwood Business Centre, Milton Road, Shipton-under-Wychwood, Oxon OX7 6XU Tel: 01993 830613 Fax: 01993 831066 Email: info@metalwindow.co.uk

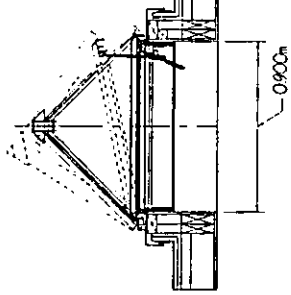
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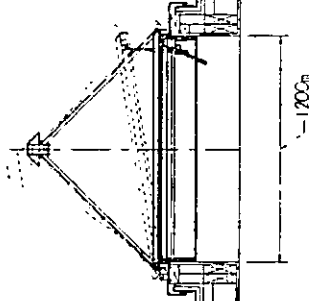
Pyramid
600



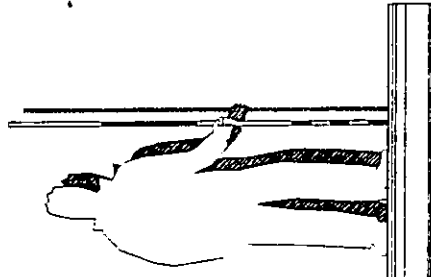
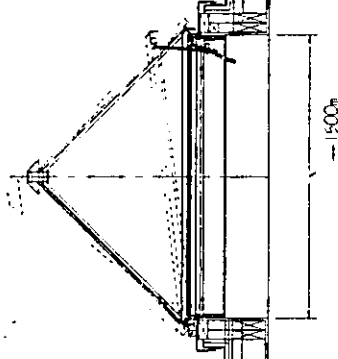
Pyramid
900



Pyramid
1200

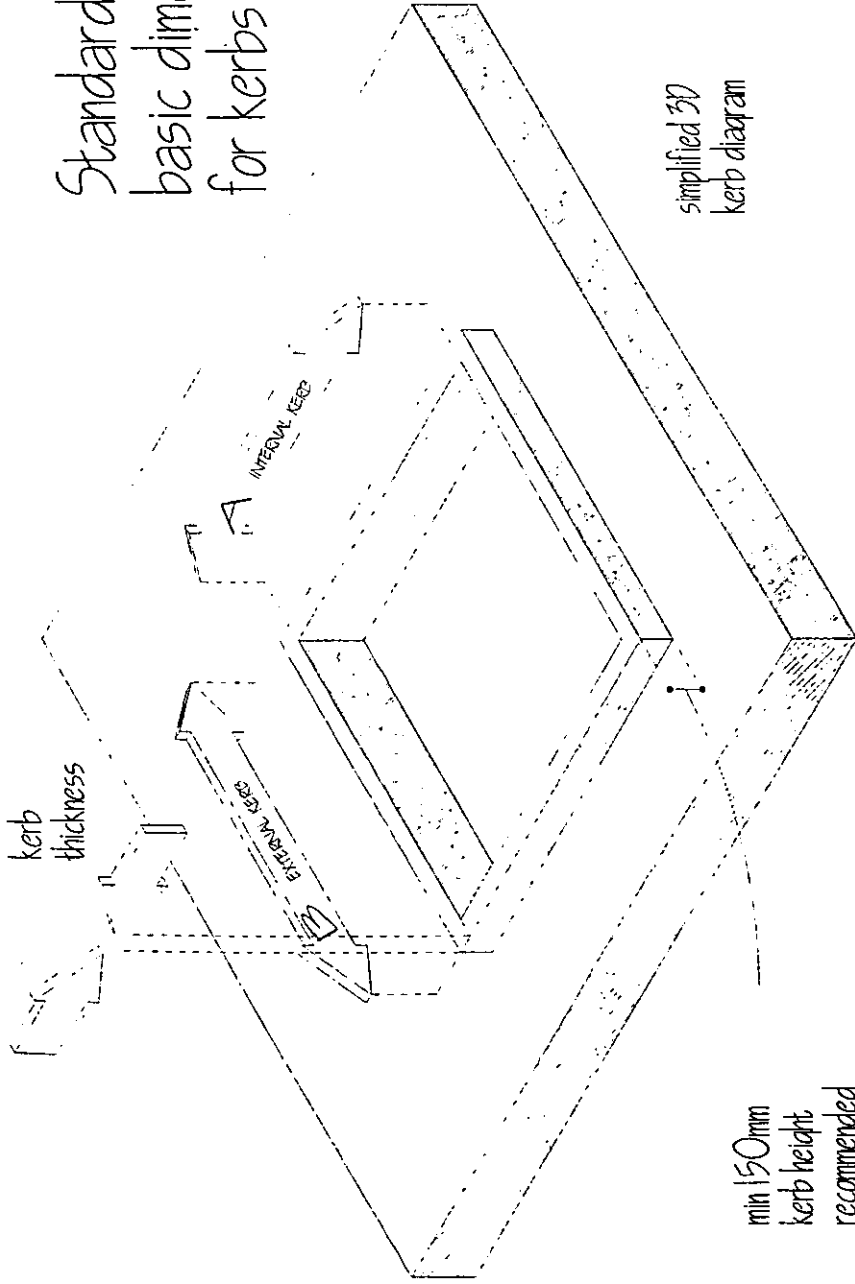


Pyramid
1500



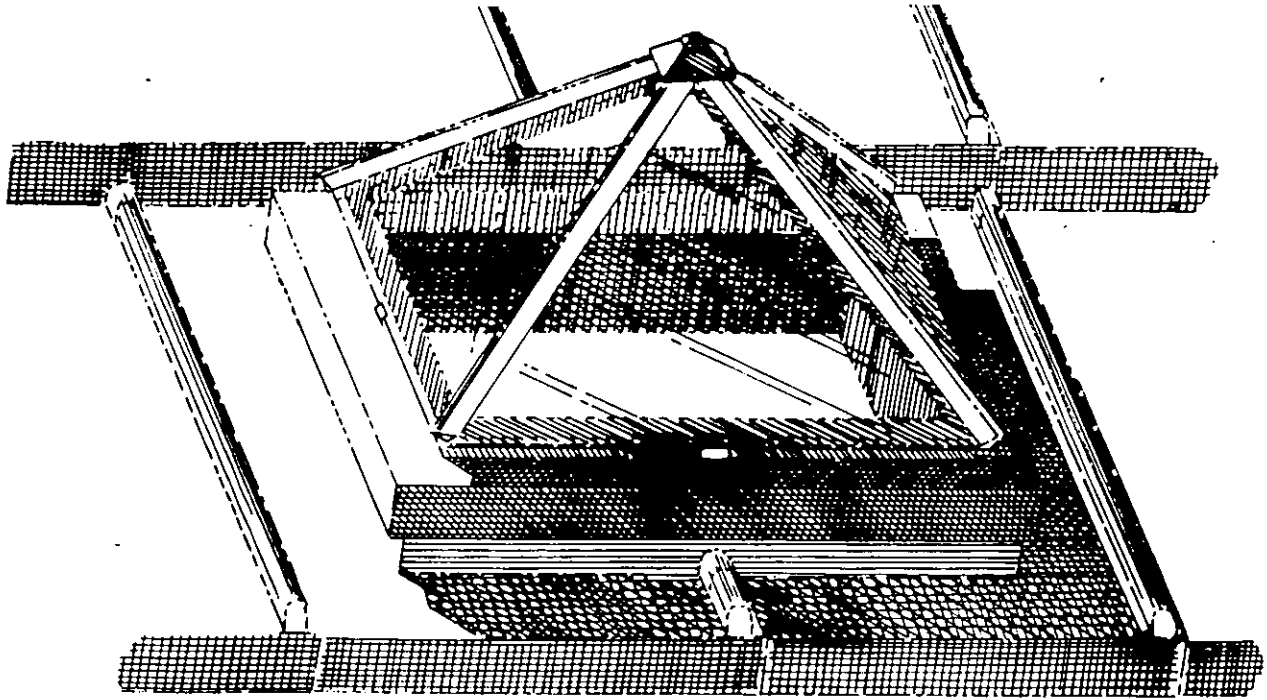
The Metal Window Company Limited - Pyramid Rooflights
RANGE SUMMARY SHEET
Plans and Long Sections
scale 1:40

Standard Pyramid: basic dimensional information for kerbs



	A Internal kerb	B External kerb	Kerb thickness:	Clear horiz light plane:	Pyramid assy overall height:
Pyramid 600	0.6m.	0.9m.	150mm.	0.558m.	0.582m.
Pyramid 900	0.9m.	1.2m.	150mm.	0.858m.	0.732m.
Pyramid 1200	1.2m.	1.5m.	150mm.	1.158m.	0.882m.
Pyramid 1500	1.5m.	1.8m.	150mm.	1.458m.	1.032m.

The Metal Window Company



Pyramid Rooflights

Of weather-protected sheet steel construction.
Complex detailing design gives proven weathertightness.



Four standard sizes available to suit internal kerb dimensions
of 600, 900, 1200 and 1500mm.



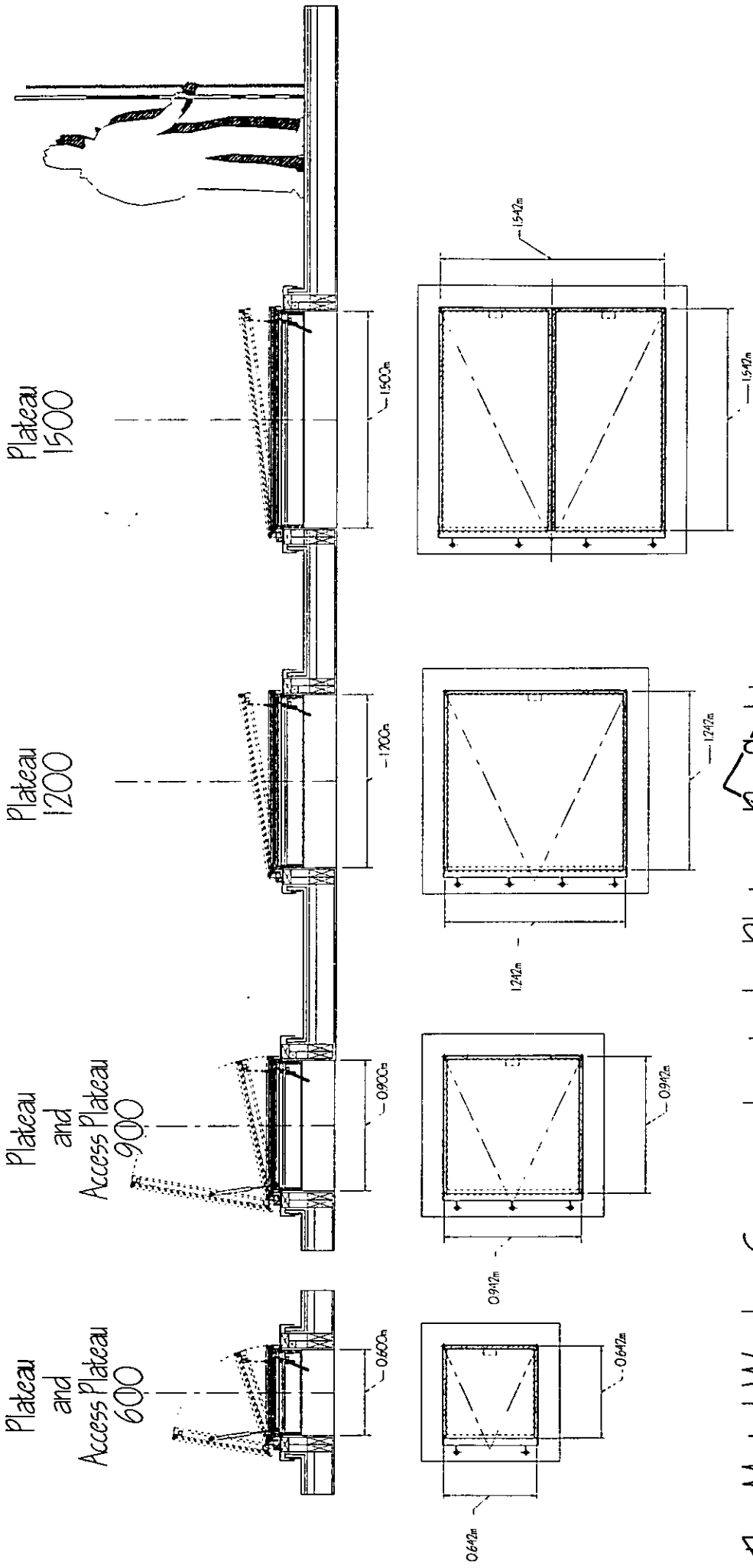
Incorporates Thermoliner (TM), a thermally-decoupled lining,
double glazing with safety glass and pole winder.



Available in black, white and storm grey as standard.
Any other BS colour also available.

The Pyramid Rooflight is obtainable from:

The Metal Window Company Ltd, Unit 8, Wychwood Business Centre, Milton Road,
Shipton-under-Wychwood, Oxon OX7 6XU. Tel: 01993 830613 Fax: 01993 831066
Email: info@metalwindow.co.uk

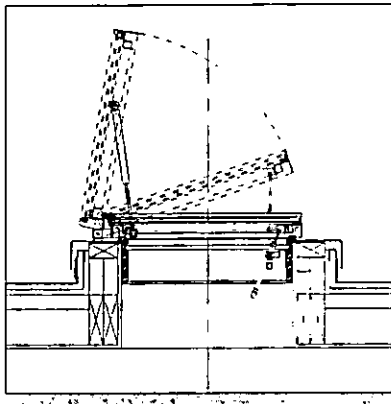


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The Metal Window Company Limited - Plateau Rooflights
RANGE SUMMARY SHEET
Plans and Long Sections
scale 1:40

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The Metal Window Company



Plateau Rooflights: basic technical information

Plateau Rooflights are a development of the standard Conservation Rooflight design, utilising sheet steel construction and complex section detailing, but adopting a skirted base unit.

Basic technical characteristics and options are:



Four standard sizes available from stock. Smaller sizes may be adapted to allow access if required - please refer to technical drawings for recommended kerb sizes/ aperture allowances.



Standard glazing specification is toughened outer leaf and laminated safety inner leaf.



Plateaus utilise steel construction weather-protected in accordance with standard Conservation Rooflight specification.



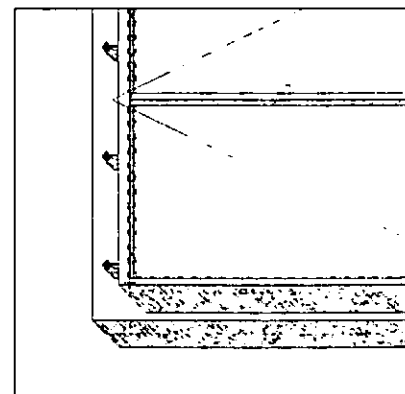
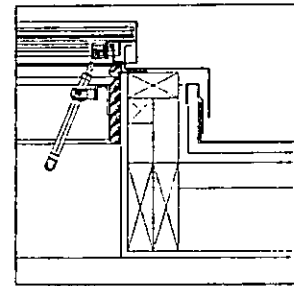
For security, all rooflight fixings are internal, glazing is set upon security glazing tape, and hinges assemblies are welded to prevent external tampering.



All Plateaus are fitted with Thermoliner (TM), a thermally-decoupled lining that collects and removes condensation from the rooflight frame to outside air.



Standard Plateau colour is black, but white and storm grey are no-cost options available to order. For other BS colour is also available to order.

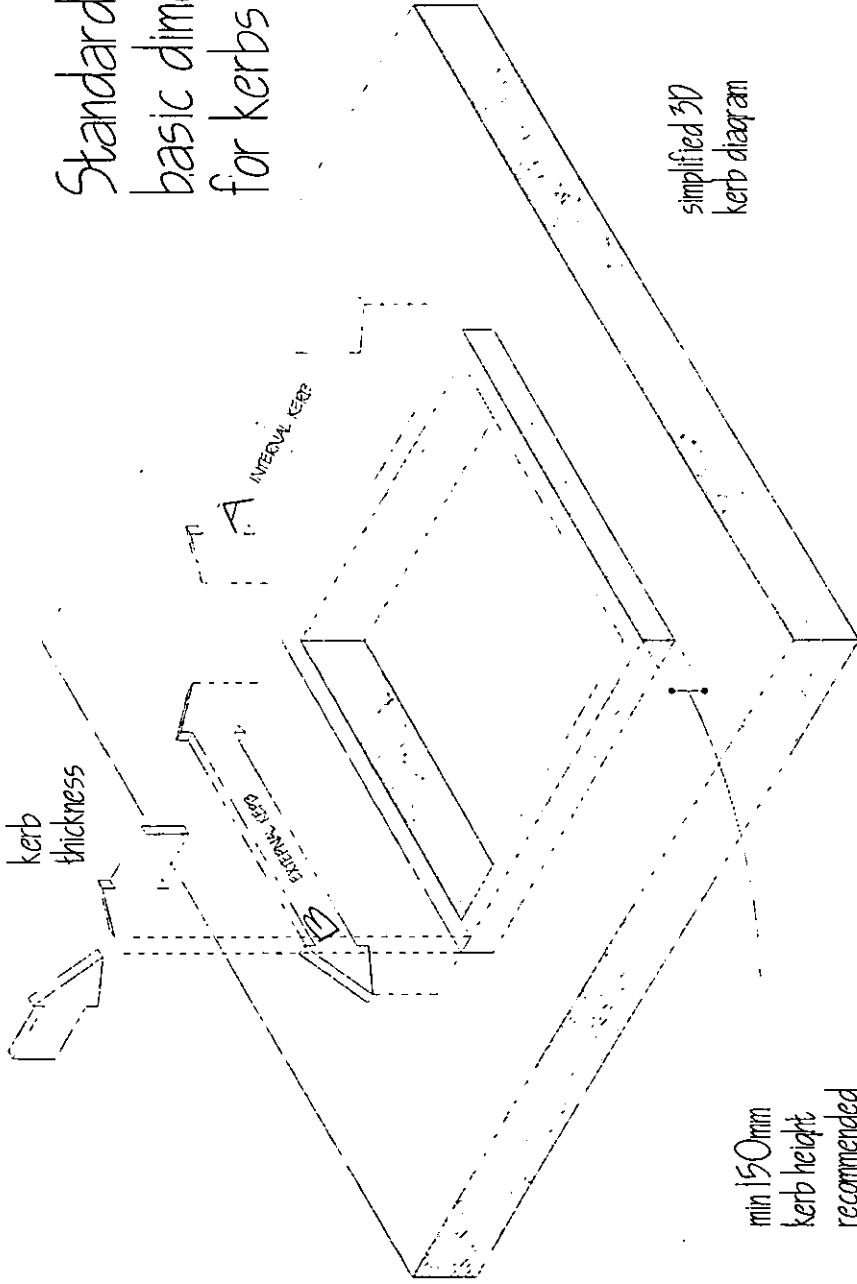


The Plateau Rooflight is obtainable from: The Metal Window Company Ltd, Unit 8, Wychwood Business Centre, Milton Road, Shipton-under-Wychwood, Oxon OX7 6XU Tel: 01993 830615 Fax: 01993 831066 Email: info@metalwindow.co.uk

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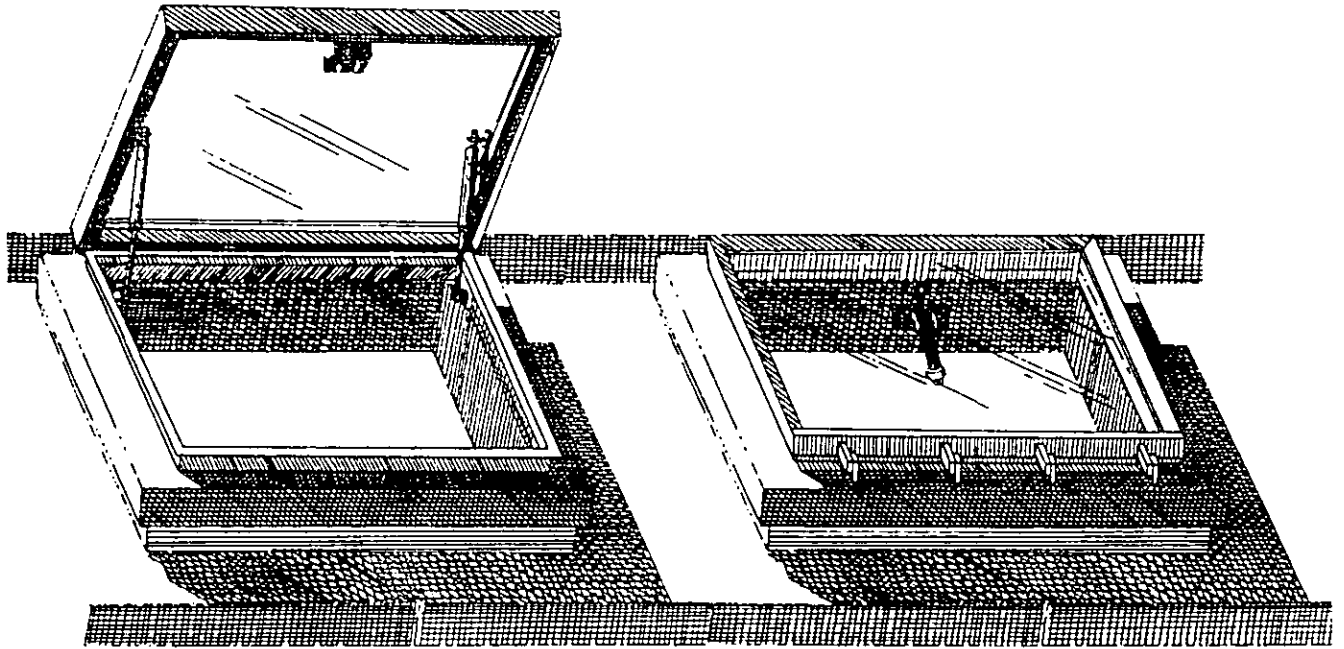
September 1998

Standard Plateau: basic dimensional information for kerbs



	A Internal kerb	B External kerb	Kerb thickness:	Clear horiz light. plane:
Plateau 600	0.6m.	0.9m.	150mm.	0.558m.
Plateau 900	0.9m.	1.2m.	150mm.	0.858m.
Plateau 1200	1.2m.	1.5m.	150mm.	1.158m.
Plateau 1500	1.5m.	1.8m.	150mm.	1.458m.

The Metal Window Company



Plateau Rooflights

Flat roof casements of weather-protected sheet steel construction.
Complex detailing design gives proven weathertightness.



Four standard sizes available to suit internal kerb dimensions
of 600, 900, 1200 and 1500mm.



Incorporates Thermoliner (TM), a thermally-decoupled lining,
double glazing with safety glass and pole winder.



Available in black, white and storm grey as standard.
Any other BS colour also available.

The Pyramid Rooflight is obtainable from:

The Metal Window Company Ltd, Unit 8, Wychwood Business Centre, Milton Road,
Shipton-under-Wychwood, Oxon OX7 6XU. Tel: 01993 830613 Fax: 01993 837066
Email: info@metalwindow.co.uk

NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

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Chartered Surveyors - Property Consultants

45 Berkeley Square, London, W1X 5DB
Tel: 0171-406-1010 Fax: 0171-493-4449

Project

17-19 Onslow Square
London SW7

Client

The Wellcome Trust Ltd.
(A Registered Charity)

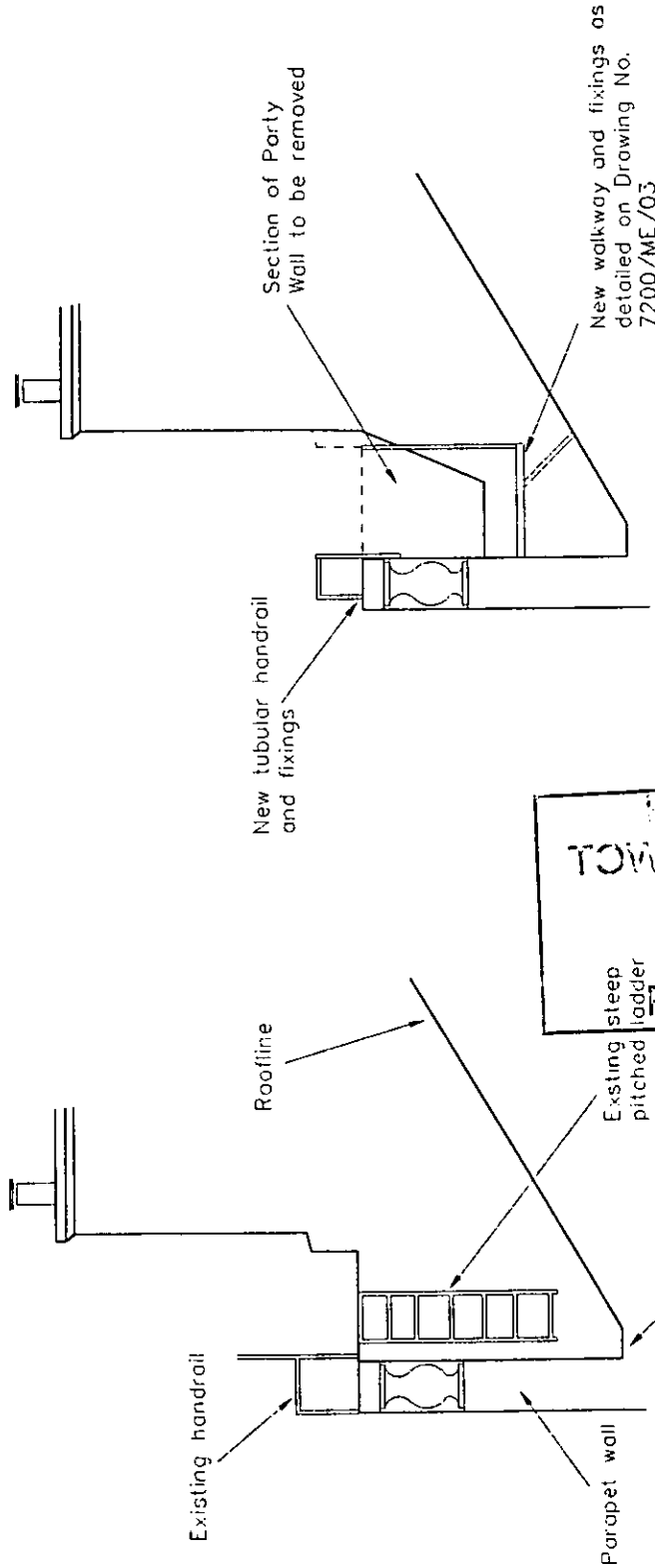
Drawing

Alterations to means of escape
route

Drawn By RJG

Drng No 7200/ME/02 Rev

Date 6/11/1997 Scale 1:50



REK & C.
TOWN PLANNING
26 JAN 1998
RECEIVED

PROPOSED

EXISTING

PARTY WALL BETWEEN NO.15 AND 17
LOOKING FROM NO.15 TOWARDS NO.17

NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

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Tel: 0171-408-1010 Fax: 0171-493-4449

Project

17-19 Onslow Square
London SW7

Client

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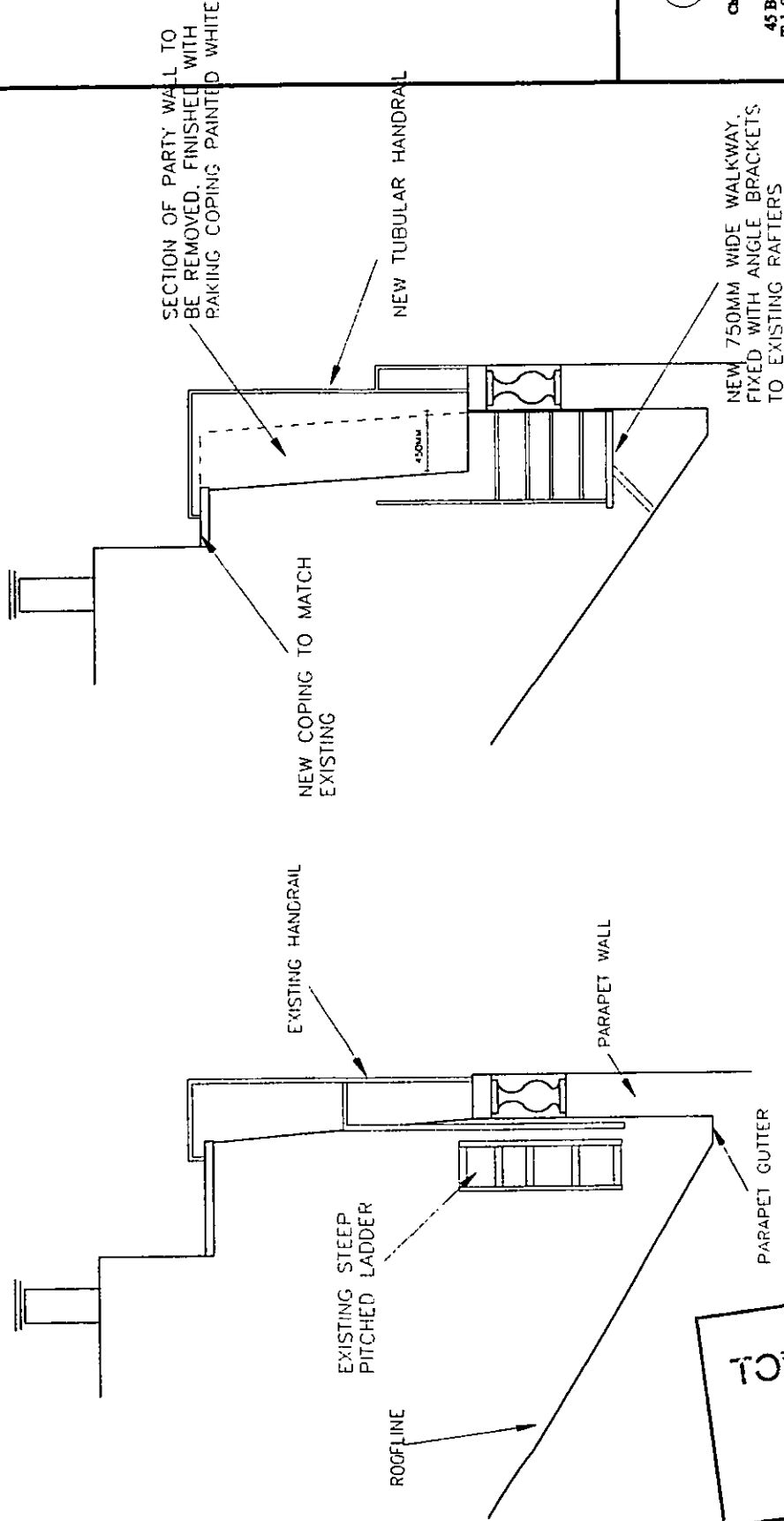
Drawing

Alterations to means of escape route

Drawn By RJG

Drg No 7200/ME/03 Rev

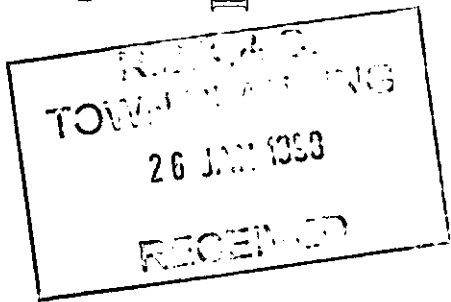
Date 6/11/1997 Scale 1:50



PROPOSED

EXISTING

PARTY WALL BETWEEN NOS 13 AND 15
LOOKING FROM NO 15 TOWARDS NO 13



NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

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Project

17-19 Onslow Square
London SW7

Client

The Wellcome Trust Ltd.
(A Registered Charity)

Drawing

New means of escape platform
at No. 15

Drawn By RJG

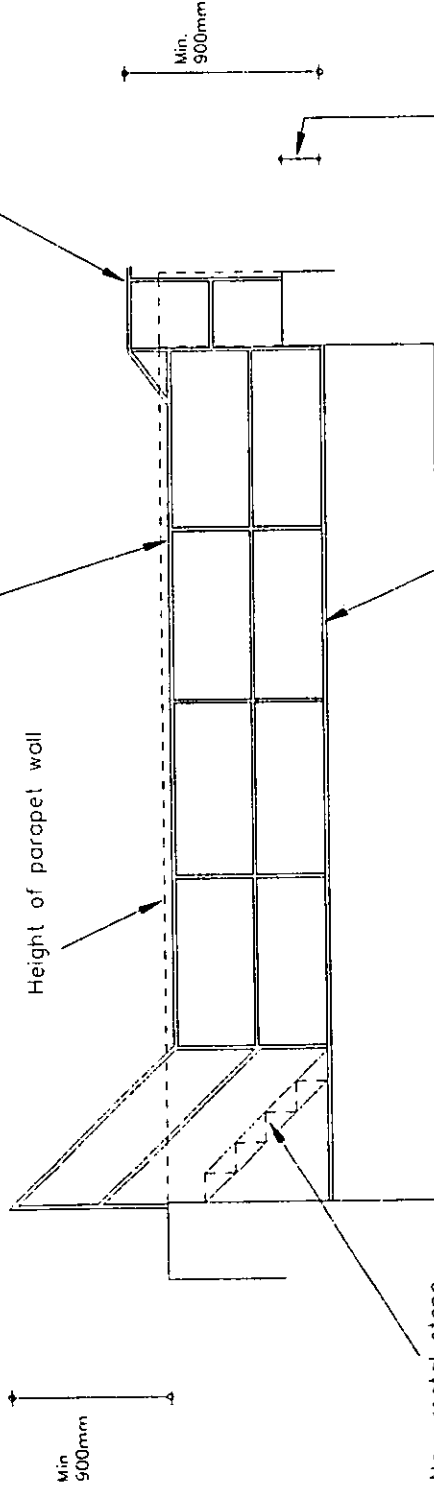
Dwg No 7200/ME/09 Rev

Date 6/11/1997 **Scale** 1:50

See Drawing No. 7200/ME/01
for detail of access landing
to No.17

New handrail and balustrading
detail concealed behind parapet
wall

Height of parapet wall



Maximum height
of step 250mm

New steel walkway with angle
brackets fixed to existing
rafters at 600mm centres

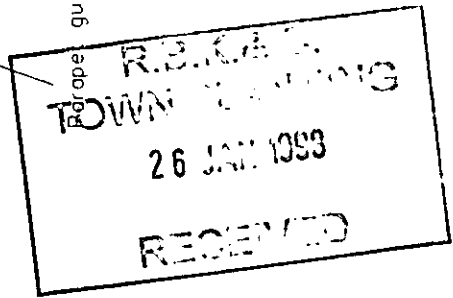
Parapet gutter level

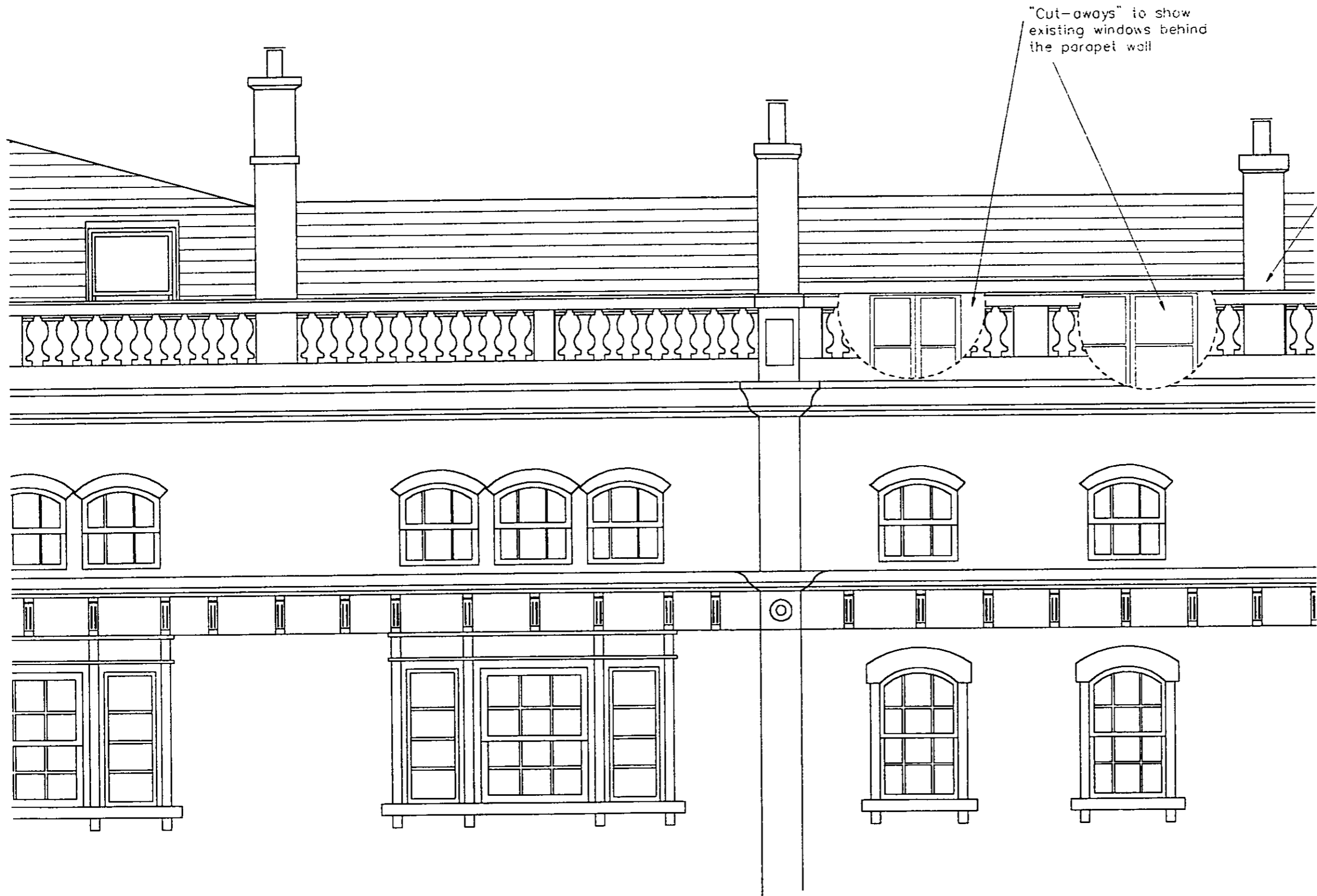
New metal steps,
approx. 240mm goings
and 220mm risers

No. 17

NO. 15

NO. 13





"Cut-aways" to show existing windows behind the parapet wall

Existing handrail detail shown on Drawing No. 7200/M/04

NOTES
 Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions
 NB. Position of rainwater downpipes shown on Drawing No. 7200/M/04

TP980166

R. B. & C.
TOWN PLANNING
 26 JAN 1998
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CLUTTONS

Chartered Surveyors - Property Consultants
 45 Berkeley Square, London W1X 5DB
 Tel: 0171-408-1010 Fax: 0171-493-4449

Project
 17-19 ONSLOW SQUARE
 LONDON SW7

Client
 THE WELLCOME TRUST LTD
 (A REGISTERED CHARITY)

Drawing
 EXISTING FRONT ELEVATION
 SECOND TO FOURTH FLOORS

Drawn By PJG

Drg No 7200/M/02 **Rev**

Date 15/1/1998 **Scale** 1:50

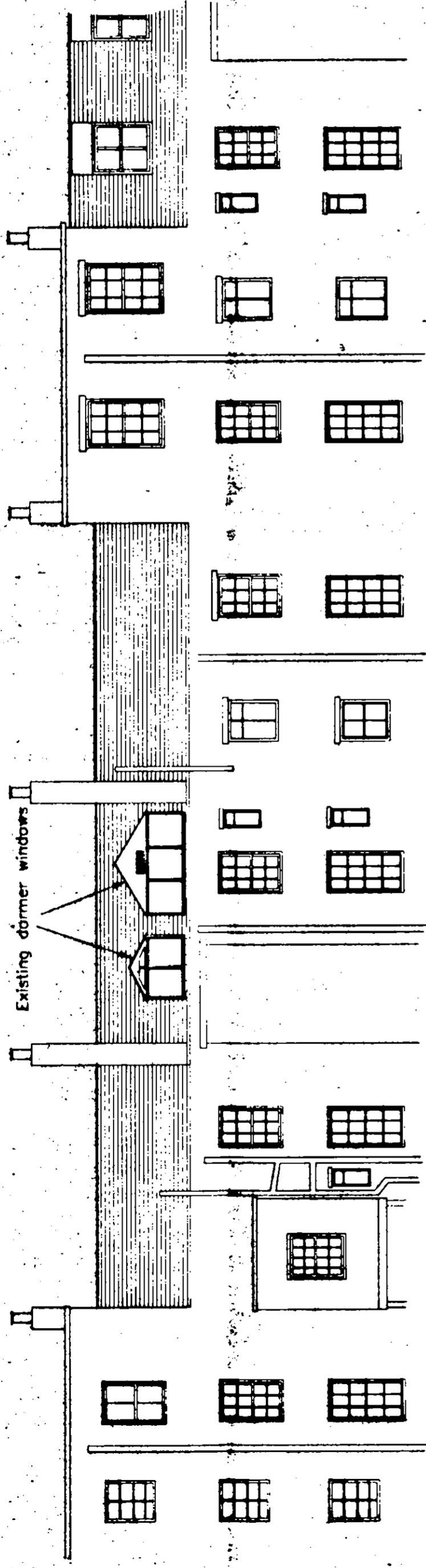
No. 21

No. 19

No. 17

NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions



No. 13

No. 15

No. 17

No. 19

No. 21

No. 23

EXISTING REAR ELEVATION

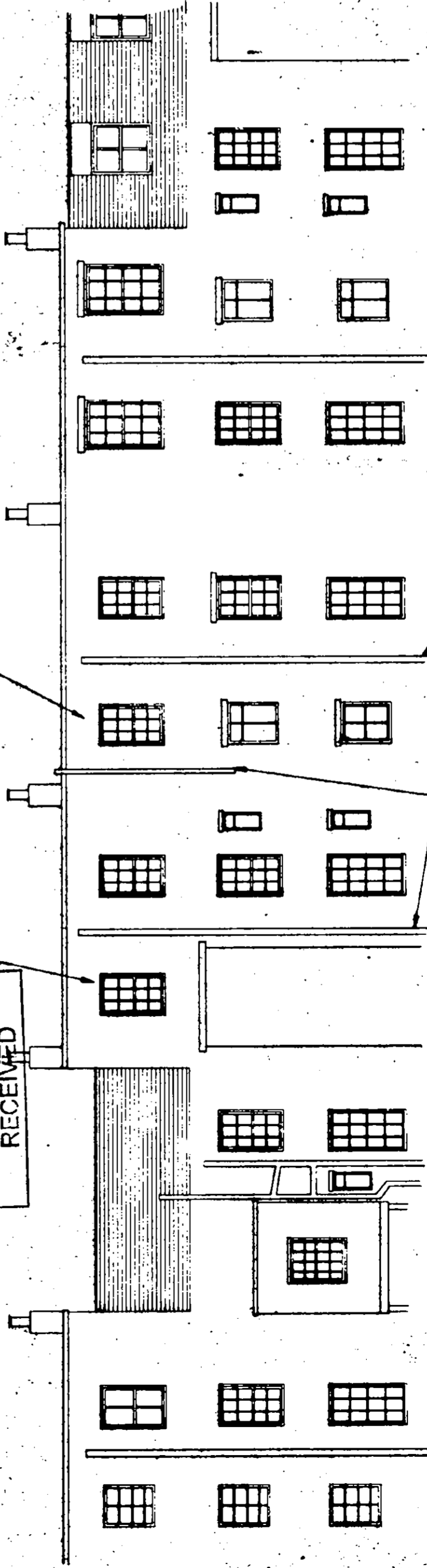
R.B.K. & C.
TOWN PLANNING
26 JAN 1998
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Rear elevation to be raised vertically to match existing bricks to match existing

New timber sash windows with brick arches over, all to match existing

Existing rainwater goods to be raised in cast iron

Existing soil pipe to be raised in cast iron



No. 13

No. 15

No. 17

No. 19

No. 21

No. 23

PROPOSED REAR ELEVATION

TP980166

CLUTTONS

Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 5DB
Tel: 0171-406-1010 Fax: 0171-493-4449

Project
17-19 ONSLOW SQUARE
LONDON SW7

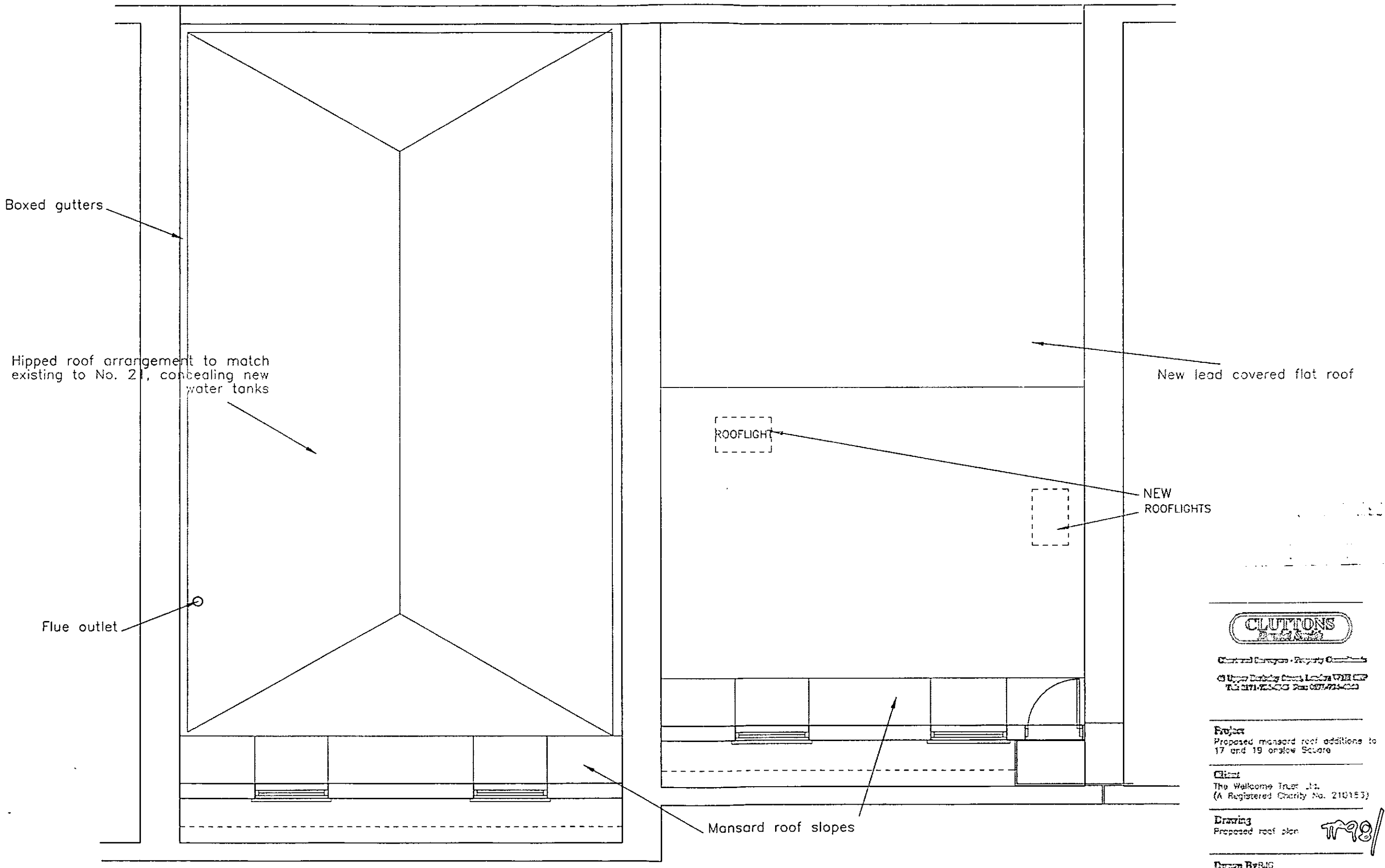
Client
THE WELLCOME TRUST
(A REGISTERED CHARITY)

Drawing
REAR ELEVATION - SECOND,
THIRD AND FOURTH FLOORS

Drawn By RJG

Dwg No 7200/M/03 **Rev**

Date 7/1/1998 **Scale** 1:100



Boxed gutters

Hipped roof arrangement to match existing to No. 21, concealing new water tanks

Flue outlet

New lead covered flat roof

ROOFLIGHT

NEW ROOFLIGHTS

Mansard roof slopes

No. 19

No. 17

CLUTTONS
 Chartered Surveyors - Property Consultants
 25 Upper Berkeley Street, London W1M 0BB
 Tel: 01753 6333 Fax: 01753 6333

Project
 Proposed mansard roof additions to 17 and 19 onslow Square

Client
 The Wellcome Trust Ltd.
 (A Registered Charity No. 210153)

Drawing
 Proposed roof plan *TR98/0106B*

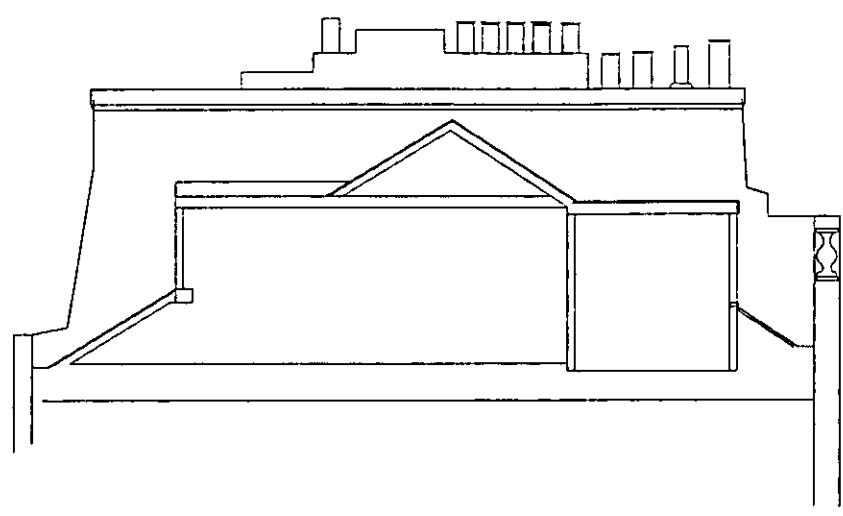
Drawn By RJS

Eng No 7200/R/01 **Rev** A

Date 2/7/98 **Scale** 1:50

01/2000
 To establish form of structure to be replaced, as only. It is not intended to be a final plan for the structure to be replaced.

EXISTING



New flat roof, maximum falls 10° covered with lead

Partly wall to be raised to match existing between Nos. 13 and 15. All chimney pots to be replaced with new terracotta pots to provide uniformity along length of stack.

New raking copings provided, painted white

Rear wall to be raised vertically, with external faced with second hand brickwork to match existing adjacent surfaces

New lead cheeked and roofed dormer window, with timber sash windows

Sash windows to be rebated to match third floor below

70° pitch

Lead lined parapet gutter

PROPOSED

T98/0166B



Chartered Surveyors - Property Consultants
 41 Upper Berkeley Street, London W1B 6EP
 Tel: 0171-734-6545 Fax: 0171-734-6543

Project
 17-19 Onslow Square
 London SW7

Drawing
 Schematic section through No.17

Client
 The Wellcome Trust Ltd.
 (A Registered Charity)

Drawn By RJG
Drwg No 7220/X/J1 Rev A
Date 3/7/97 **Scale** 1:100

NOTES

Do not scale from the drawing, wait to figure dimensions only. Refer any discrepancies to the Surveyor for further instructions

Emergency lights are to be installed along the length of the route, to light when access doors are opened, on one hours time switch

TP980166

CLUTTONS
Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 3DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project
17-19 Onslow Square
London SW7

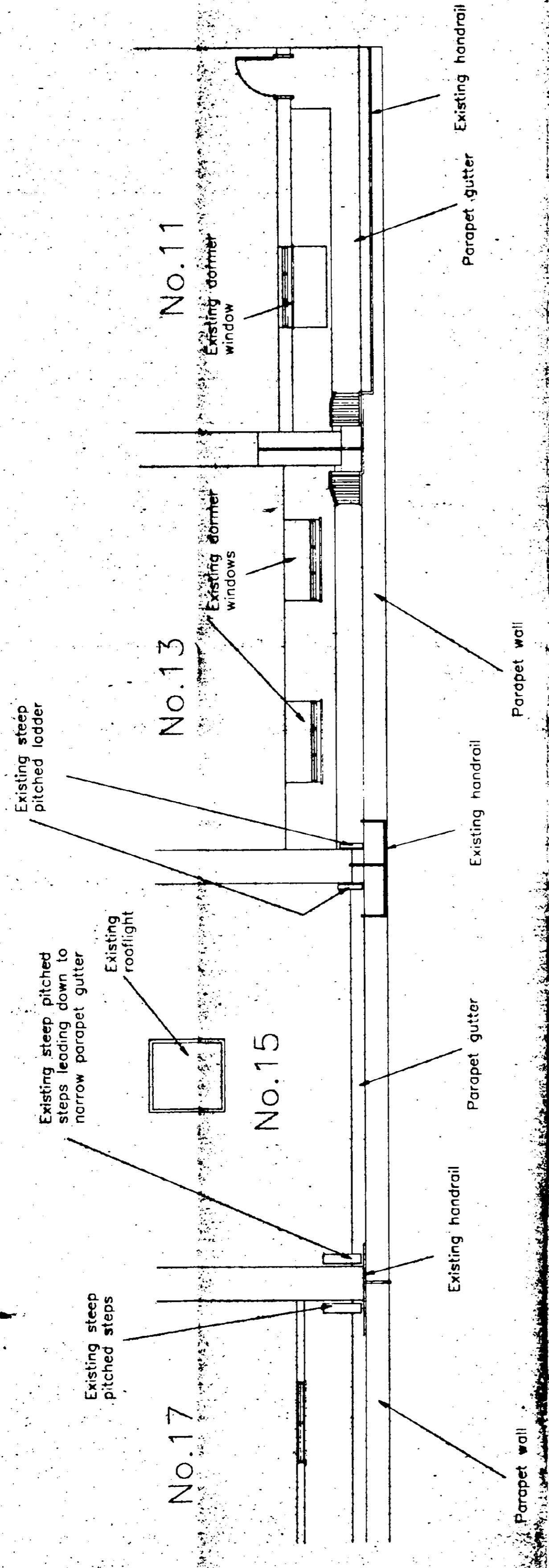
Client
The Wellcome Trust Ltd.
(A Registered Charity)

Drawing
Alterations to means of escape
route between No. 11 & 17

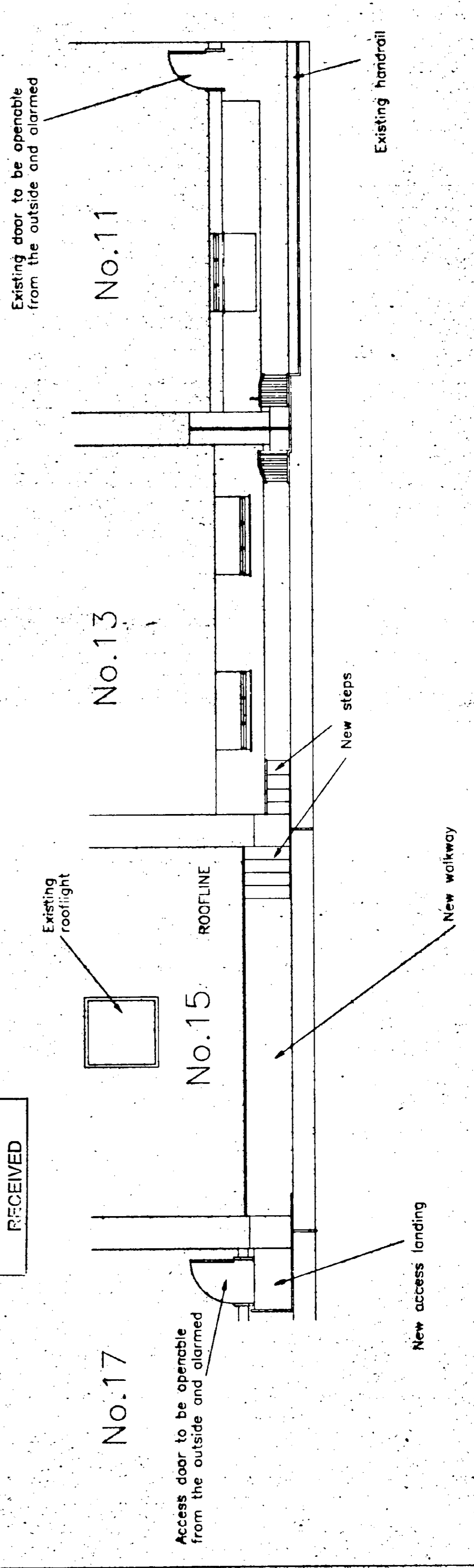
Drawn By RJG

Dwg No 7200/ME/08 Rev

Date 6/11/1997 **Scale** 1:50



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NOTES

Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

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Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 3DB
Tel: 0171-406-1010 Fax: 0171-493-4449

Project

17-19 Onslow Square
London SW7

Client

The Wellcome Trust Ltd.
(A Registered Charity)

Drawing

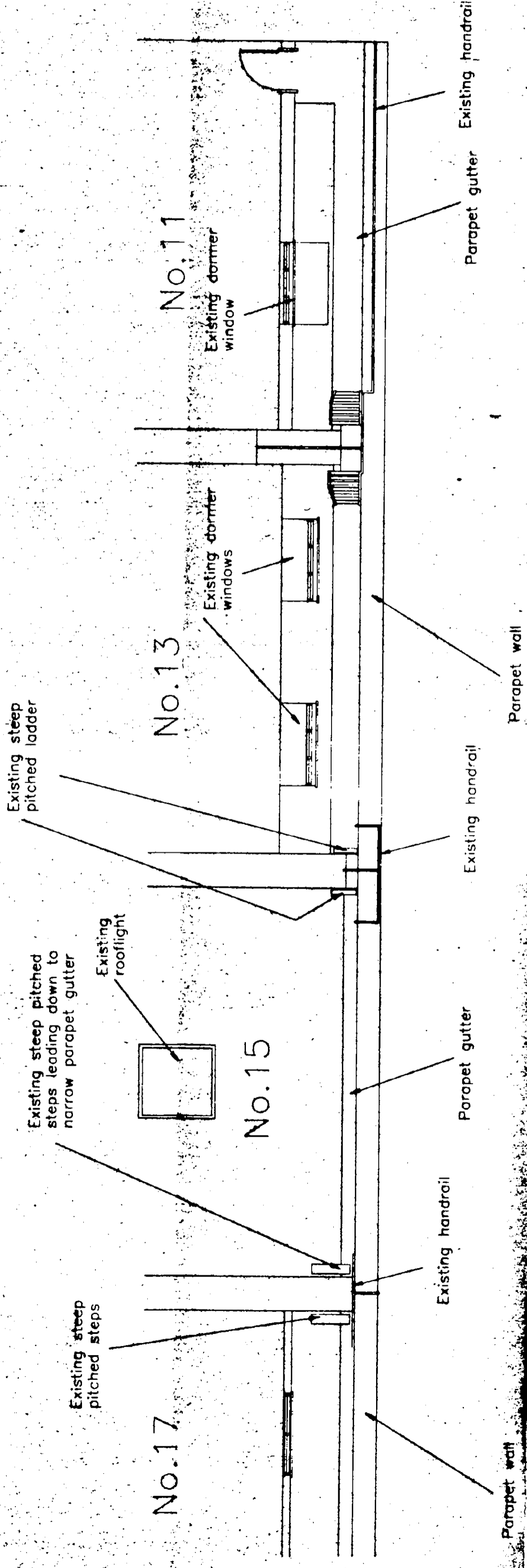
Alterations to means of escape route between No. 11 & 17

Drawn By RJG

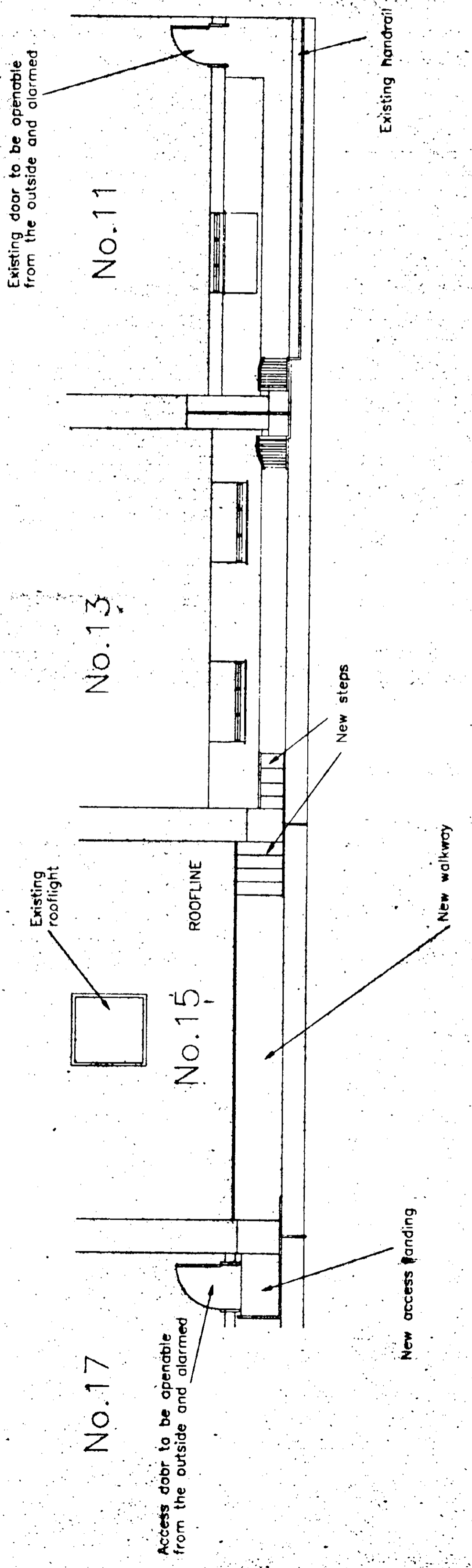
Dwg No 7200/ME/08 Rev

Date 6/11/1997

Scale 1:50



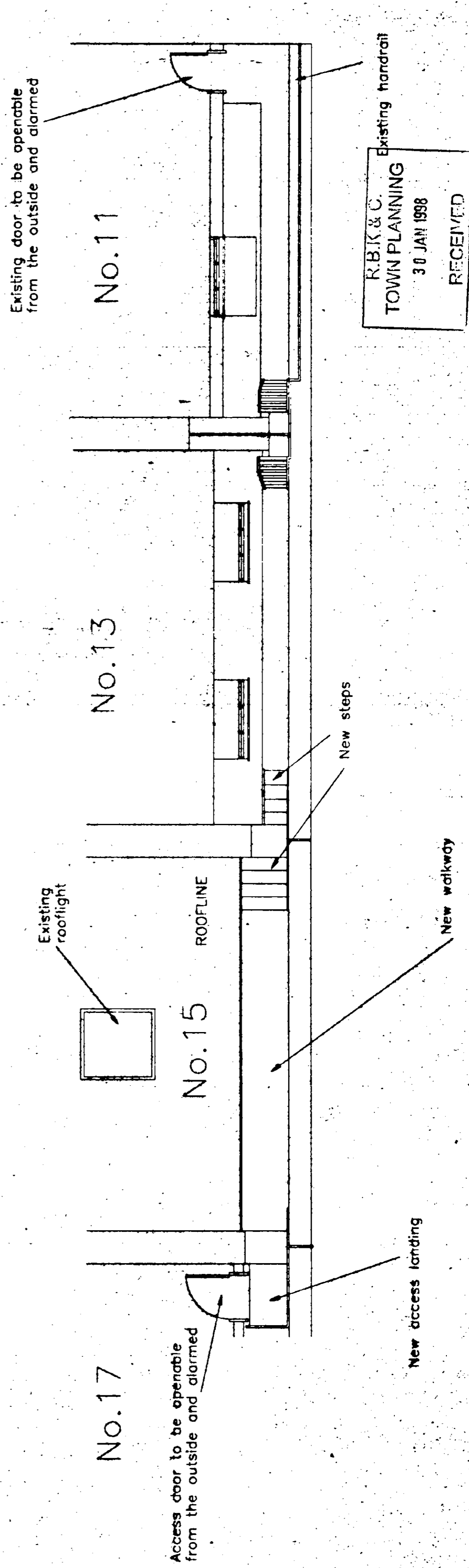
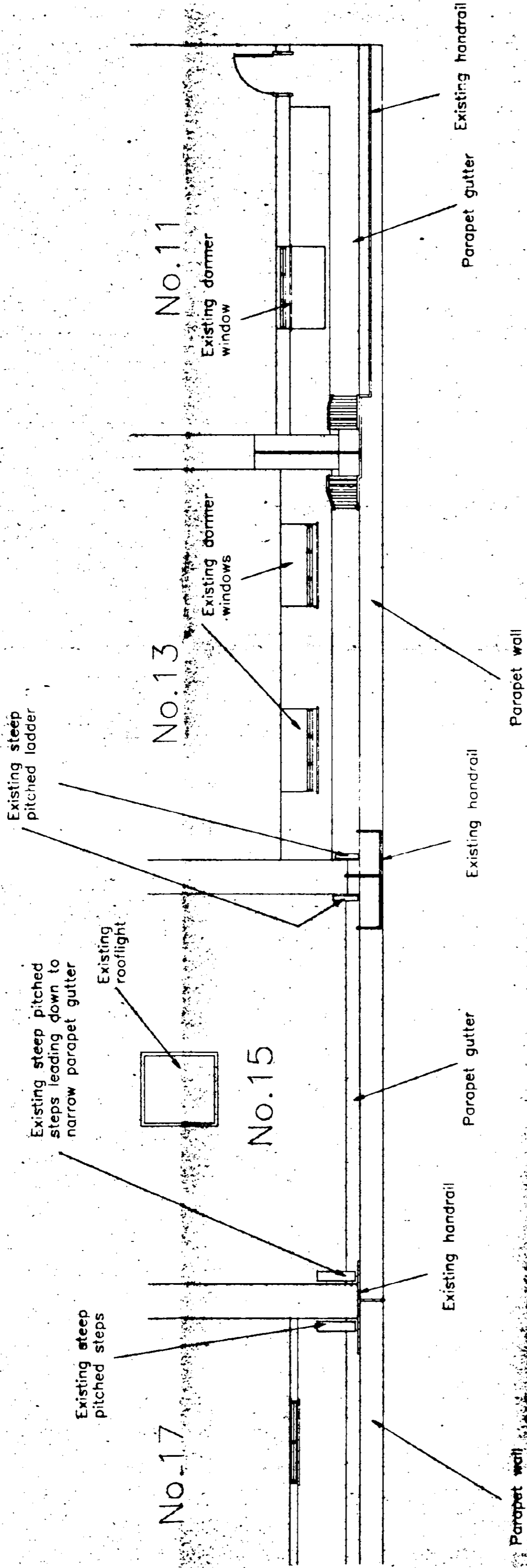
30 JAN 1998
RECEIVED



NOTES

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Emergency lights are to be installed along the length of the route, to light when access doors are opened, on one hours time switch



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CLUTTONS

Chartered Surveyors - Property Consultants

43 Berkeley Square, London W1X 5DB
Tel: 0171-406-1010 Fax: 0171-493-4449

Project
17-19 Onslow Square
London SW7

Client
The Wellcome Trust Ltd.
(A Registered Charity)

Drawing
Alterations to means of escape
route between No. 11 & 17

Drawn By RJG

Dwg No 7200/ME/08 Rev

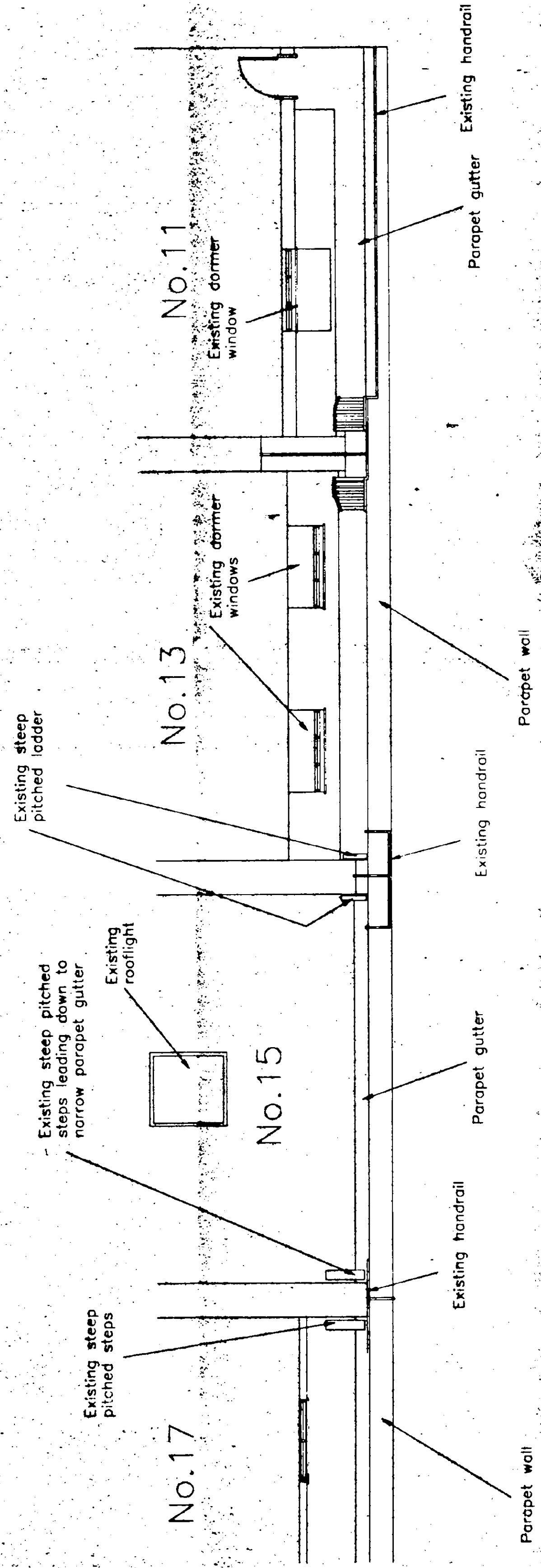
Date 6/11/1997 Scale 1:50

R.B.K & C.
TOWN PLANNING
30 JAN 1998
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NOTES

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Emergency lights are to be installed along the length of the route, to light when access doors are opened, on one hours time switch



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Chartered Surveyors - Property Consultants
 145 Berkeley Square, London W1X 5DB
 Tel: 0171-408-1010 Fax: 0171-493-4449

Project

17-19, Onslow Square
 London SW7

Client

The Wellcome Trust Ltd.
 (A Registered Charity)

Drawing

Alterations to means of escape
 route between No. 11 & 17

Drawn By

RJG

Dwg No

7200/ME/08 Rev

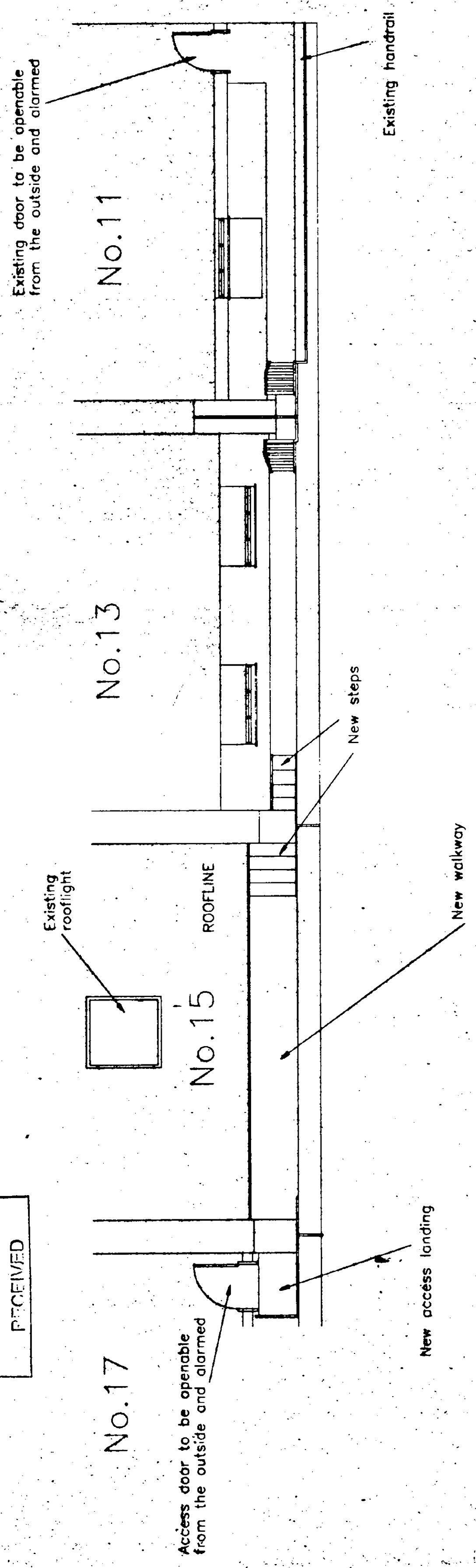
Date

6/11/1997

Scale

1:50

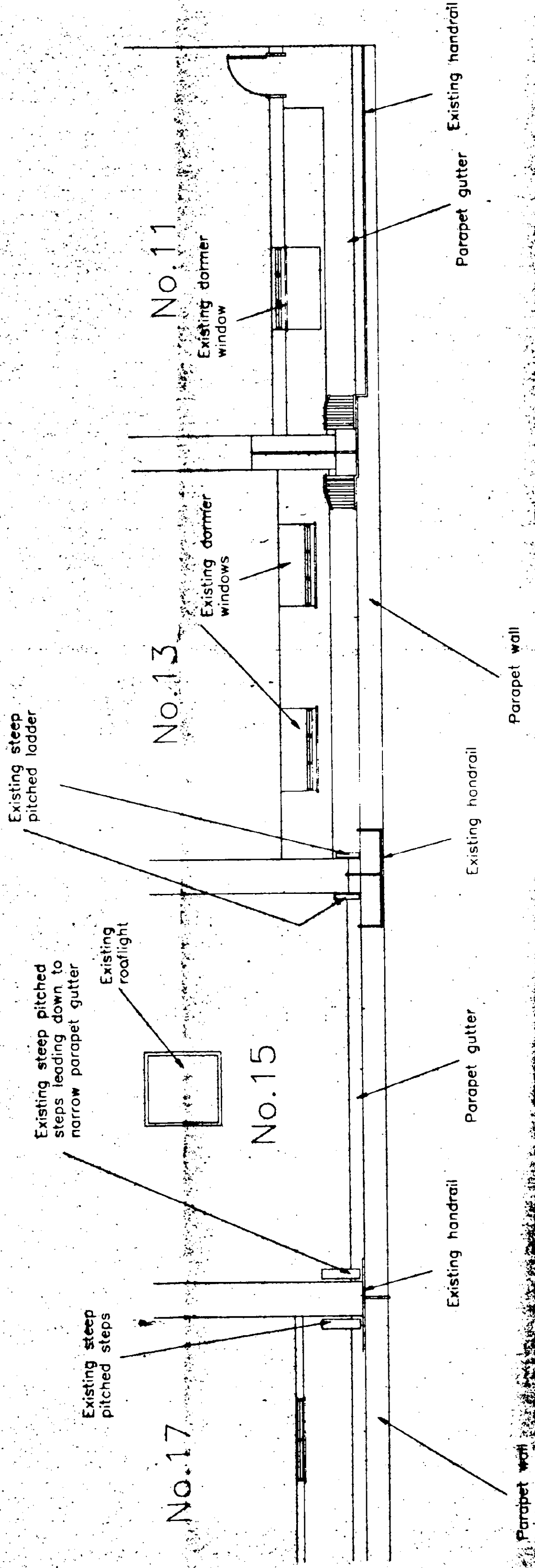
LEWIS & C.
 TOWN PLANNING
 30 JAN 1998
 RECEIVED



NOTES

Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

Emergency lights are to be installed along the length of the route, to light when access doors are opened, on one hours time switch



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Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 5DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project
17-19 Onslow Square
London SW7

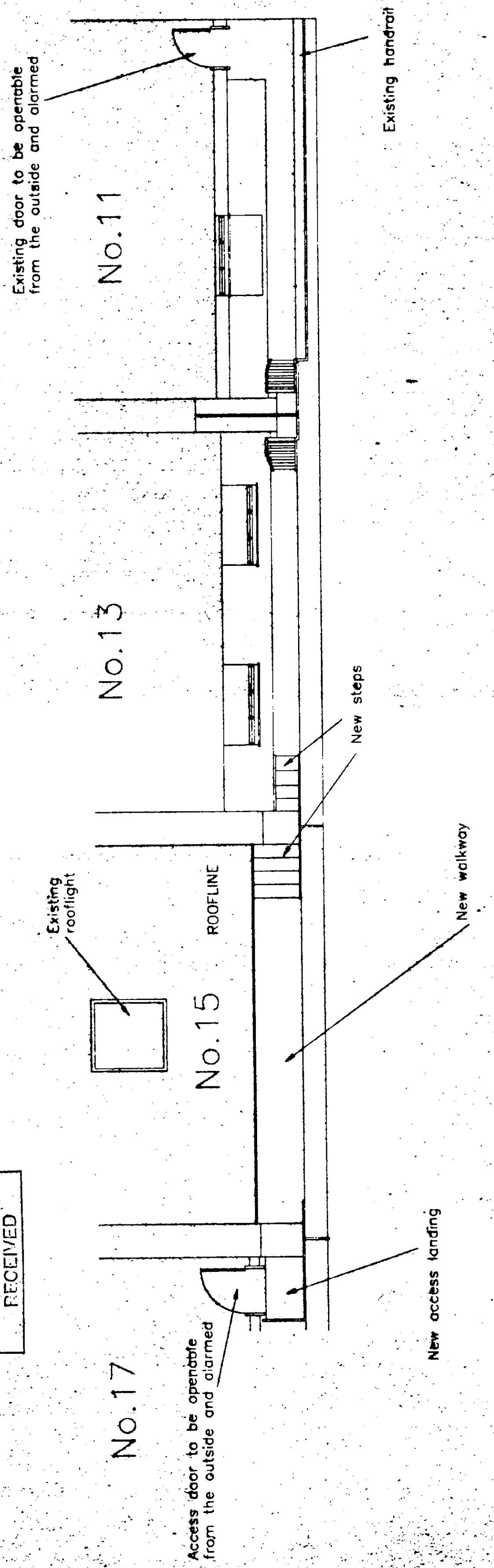
Client
The Wellcome Trust Ltd.
(A Registered Charity)

Drawing
Alterations to means of escape route between No. 11 & 17

Drawn By RJG

Drg No 7200/ME/08 Rev 1

Date 6/11/1997 **Scale** 1:50



NOTES

Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

Emergency lights are to be installed along the length of the route, to light when access doors are opened, on one hours time switch

TP980166



Chartered Surveyors - Property Consultants

45 Bedford Square, London, W1X 5DB
Tel: 0171-406-1010 Fax: 0171-493-4449

Project
17-19 Onslow Square
London SW7

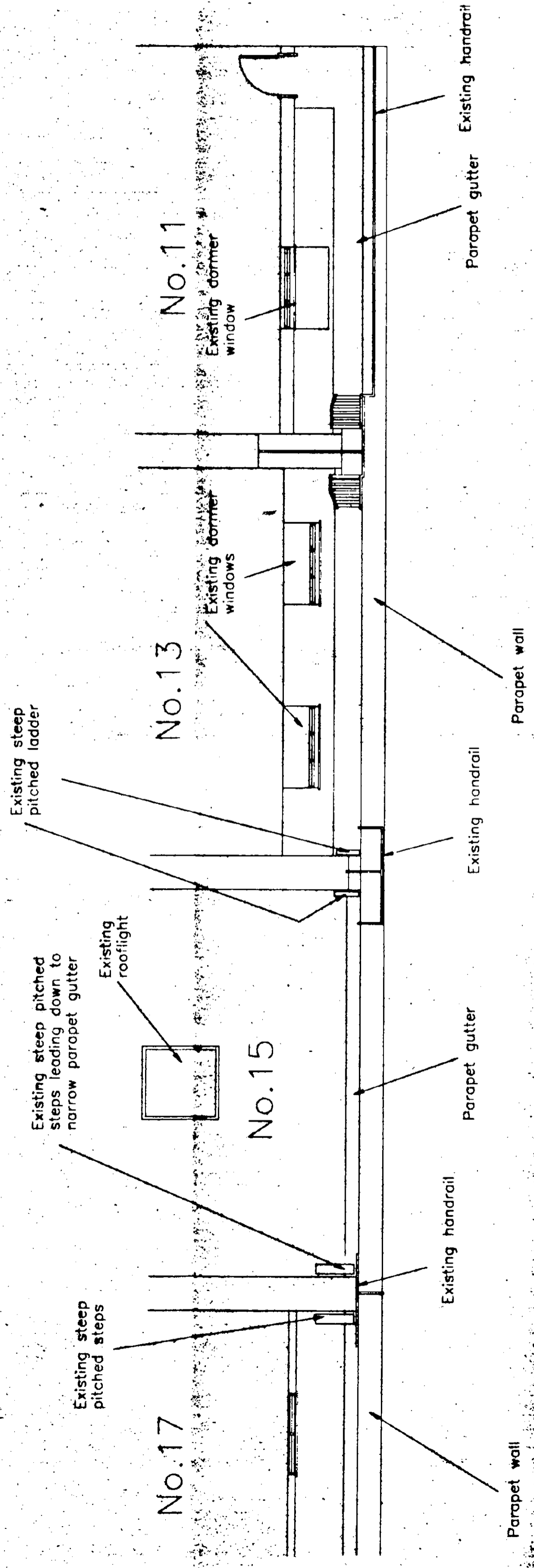
Client
The Wellcome Trust Ltd.
(A Registered Charity)

Drawing
Alterations to means of escape
route between No. 11 & 17

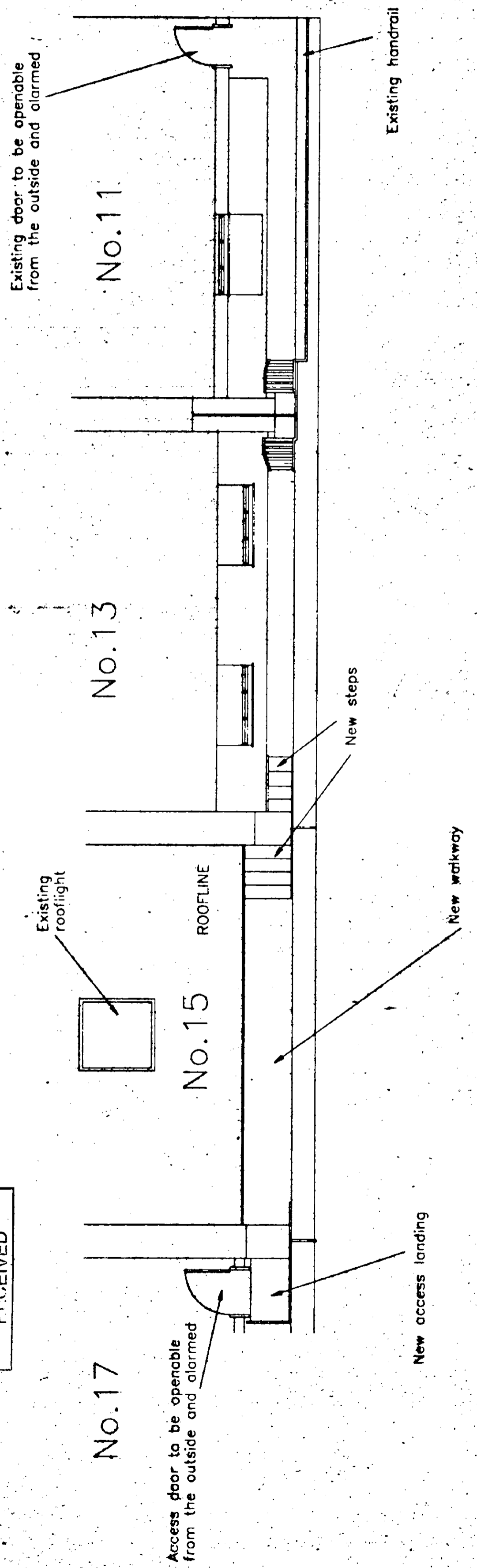
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Dwg No 7200/ME/08 Rev

Date 6/11/1997 **Scale** 1:50



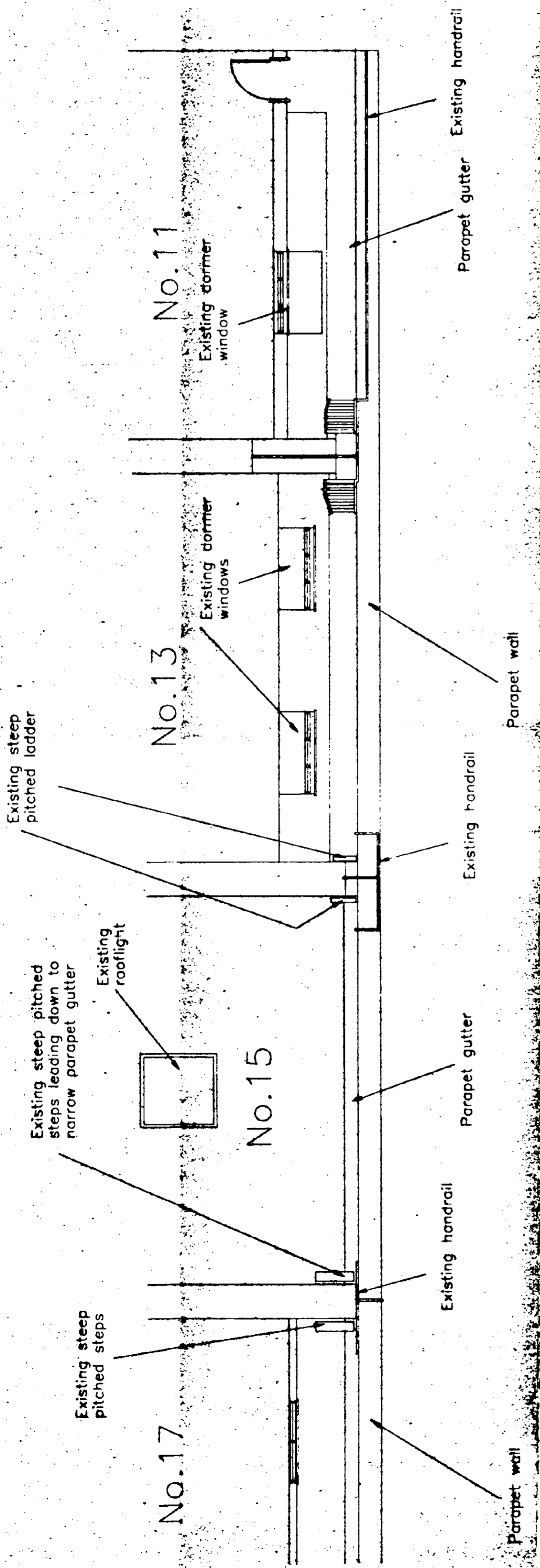
LOCKE C.
TOWN PLANNING
30 JAN 1998
RECEIVED



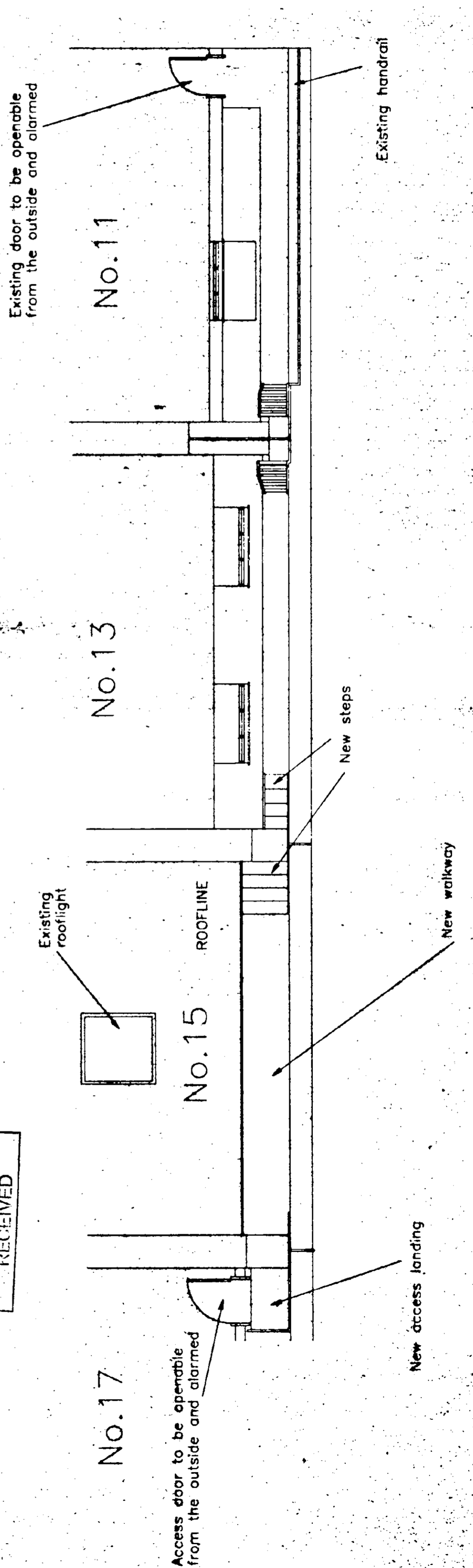
NOTES

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PAUL K & C.
TOWN PLANNING
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Chartered Surveyors - Property Consultants

45 Beakley Square, London W1X 5DB
Tel: 0171-406-1010 Fax: 0171-493-4449

Project
17-19 Onslow Square
London SW7

Client
The Wellcome Trust Ltd.
(A Registered Charity)

Drawing
Alterations to means of escape
route between No. 11 & 17

Drawn By RJG

Dwg No 7200/ME/08 Rev

Date 6/11/1997 **Scale** 1:50

TOWN & COUNTRY PLANNING ACT 1990

FORM TP1

APPLICATION FOR PERMISSION TO DEVELOP LAND AND/OR BUILDINGS IN GREATER LONDON

FOR OFFICE USE ONLY

Fee £ 190-00

Cheque / Post Order / Cash 036929

Receipt No. Issued 1010046

COMPLETE

Borough Ref.

Registered No.

Date Received

- 2 FEB 1998

RECEIVED BY PLANNING SERVICES

DIR	HDC	N	C	SW	SE	ENF	AO ACK
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PLEASE READ CAREFULLY THE GENERAL NOTES BEFORE FILLING IN THE FORM

PART ONE To be completed by or on behalf of all applicants as far as applicable
FEE (where applicable)

APPEALS	IO	REC	APP	FWD	CON	FEE
				PLN	DES	

1. APPLICANT (in block capitals)

Name The Wellcome Trust Limited
 Address c/o Cluttons Daniel Smith
48 Pelham Street
London SW7 2NW
 Tel. No. 0171 584 3651

AGENT (if any) to whom correspondence should be sent

Name Cluttons Daniel Smith
 Address 42 Upper Berkeley Street
London W1H 8EP
 Tel. No. 0171 724 4545 Ref. RJG

2. PARTICULARS OF PROPOSAL FOR WHICH PERMISSION IS SOUGHT

(a) Full address or location of the land to which this application applies
Attic rooms, fourth floor
17-19 Onslow Square, London SW7

(b) Site area
Approx. 150200m.sq

(c) Give details of proposal indicating the purpose for which the land/buildings are to be used and including any change(s) of use.
Construction of new mansard roofs to the properties
to create one new two bedroomed flat.

(d) State whether applicant owns or controls any adjoining land and if so, give its location.
Freehold owner of Nos.9-23 Onslow Square
London SW7 and of a large number of buildings in
South Kensington

(e) State whether the proposal involves:-

State Yes or No

(i) New building(s) or extension(s) to existing building(s)

YES

If "Yes" state gross floor area of proposed building(s).

Approx 150-200 m²

If residential development state number of dwelling units proposed and type if known, e.g. houses, bungalows, flats.

One new self-contained flat

(ii) Alterations

YES

(iii) Change of use

NO

(iv) Construction of new access to a highway } vehicular
 } pedestrian

NO

NO

(v) Alteration of an existing access to a highway } vehicular
 } pedestrian

NO

NO

If "Yes" state gross area of land or building(s) affected by proposed change of use (if more than one use involved state gross area of each use).

2 FFR 1998

Hectares/m²

Strike out whichever is inapplicable

3. PARTICULARS OF APPLICATION

State whether this application is for: State Yes or No

- (i) Outline planning permission NO
- (ii) Full planning permission YES
- (iii) Renewal of temporary permission or permission for retention of building or continuance of use without complying with a condition subject to which planning permission has been granted. NO
- (iv) Consideration under Section 72 only (Industry) NO

If "Yes" strike out any of the following which are not to be determined at this stage.

- 1. Siting
- 2. Design
- 3. Landscaping
- 4. External appearance
- 5. Means of access

If "Yes" state the date and number of previous permission and identify the previous condition.

Date Number

The Condition

4. PARTICULARS OF PRESENT AND PREVIOUS USE OF BUILDINGS OR LAND

State :-

- (i) Present use of buildings/land Residential
- (ii) If vacant the last previous use and period of use with relevant dates.

5. LIST ALL DRAWINGS, CERTIFICATES, DOCUMENTS, ETC; forming part of this application

..... 7200/M/01-04, 7200/P/02B, 7200/P/01G, 7200/ME/01-04 and 08-09

6. ADDITIONAL INFORMATION State Yes or No

- (a) Is the application for non-residential development NO If "Yes" complete PART THREE of this form (See PART THREE for exemptions)
- (b) Does the application include the winning and working of minerals NO If "Yes" complete PART FOUR of this form
- (c) Does the proposed development involve the felling of any trees NO If "Yes" state numbers and indicate precise position on plan

(d) (i) How will surface water be disposed of? N/A

(ii) How will foul sewage be dealt with? Connected into existing

(e) Materials - Give details (unless the application is for outline permission) of the colour and type of materials to be used for:

- (i) Walls Second hand brickwork to match adjacent
- (ii) Roof Natural slates and lead
- (iii) Means of enclosure N/A

We hereby apply for (strike out whichever is inapplicable)

- (a) Planning permission to carry out the development described in this application and the accompanying plans in accordance therewith
- (b) Planning permission to retain the building(s) or work(s) already constructed or carried out, or a use of the land already instituted as described in this application and accompanying plans.

Signed Clifford Dawson on behalf of THE WELCOME TRUST LTD Date 22/1/98

AN APPROPRIATE CERTIFICATE MUST ACCOMPANY THIS APPLICATION (See General Notes)

If you are the ONLY owner of ALL the land at the beginning of the period 20 day before the date of application, complete Certificate A. If otherwise see PART TWO of this form.

CERTIFICATE A - Certificate under Section 66 of the Town & Country Planning Act 1990. I hereby certify that:-

*Strike out whichever is unapplicable.

- 1. No person other than the applicant was an owner (a) of any part of the land to which the application relates at the beginning of the period of 20 days before the date of the accompanying application.
- 2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or
- 3. *I have / the applicant has given requisite notice to every person other than *myself/himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:-

(a) "Owner" means a person having freehold interest or a leasehold interest the unexpired term of which was not less than 7 years.

Name and Address of Tenant

Date of Service of Notice

Signed on behalf of Date

IF 20 DAYS BEFORE MAKING THE APPLICATION YOU ARE NOT THE ~~ONLY OWNER OF ALL THE LAND AND HAVE~~ SIGNED A CERTIFICATE ON PART ONE OF THE FORM THEN DO ~~NOT COMPLETE PART TWO OF THE FORM.~~
 For definition of 'owner' see General Notes

NOT COMPLETE PART TWO OF THE FORM.
 TOWN AND COUNTRY PLANNING SERVICES

PART TWO	TOWN AND COUNTRY PLANNING ACT 1990	APPL	NO	SW	CC	EMP	AO
	CERTIFICATE UNDER SECTION 66						ACK

26 JAN 1998

PLEASE READ THE NOTES OVERLEAF BEFORE FILLING IN PART TWO.

CERTIFICATE B

I hereby certify that:

APPL NO REC ARB FWD CON FEES

1. I have/the applicant has* given the requisite notice to all persons ~~20~~ 20 days before the date of accompanying application, were owners of any part of the land to which the application relates, viz:

† See note (a) to Certificate

Name of Owner AS ENCLOSED LETTERS Address TP 80166
 Date of Service of Notice

*2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or

3. I have/the applicant has given the requisite notice to every person other than myself/himself* who, 20 days before the date of the application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:

* Strike out whichever is inapplicable

Name and Address of Tenant

Date of Service of Notice

Signed Clifford David on behalf of THE WELLSOME TRUST Date 22.1.98

CERTIFICATE C

I hereby certify that:

1. (i) I am/the applicant is* unable to issue a certificate in accordance with either paragraph (a) or paragraph (b) of Section 66 (1) of the Act, in respect of the accompanying application dated

† See note (a) to Certificate

(ii) I have/ the applicant has* given the requisite notice to the following persons who, 20 days before the date of the application, were owners of any part of the land, to which the application relates, viz:

(a) Insert description of steps taken.
 (b) Insert name of local newspaper circulating in the locality in which the land is situated.
 (c) Insert date of publication (which must not be earlier than 20 days before the application).

Name of Owner Address

Date of Service of Notice

(iii) I have/the applicant has* taken the steps listed below, being steps reasonably open to me/him* to ascertain the names and addresses of the other owners of the land or part thereof and have/has* been able to do so:

* Strike out whichever is inapplicable

(a)

*2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or

3. I have/the applicant has been given the requisite notice to every person other than myself/himself* who, 20 days before the date of the application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:

Name and Address of Tenant

Date of Service of Notice

Signed on behalf of Date

CERTIFICATE D

I hereby certify that:

1. (i) I am/the applicant is* unable to issue a certificate in accordance with Section 66 (1) (a) of the Act in respect of the accompanying application dated and have/has* taken the steps listed below, being steps reasonably open to me/him*, to ascertain the names and addresses of all the persons who, 20 days before the date of the application were owners of any part of the land to which the application relates and have/has* been unable to do so:

† See note (a) to Certificate

(a) Insert description of steps taken.
 (b) Insert name of local newspaper circulating in the locality in which the land is situated.
 (c) Insert date of publication (which must not be earlier than 20 days before the application).

(a)

(iii) Notice of application as set out below has been published in the (b) on (c) (Copy of notice as published).

* Strike out whichever is inapplicable

*2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or

3. I have/the applicant has given the requisite notice to every person other than myself/himself* who, 20 days before the date of application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:

Name and Address of Tenant

Date of Service of Notice

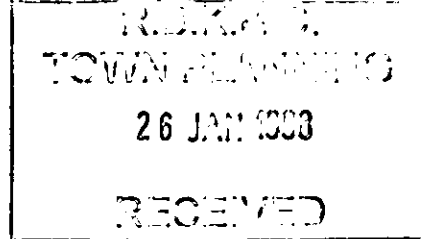
Signed on behalf of Date



Chartered Surveyors • Property Consultants

Meriden House 42 Upper Berkeley Street Hyde Park London W1H 8EP Telephone 0171 724 4545
FAX 0171 724 4040 LDE BOX NO 104 E.MAIL bsd@cluttons.co.uk

OTHER LONDON OFFICES 45 Berkeley Square W1X 5DB 0171 408 1010 • 32 St James's Street SW1 • 48 Pelham Street SW7 • 73 Sloane Avenue SW3 • 23 Albion Street W2
25 St John's Wood Park NW8 • 72 Southgate Road N1 • 3 Gainsford Street SE1 • 109 Upper Thames Street, EC4 • 303 Rotherhithe Street SE16



J P E Hobbins Esq
Flat 2, 17 Onslow Square
London SW7

Our Ref
693-8485.AS.RJG

Your Ref

Date
23 January 1998

Dear Sir,

The Wellcome Trust Limited (A Registered Charity No.210183)
The South Kensington Estate, 17-19 Onslow Square, London, SW7
Town & Country Planning Act 1990
Notice Under Section 66 of Application For Planning Permission
Planning (Listed Buildings in Conservation Areas) Act 1990
Notice Under Section 11 Part 1 of Application For Listed Building Consent

On behalf of our client, we have submitted an application for the construction of a new mansard roof over each of the above properties to replace the existing roof structure, to produce a new self-contained flat, which will also include the improvement of existing means of escape route over the roofs of Nos.11-15. As part of the application, we are obliged to inform you that an application has been made to the Royal Borough of Kensington & Chelsea for the proposed development.

If you should wish to make representations about the application, you should do so in writing within twenty days of the date of service of this Notice to the Planning Department, the Royal Borough of Kensington & Chelsea, The Town Hall, Hornton Street, London, W8 7NX.

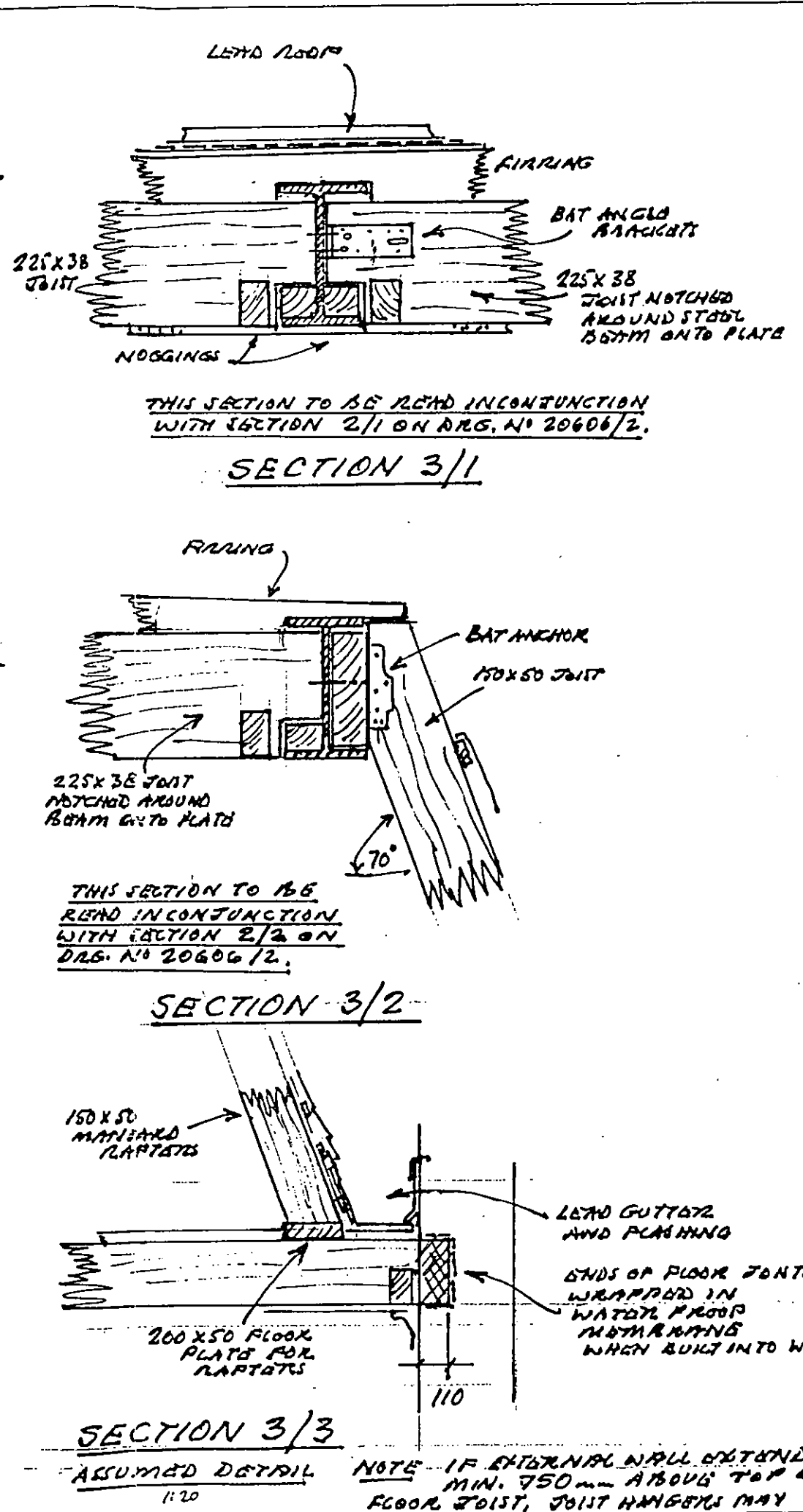
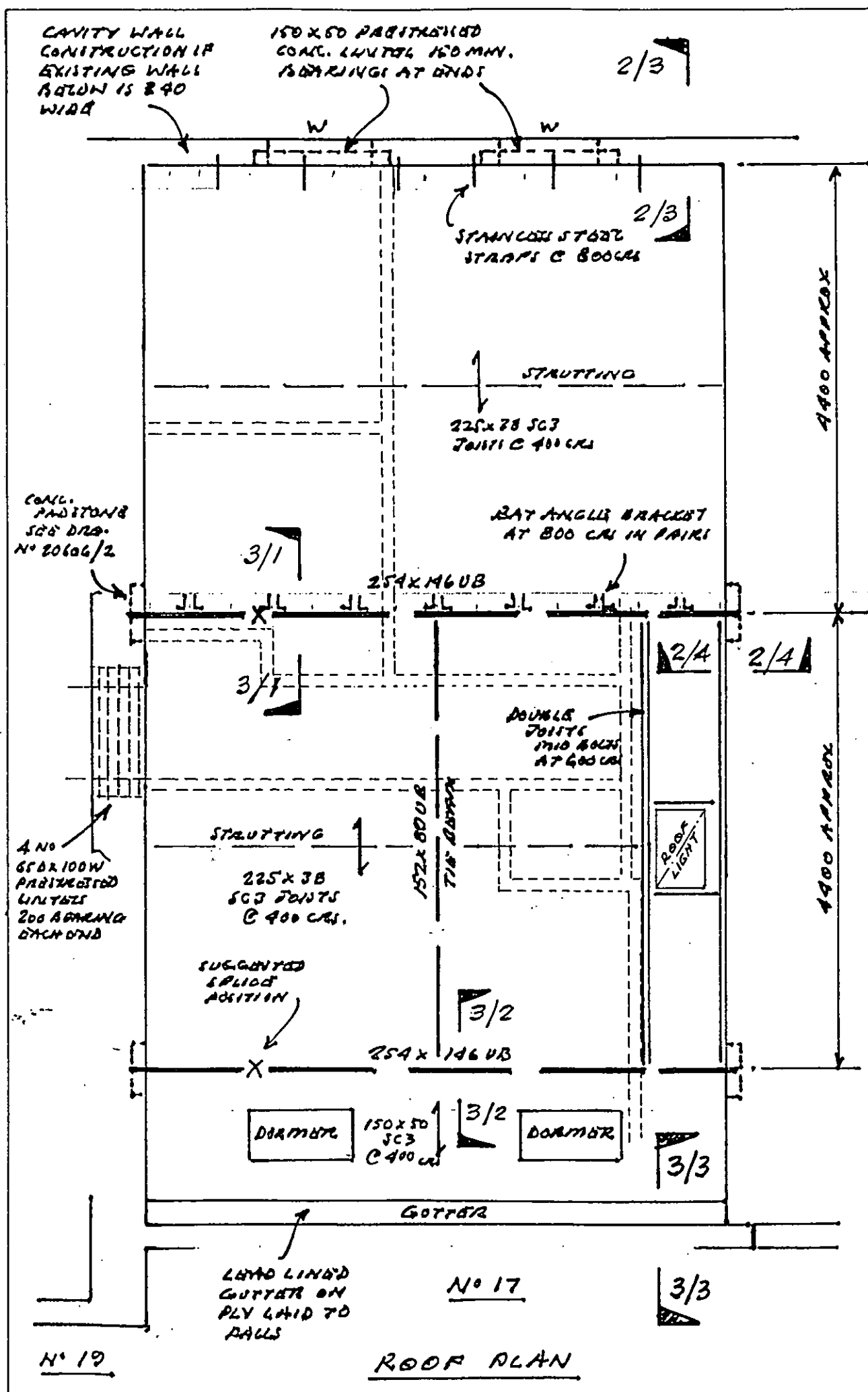
Yours faithfully,

R J Greenslade

For Cluttons Daniel Smith

PARTNERS

LONDON RW Jonas FRICS S Hibberdine BSC FRICS DMS Hampton MA FRICS RGC Clarke FRICS RWR Cullum FRICS CAG Hatherell MSc FRICS RH Cobb FRICS RB Denny BSC FRICS GH Mounsey-Heysham FRICS RS Cotton BSC FRICS AB Peterkin BSC FRICS DL Warner BA FRICS MFA Tolley BSC FRICS PCSI MSc FRICS RAA Cresswell MSc FRICS IWN Noble FRICS SH Scott Barrett MA FRICS ACLA AN Dunkley FRICS GE Clutton BA FRICS MG Chumbley Dip FRICS MRTI JEC Briant BA FRICS BE Brown FRICS WP Siegle FRICS WD Leefe BSC FRICS GM Hall BSC FRICS SH Quincey MA FRICS Dip Prop Man RW Lodge BSC FRICS JPS Bianco FRICS ACLA NA Crockett BSC FRICS TK Gibbs BSC FRICS JC Tune FCA K Gatford FST AJ Stanley FRICS MBA TDJ Marshall CNC Lowrey BSC PJWS Ling FRICS FAAY AE Ford ASVA CE Millington BSC FRICS WG Lee MA FRICS NP Baynes BSC FRICS AD Stanford BSC FRICS JE Barrett BA FRICS RLB Read MI Dix FRICS G Hubble FRICS JK Hayes BSC FRICS HPW Payne BA Dip FRICS MRTI ANL Shapland BSC FRICS KM Aitchison BSC Dip BSc Com FRICS N Andrews BSC FRICS AS Whitehouse BSC FRICS ARUNDEL & GOODWOOD NGH Draffan MA FRICS AD Kinneat FRICS TG Butler BSC FRICS CR Jowett FRICS FAAY BATH & WELLS NS Hawksley MA FRICS FAAY CP Stewart-Morgan FRICS R Pitman LLB FRICS FAAY CM Cox BSC FRICS PH Smalley TDBSC FRICS FAAY CL Dawson MA FRICS RKW Jackson GR Merrett ASVA BRIGHTON W Shipley BSC FRICS CANTERBURY & MAIDSTONE PH Harland FRICS AJ Meire FRICS GJ Cartet FRICS FBE JD Tennant FRICS MJ Linington FRICS DA Elliott BSC FRICS DG Parry FRICS CARLISLE GH Mounsey-Heysham FRICS CARNOSTIE BCG Loughton FRICS OXFORD JCC Bell FRICS WF Hughes FRICS JR Dingle FRICS AJ Packe FRICS HET St John BSC FRICS RD Seares BSC FRICS DFP Rating IRV SE Hodgkinson ROMSEY WF Hughes FRICS ABU DHABI MR Bellamy BSC ACIOB MBA DUBAI & SHARJAH R Hinchey FRICS SAHRAIN & SAUDI ARABIA DM Bradley FRICS IRV OMAN MC Lowes BSC FRICS ASSOCIATES SA Crowsley FASJ JR Gray BSC FRICS PJ Stapley BSC FRICS CONSULTANTS RH Clutton CBE FRICS PW Trumper FRICS RAS Brock FRICS NH Clutton CBE FRICS JO Trumper FRICS AH Flint MA FRICS CH Brown FRICS MLH Sankey FRICS BUSINESS OPERATIONS MANAGER GE Green ASSOCIATED OFFICES Ayr Edinburgh & Haywards Heath



- NOTES:-**
1. GENERAL NOTES FOR TIMBER AND STEELWORK SEE DRAWING NO 20606/2.
 2. FOR DETAILS OF SECTIONS 2/3, 2/4 AND 3/1, 3/2, 3/3 SEE DRAWING NO 20606/2

REC'D
TOWN PLANNING
30 JAN 1998
RECEIVED

IP980168
FOR DISCUSSION

Rev	Description	On	Date
		Dr	
		Chkd	

R.T. James & Partners Ltd.
19-21 Palace Street,
London
SW1E 5HS
tel: 0171-828 7733
fax: 0171-829 4148

JAMES
Consulting Engineers

SMITH'S CHARITY
17-19 ONSLOW SQUARE
NO 17
NEW ROOF G.A.
AND DETAILS

Drn	Date	Drawing Number	Rev
1/8	21.4.95	20606/3	
Chkd	Scale		
	1:60, 1:20		

FOR DETAILS OF OTHER AREAS OF ROOF SEE DRG N° 30499/4

FOR GENERAL NOTES SEE DRG N° 30499/4

N° 21

N° 17

ALL RAFTERS TO BE 100x50 @ 600 CRS.
GRADE SC3
50x100 WALL PL. BOLTED TO TOP OF PARTY WALL @ 500 CRS

HEIGHT AND SLOPES OF HIP ROOF AND SLATES TO MATCH EXISTING ROOF ON N° 21

100x50 GRADE SC3 WALL PLATE FIXED TO PARTY WALL WITH M12 RESIN FIXED ANCHORS AT 500 CRS

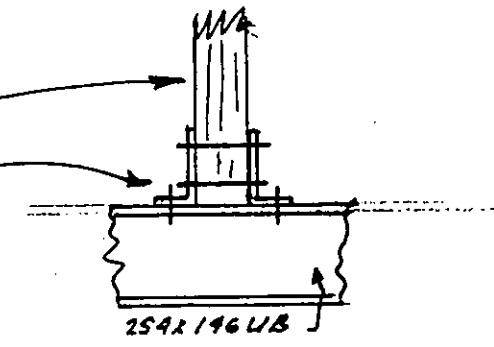
100x100 GRADE SC3 ROOF POST BUILT ROOF BEAM BOLTED TO 2-200x100x10 L x 150 LB. M.S. ANGLES. 100 LEG OF ANGLES BOLTED TO ROOF BEAM WITH 2-M16 BOLTS. POST BOLTED TO 200 LEG OF ANGLES WITH 2 M16 BOLTS AT 150 VERT' CRS

LEAD GUTTER ON TIMBER BOARDS AND BEARERS. LEAD FLASHINGS CHANGED INTO PARTY WALL TO SUIT

50x100 WALL PLATE ON ROOF BEAM AS NOTE ABOVE

DATTONS TO SUIT SLATES ON HIPPED ROOF

WALL PLATE & LEAD GUTTER ETC AS AT PARTY WALL WITH N° 17



RECEIVED
TOWN PLANNING
30 JAN 1998

Rev	Description	Dm Chkd	Date

R.T. James & Partners Ltd.
19-21 Palace Street,
London
SW1E 5HS
Tel: 0171-828 7733
Fax: 0171-828 4148

JAMES
Consulting Engineers

A Subsidiary of Owen Williams Group Ltd

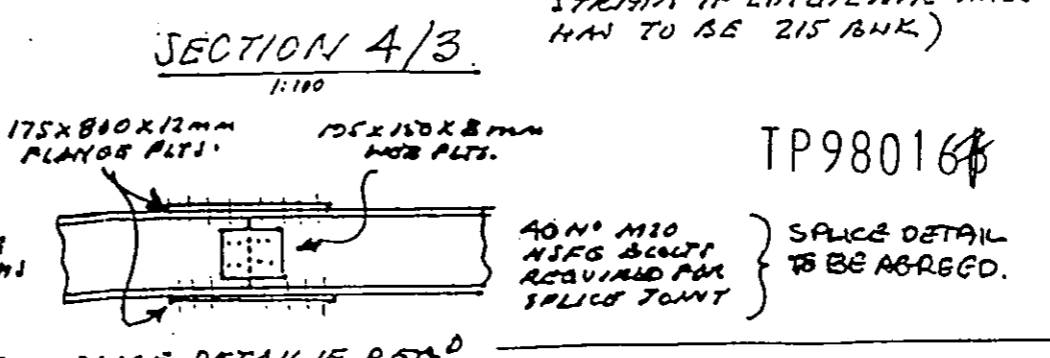
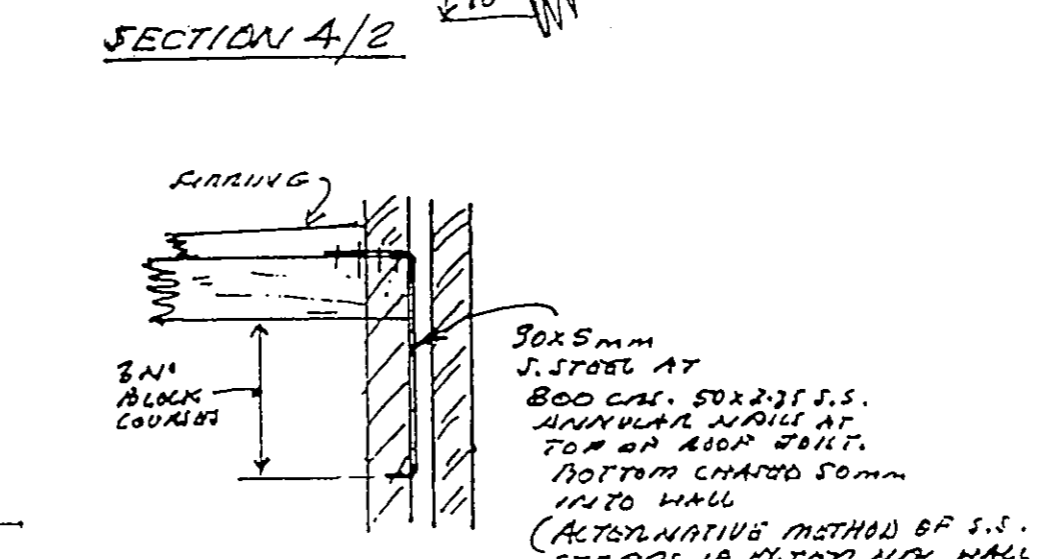
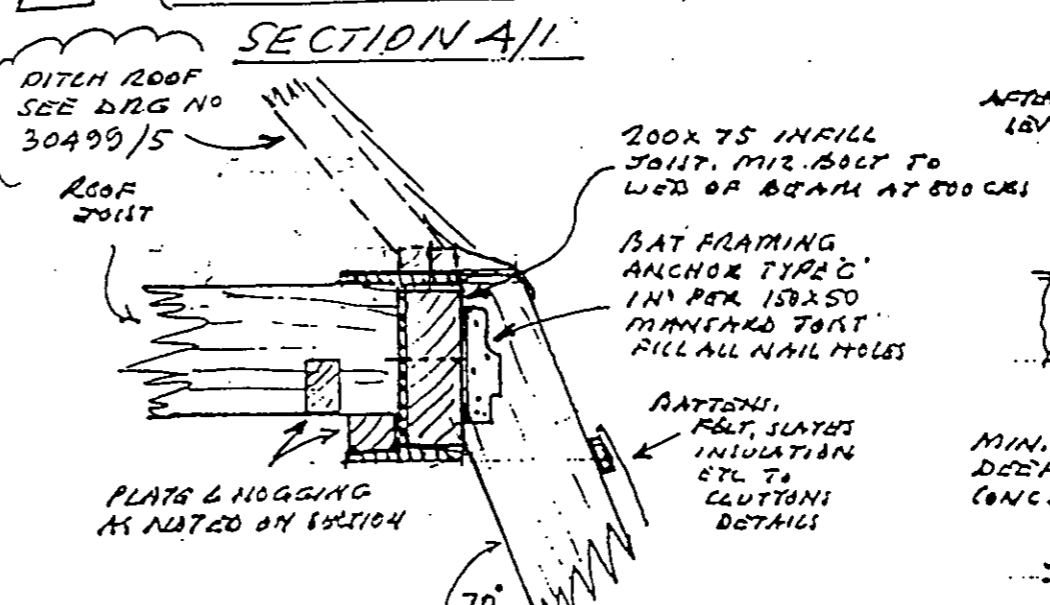
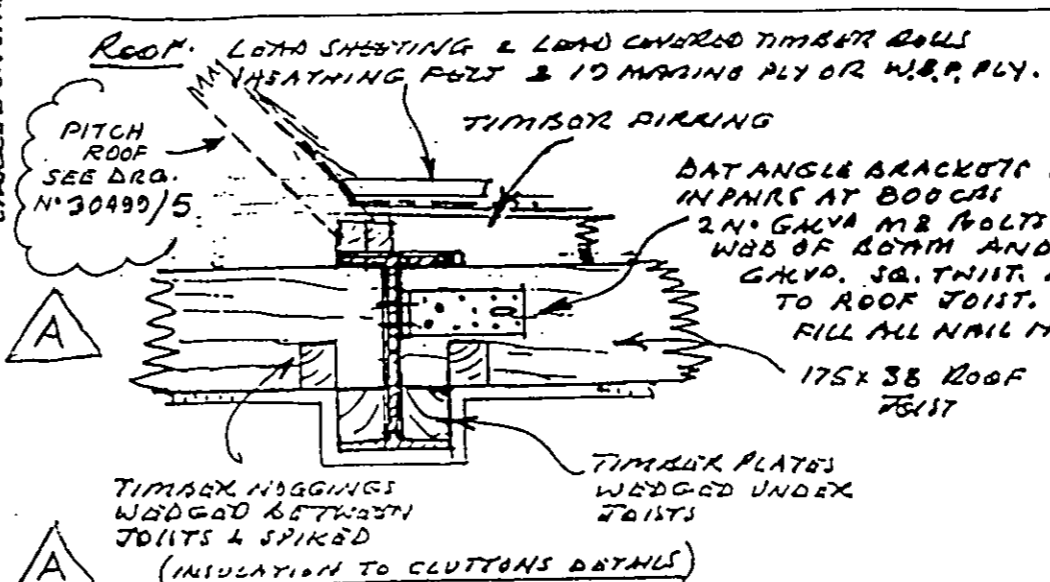
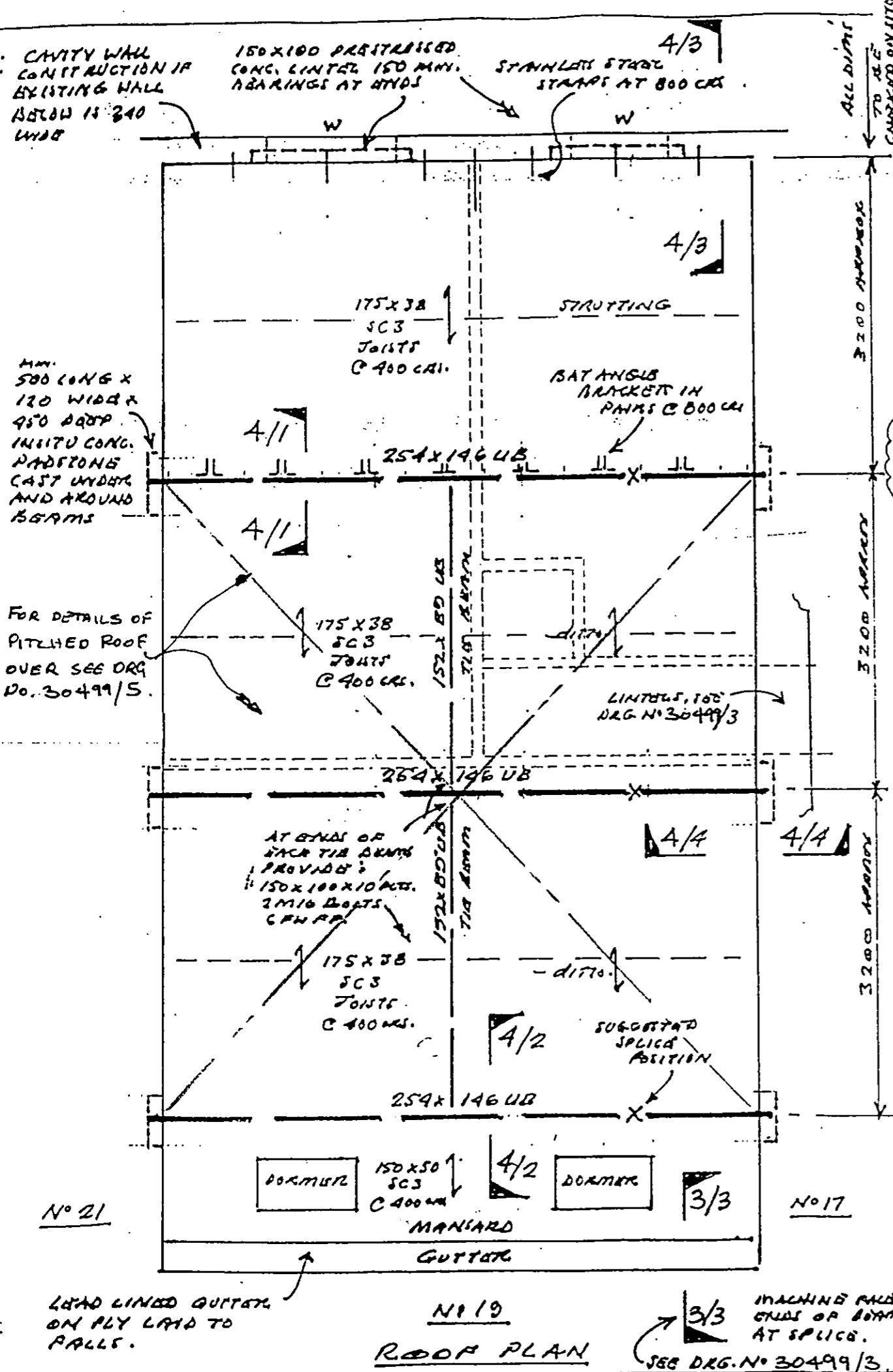
THE WELLCOME TRUST
N° 19 ONSLOW SQUARE

HIPPED ROOF.
GENERAL ARRANGEMENT.

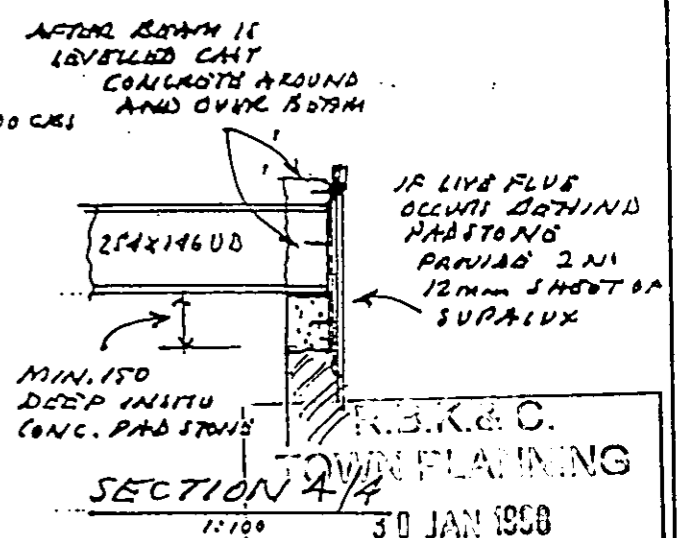
TP980164

N° 19
PLAN ON HIPPED ROOF

Dm	Date	Drawing Number	Rev
JAM	13.1.98	30499/5	
Chkd	Scale		
	1:50		



- NOTES:**
1. ALL TIMBERS TO BE PRETREATED.
 2. ALL STEELWORK TO BE CLEANED TO SA 2 1/2 AND SHOP PRIMED WITH HIGH BUILD PHOSPHATE PRIMER EXCEPT AT SPLICE JOINT.
 3. AFTER SPLICE JOINT IS COMPLETE, PAINT AS NOTED IN 2. ABOVE.
 4. AFTER ALL STEEL WORK ERECTED PAINT ALL WITH 2 IN TOP COATS OF HIGH BUILD BITUMASTIC PAINT.



RECEIVED

A	PITCH-ROOF SHOWN ON SECTIONS 4/1 & 2	13/1
Rev	Description	Date

R.T. James & Partners Ltd.
 19-21 Palace Street, London SW1E 5HS
 Tel: 0171-825 7722 Fax: 0171-825 4128

JAMES
Consulting Engineers

THE WELDOVE TRUST
17-19 ONSLOW SQUARE
N° 19
NEW ROOF G.A.
AND DETAILS

Drawn	Date	Drawing Number	Rev
Checked	Scale		
JAM.	1/20/1/88	30499/4	A

TP980168

TOWN & COUNTRY PLANNING ACT 1990

FORM TP1

APPLICATION FOR PERMISSION TO DEVELOP LAND AND/OR BUILDINGS IN GREATER LONDON

FOR OFFICE USE ONLY

Fee £ 190-00

Cheque / Post Order / Cash 036929 - 2 FEB 1998

Receipt No. Issued 1010046

COMPLETE

Borough Ref.

Registered
Date Received

RECEIVED BY PLANNING SERVICES

DIR	HDC	N	C	SW	SE	ENF	AO ACK
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PLEASE READ CAREFULLY THE GENERAL NOTES BEFORE FILLING IN THE FORM

PART ONE	To be completed by or on behalf of all applicants as far as applicable	APPEALS	IO	RBC	ARA	FWD PLN	CON DES	FEES
	FEE (where applicable)							

1. APPLICANT (in block capitals) Name The Wellcome Trust Limited
 Address c/o Cluttons Daniel Smith
48 Pelham Street
London SW7 2NW
 Tel. No. 0171 584 3651

AGENT (if any) to whom correspondence should be sent Name Cluttons Daniel Smith
 Address 42 Upper Berkeley Street
London W1H 8EP
 Tel. No. 0171 724 4545 Ref. BJG

2. PARTICULARS OF PROPOSAL FOR WHICH PERMISSION IS SOUGHT

(a) Full address or location of the land to which this application applies
Attic rooms, fourth floor
17-19 Onslow Square, London SW7

(b) Site area
Approx. 150200m.sq

(c) Give details of proposal indicating the purpose for which the land/buildings are to be used and including any change(s) of use.
Construction of new mansard roofs to the properties
to create one new two bedroomed flat.

(d) State whether applicant owns or controls any adjoining land and if so, give its location.
Freehold owner of Nos. 9-23 Onslow Square
London SW7 and of a large number of buildings in
South Kensington

(e) State whether the proposal involves:- State Yes or No

(i) New building(s) or extension(s) to existing building(s)	<input type="checkbox"/> YES	► If "Yes" state gross floor area of proposed building(s). ▼	Approx 150-200 m ²
		If residential development state number of dwelling units proposed and type if known, e.g. houses, bungalows, flats.	One new self-contained flat
(ii) Alterations	<input type="checkbox"/> YES		
(iii) Change of use	<input type="checkbox"/> NO	► If "Yes" state gross area of land or building(s) affected by proposed change of use (if more than one use involved state gross area of each use).	2 FEB 1998
(iv) Construction of new access to a highway	<input type="checkbox"/> NO		
	<input type="checkbox"/> NO		
(v) Alteration of an existing access to a highway	<input type="checkbox"/> NO		Hectares/m ²
	<input type="checkbox"/> NO		Strike out whichever is inapplicable

3. PARTICULARS OF APPLICATION

State whether this application is for: State Yes or No

- (I) Outline planning permission NO
- (II) Full planning permission YES
- (III) Renewal of temporary permission or permission for retention of building or continuance of use without complying with a condition subject to which planning permission has been granted. NO
- (iv) Consideration under Section 72 only (Industry) NO

If "Yes" strike out any of the following which are not to be determined at this stage.

- 1. Siting
- 2. Design
- 3. Landscaping
- 4. External appearance
- 5. Means of access

If "Yes" state the date and number of previous permission and identify the previous condition.

Date Number

The Condition

4. PARTICULARS OF PRESENT AND PREVIOUS USE OF BUILDINGS OR LAND

State :-

- (i) Present use of buildings/land Residential
- (ii) If vacant the last previous use and period of use with relevant dates.

5. LIST ALL DRAWINGS, CERTIFICATES, DOCUMENTS, ETC; forming part of this application

..... 7200/M/01-04, 7200/P/02B, 7200/P/01G, 7200/ME/01-04 and 08-09

6. ADDITIONAL INFORMATION State Yes or No

- (a) Is the application for non-residential development NO If "Yes" complete PART THREE of this form (See PART THREE for exemptions)
- (b) Does the application include the winning and working of minerals NO If "Yes" complete PART FOUR of this form
- (c) Does the proposed development involve the felling of any trees NO If "Yes" state numbers and indicate precise position on plan
- (d) (i) How will surface water be disposed of? N/A
- (ii) How will foul sewage be dealt with? Connected into existing
- (e) Materials - Give details (unless the application is for outline permission) of the colour and type of materials to be used for:
 - (i) Walls Second hand brickwork to match adjacent
 - (ii) Roof Natural slates and lead
 - (iii) Means of enclosure N/A

We hereby apply for (strike out whichever is inapplicable)

- (a) Planning permission to carry out the development described in this application and the accompanying plans in accordance therewith
- (b) Planning permission to retain the building(s) or work(s) already constructed or carried out, or a use of the land already instituted as described in this application and accompanying plans.

Signed Cluttons Dunsford on behalf of THE WELCOME TRUST LTD Date 22/1/98

AN APPROPRIATE CERTIFICATE MUST ACCOMPANY THIS APPLICATION (See General Notes)

If you are the ONLY owner of ALL the land at the beginning of the period 20 day before the date of application, complete Certificate A. If otherwise see PART TWO of this form.

CERTIFICATE A - Certificate under Section 66 of the Town & Country Planning Act 1990. I hereby certify that:-

- *Strike out whichever is unapplicable.
- 1. No person other than the applicant was an owner (a) of any part of the land to which the application relates at the beginning of the period of 20 days before the date of the accompanying application.
- 2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or
- 3. *I have / the applicant has given requisite notice to every person other than *myself/himself who, 20 days before the date of the application was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:-

(a) "Owner" means a person having freehold interest or a leasehold interest the unexpired term of which was not less than 7 years.

Name and Address of Tenant

Date of Service of Notice

Signed on behalf of Date

IF 20 DAYS BEFORE MAKING THE APPLICATION YOU ARE NOT THE ONLY OWNER OF ALL THE LAND AND HAVE SIGNED A CERTIFICATE ON PART ONE OF THE FORM THEN DO NOT COMPLETE PART TWO OF THE FORM. For definition of 'owner' see General Notes

NOT COMPLETE PART TWO OF THE FORM
 TOWN AND COUNTRY PLANNING SERVICES
 SW CC CMT AG
 ACK

PART TWO	TOWN AND COUNTRY PLANNING ACT 1990	26 JAN 1999
	CERTIFICATE UNDER SECTION 66	

PLEASE READ THE NOTES OVERLEAF BEFORE FILLING IN PART TWO.

CERTIFICATE B I hereby certify that:

† See note (a) to Certificate

1. I have/the applicant has* given the requisite notice to all persons who 20 days before the date of accompanying application, were owners of any part of the land to which the application relates, viz:

Name of Owner AS ENCLOSED LETTERS Address IP 80166
 Date of Service of Notice

*2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or

3. I have/the applicant has given the requisite notice to every person other than myself/himself* who, 20 days before the date of the application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:

Name and Address of Tenant

Date of Service of Notice

Signed Clifton Davidson on behalf of THE WELLSOME TRUST Date 22.1.98

* Strike out whichever is inapplicable

CERTIFICATE C I hereby certify that:

† See note (a) to Certificate

1. (i) I am/the applicant is* unable to issue a certificate in accordance with either paragraph (a) or paragraph (b) of Section 66 (1) of the Act, in respect of the accompanying application dated

(ii) I have/ the applicant has* given the requisite notice to the following persons who, 20 days before the date of the application, were owners of any part of the land, to which the application relates, viz:

Name of Owner Address

Date of Service of Notice

(iii) I have/the applicant has* taken the steps listed below, being steps reasonably open to me/him* to ascertain the names and addresses of the other owners of the land or part thereof and have/has* been able to do so:

(a)

*2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or

3. I have/the applicant has been given the requisite notice to every person other than myself/himself* who, 20 days before the date of the application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:

Name and Address of Tenant

Date of Service of Notice

Signed on behalf of Date

(a) Insert description of steps taken.
 (b) Insert name of local newspaper circulating in the locality in which the land is situated.
 (c) Insert date of publication (which must not be earlier than 20 days before the application).

* Strike out whichever is inapplicable

CERTIFICATE D I hereby certify that:

† See note (a) to Certificate

1. (i) I am/the applicant is* unable to issue a certificate in accordance with Section 66 (1) (a) of the Act in respect of the accompanying application dated

and have/has* taken the steps listed below, being steps reasonably open to me/him*, to ascertain the names and addresses of all the persons who, 20 days before the date of the application were owners of any part of the land to which the application relates and have/has* been unable to do so:

(a)

(iii) Notice of application as set out below has been published in the (b) on (c) (Copy of notice as published).

*2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or

3. I have/the applicant has given the requisite notice to every person other than myself/himself* who, 20 days before the date of application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:

Name and Address of Tenant

Date of Service of Notice

Signed on behalf of Date

(a) Insert description of steps taken.
 (b) Insert name of local newspaper circulating in the locality in which the land is situated.
 (c) Insert date of publication (which must not be earlier than 20 days before the application).

* Strike out whichever is inapplicable



Chartered Surveyors • Property Consultants

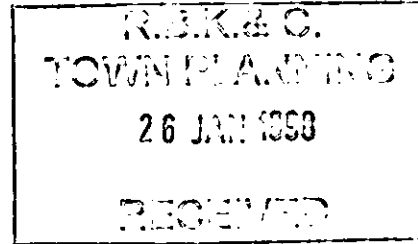
Meridien House 42 Upper Berkeley Street Hyde Park London W1H 8EP Telephone 0171 724 4545
FAX 0171 724 4040 LDE BOX NO 104 E.MAIL bsd@cluttons.co.uk

OTHER LONDON OFFICES 45 Berkeley Square W1X 5DB 0171 408 1010 • 32 St James's Street SW1 • 48 Pelham Street SW7 • 73 Sloane Avenue SW3 • 23 Albion Street W2
25 St John's Wood Park NW8 • 72 Southgate Road N1 • 3 Gainsford Street SE1 • 109 Upper Thames Street EC4 • 303 Rotherhithe Street SE16

Desert Island Holdings
Flat 5, 11 Onslow Square
London SW7

Our Ref
693-8485.AS.RJG

Your Ref



Date
23 January 1998

Dear Sir/Madam,

The Wellcome Trust Limited (A Registered Charity No.210183)
The South Kensington Estate, 17-19 Onslow Square, London, SW7
Town & Country Planning Act 1990
Notice Under Section 66 of Application For Planning Permission
Planning (Listed Buildings in Conservancy Areas) Act 1990
Notice Under Section 11 Part 1 of Application For Listed Building Consent

On behalf of our client, we have submitted an application for the construction of a new mansard roof over each of the above properties to replace the existing roof structure, to produce a new self-contained flat, which will also include the improvement of existing means of escape route over the roofs of Nos.11-15. As part of the application, we are obliged to inform you that an application has been made to the Royal Borough of Kensington & Chelsea for the proposed development.

If you should wish to make representations about the application, you should do so in writing within twenty days of the date of service of this Notice to the Planning Department, the Royal Borough of Kensington & Chelsea, The Town Hall, Hornton Street, London, W8 7NX.

Yours faithfully,

R J Greenslade

For Cluttons Daniel Smith

PARTNERS

LONDON RW Jonas FRICS S Hibberdine BSc FRICS DMS Hampton MA FRICS RGC Clarke FRICS RWR Cullum FRICS CAG Hatherell MSc FRICS RH Cobb FRICS RB Denny BSc FRICS GH Mounsey-Heysham FRICS
RS Cotton BSc FRICS AB Peterkin BSc FRICS DL Warner BA FRICS MFA Tolley BSc FRICS FRCS MIS MSc RAA Cresswell MSc Dip FRICS MRTP IW Noble FRICS SH Scott Barrett MA FRICS ACTA AN Dunkley FRICS GE Clutton BA FRICS
MG Chumbley Dip FRICS MRTP JEC Briant BA FRICS BE Brown FRICS WP Siegle FRICS WD Leefe BSc FRICS GM Hall BSc FRICS SH Quincey MA FRICS Dip FRICS MRTP RW Lodge BSc FRICS JPS Bianco FRICS ACTA NA Crockett BSc FRICS
TK Gibbs BSc FRICS JC Tune FCA K Gatford FIST AJ Stanley FRICS MBA TDJ Marshall CNC Lowrey BSc PJWS Ling FRICS FAAV AE Ford ASVA CE Millington BSc FRICS WG Lee MA FRICS NP Baynes BSc FRICS AD Stanford BSc FRICS
JE Barrett BA FRICS RLB Read MI Dix FRICS G Hubble FRICS JK Hayes BSc FRICS HPW Payne BA Dip FRICS MRTP ANL Shapland BSc FRICS KM Aitchison BSc Dip FRICS ACTA N Andrews BSc FRICS AS Whitehouse BSc FRICS
ARUNDEL & GOODWOOD NGH Draffan MA FRICS AD Kinnear FRICS TG Butler BSc FRICS CR Jowett FRICS FAAV **BATH & WELLS** NS Hawksley MA FRICS FAAV CP Stewart-Morgan FRICS R Pitman LLB FRICS FAAV
CM Cox BSc FRICS PH Smalley Dip FRICS FAAV CL Dawson MA FRICS RKW Jackson GR Merrett ASVA **BRIGHTON** W Shipley BSc FRICS **CANTERBURY & MAIDSTONE** PH Harland FRICS AJ Meire FRICS GJ Carter FRICS FBE
JD Tennant FRICS MJ Linington FRICS DA Elliott BSc FRICS DG Parry FRICS **CARLISLE** GH Mounsey-Heysham FRICS **CARNOURTIE** BCG Laughton FRICS **OXFORD** JCC Bell FRICS WF Hughes FRICS JR Dingle FRICS
AJ Packe FRICS HET St John BSc FRICS RD Seares BSc FRICS Dip FRICS MRTP SE Hodgkinson **ROMSEY** WF Hughes FRICS **ABU DHABI** MR Bellamy BSc AGIO MBA **DUBAI & SHARJAH** R Hinchey FRICS **HANRAIN & SAUDI ARABIA**
DM Bradley FRICS IRRV **OMAN** MC Lowes BSc FRICS

ASSOCIATES SA Crowsley FASJ JR Gray BSc FRICS PJ Stapley BSc FRICS **CONSULTANTS** RH Clutton CBE FRICS PW Trumper FRICS RAS Brock FRICS NH Clutton OBE FRICS JO Trumper FRICS AH Flint MA FRICS CH Brown FRICS
MLH Sankey FRICS BUSINESS OPERATIONS MANAGER GE Green **ASSOCIATED OFFICES** Ayt Edinburgh & Haywards Heath

CAVITY WALL CONSTRUCTION IF EXISTING WALL BELOW IS 240 WIDE

150 X 50 PARTITIONED CONC. LINTOL 150 MM. BEARINGS AT ENDS

2/3

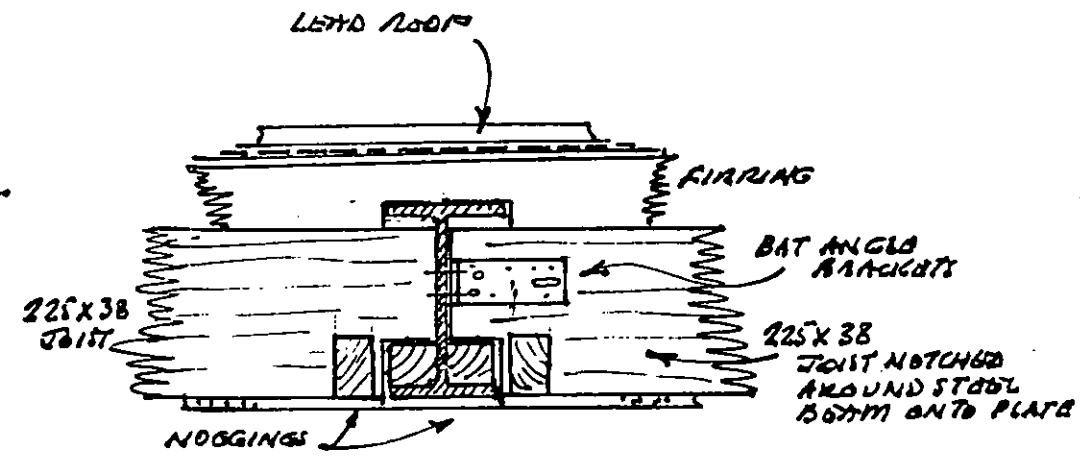
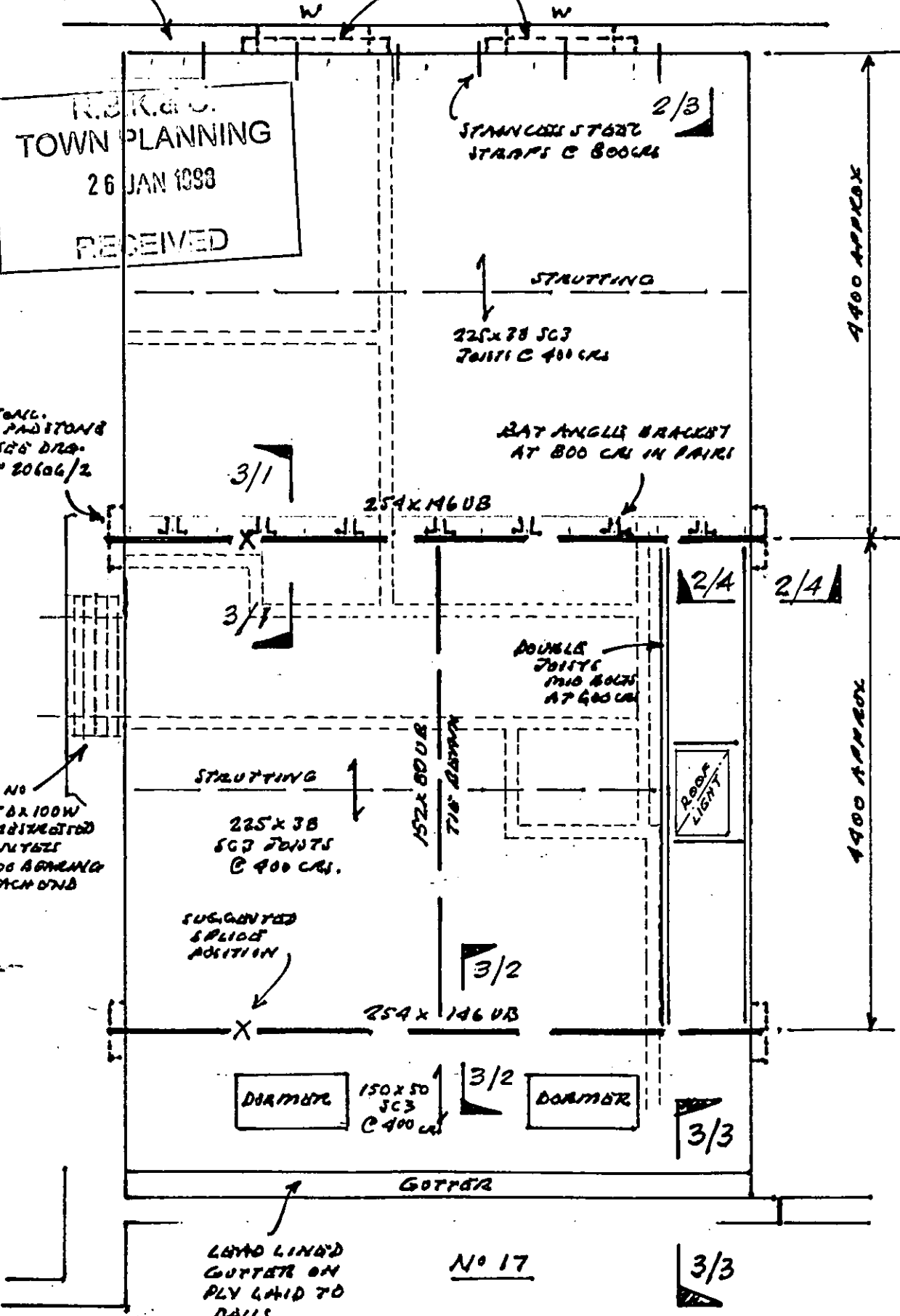
R.T. James & Partners Ltd.
TOWN PLANNING
26 JAN 1998
RECEIVED

CONC. PARTITION 525 DIA. N° 20606/2

4 NO 65 X 100W PARTITIONED LINTOLS 200 BEARING EACH END

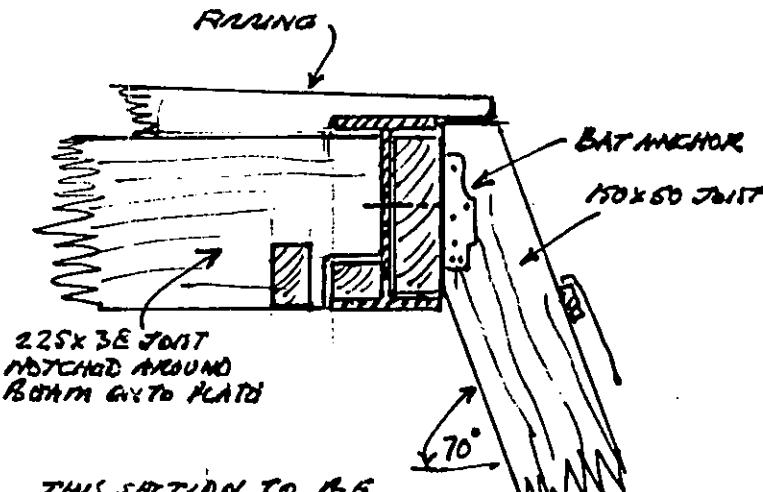
N° 19

ROOF PLAN



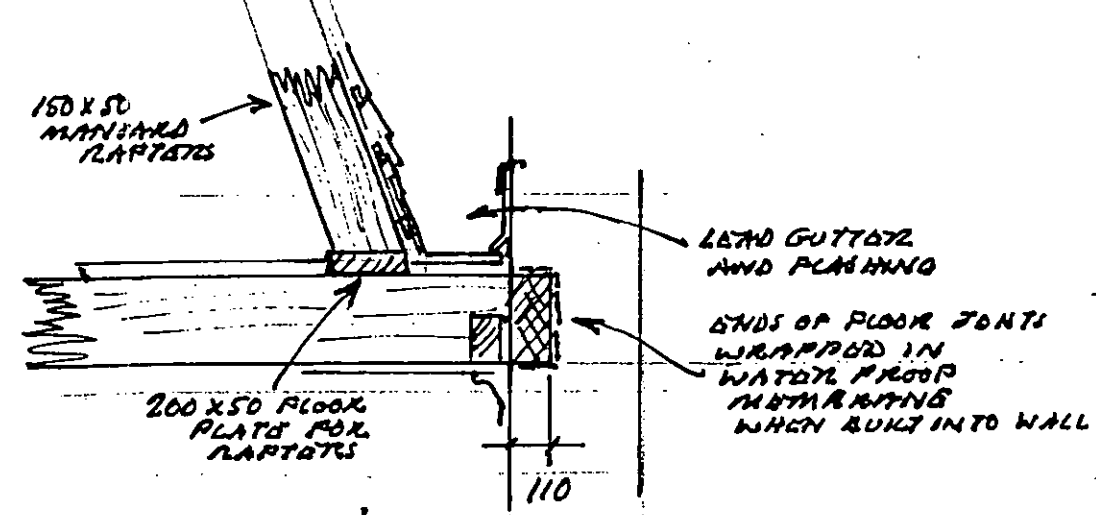
THIS SECTION TO BE READ IN CONJUNCTION WITH SECTION 2/1 ON DRG. N° 20606/2.

SECTION 3/1



THIS SECTION TO BE READ IN CONJUNCTION WITH SECTION 2/2 ON DRG. N° 20606/2.

SECTION 3/2



SECTION 3/3

ASSUMED DETAIL 1:20

NOTE - IF EXTERNAL WALL EXTENDS MIN. 750mm ABOVE TOP OF FLOOR JOIST, JOIST HANGERS MAY BE USED.

- NOTES:
1. GENERAL NOTES FOR TIMBER AND STEELWORK SEE DRAWING N° 20606/2.
 2. FOR DETAILS OF SECTIONS 2/3, 2/4 AND BEAM SPLICE DETAILS SEE DRAWING N° 20606/2

Rev	Description	Dr	Date
	FOR DISCUSSION	JS	1997

R.T. James & Partners Ltd.
19-21 Palace Street,
London
SW1E 5HS
tel: 0171-828 7733
fax: 0171-828 4148

JAMES
Consulting Engineers

SMITH'S CHARITY
17-19 ONSLOW SQUARE
N° 17
NEW ROOF G.A.
AND DETAILS

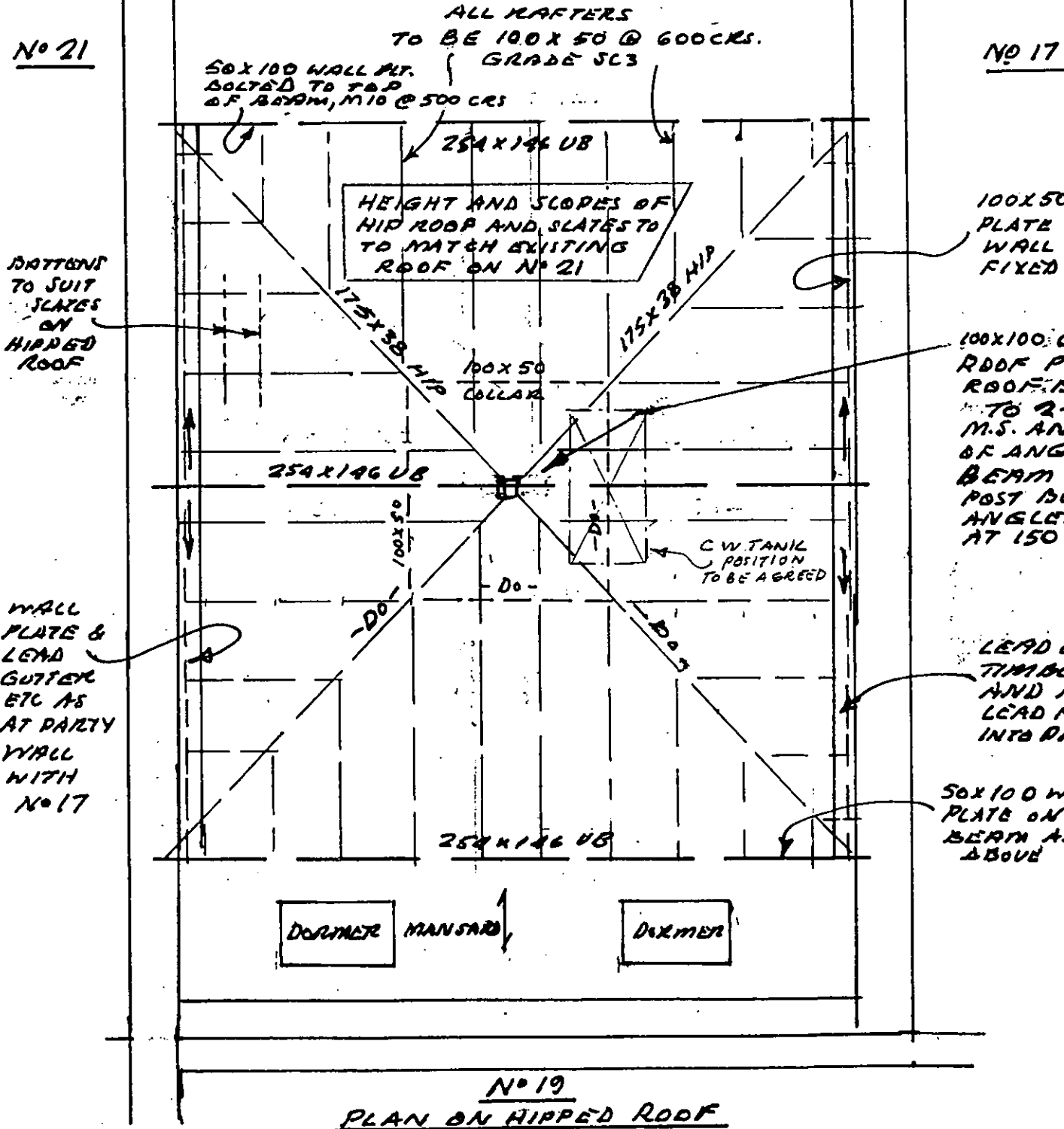
Dr	Date	Drawing Number	Rev
JS	25.4.95	20606/3	
Chkd	Scale		
JS	1:50, 1:20		

TP980166

FOR DETAILS OF OTHER AREAS OF ROOF SEE DRG NO 30499/4

FOR GENERAL NOTES SEE DRG NO 30499/4

TOWN PLANNING
26 JAN 1998
RECEIVED



ALL RAFTERS TO BE 100x50 @ 600 CRS. GRADE SC3
50x100 WALL PLATE BOLTED TO TOP OF BEAM, M16 @ 500 CRS

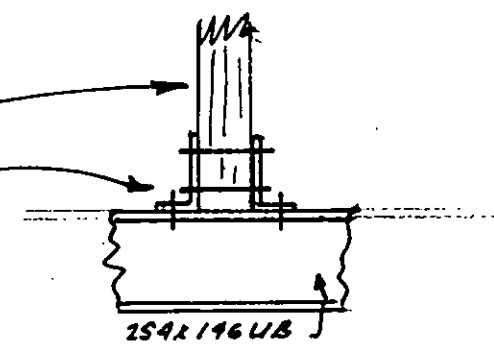
No 17

100x50 GRADE SC3 WALL PLATE FIXED TO PARTY WALL WITH M12 RESIN FIXED ANCHORS AT 500 CRS

100x100 GRADE SC3 ROOF POST ON ROOF BEAM BOLTED TO 2-200x100x10Lx150LB. M.S. ANGLES. 100 LEG OF ANGLES BOLTED TO ROOF BEAM WITH 2-M16 BOLTS. POST BOLTED TO 200 LEG OF ANGLES WITH 2 M16 BOLTS AT 150 VERT' CRS

LEAD GUTTER ON TIMBER BOARDS AND BEARERS. LEAD FLASHINGS LAPPED INTO PARTY WALL TO SUIT

50x100 WALL PLATE ON ROOF BEAM AS NOTE ABOVE



BATTENS TO SUIT SLATES ON HIPPED ROOF

WALL PLATE & LEAD GUTTER ETC AS AT PARTY WALL WITH No 17

DORMER MANSARD
DORMER

No 19
PLAN ON HIPPED ROOF

Rev	Description	Drn	Date

R.T. James & Partners Ltd.
19-21 Palace Street,
London
SW1E 5HS
Tel: 0171-828 7733
fax: 0171-828 4148

JAMES
Consulting Engineers

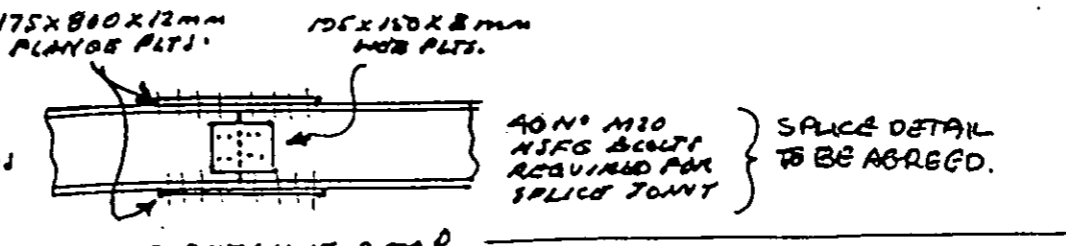
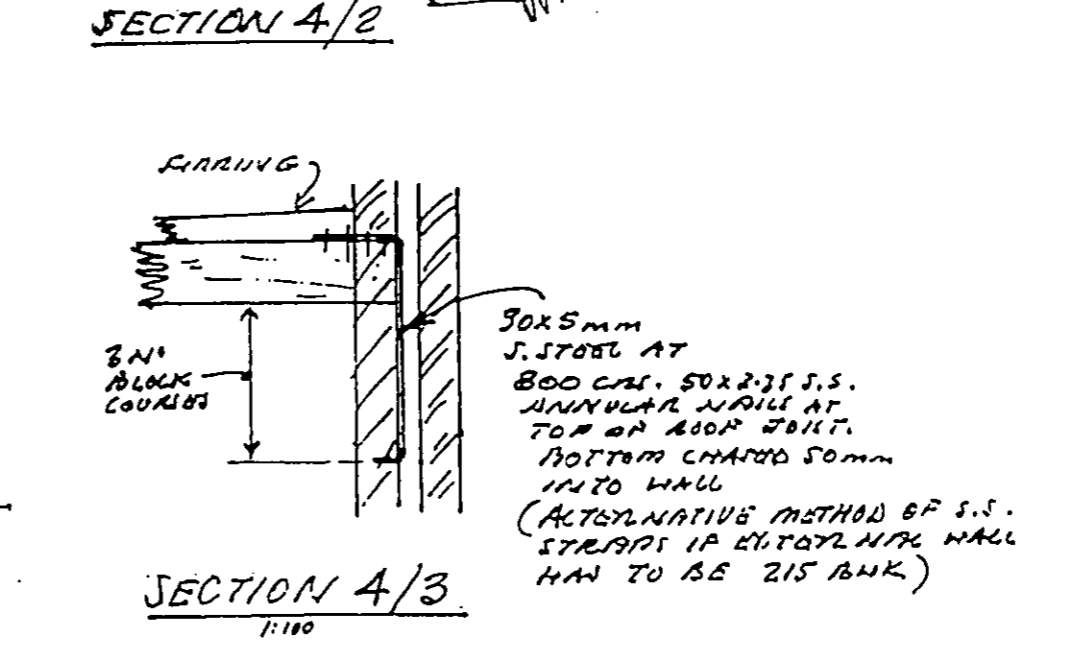
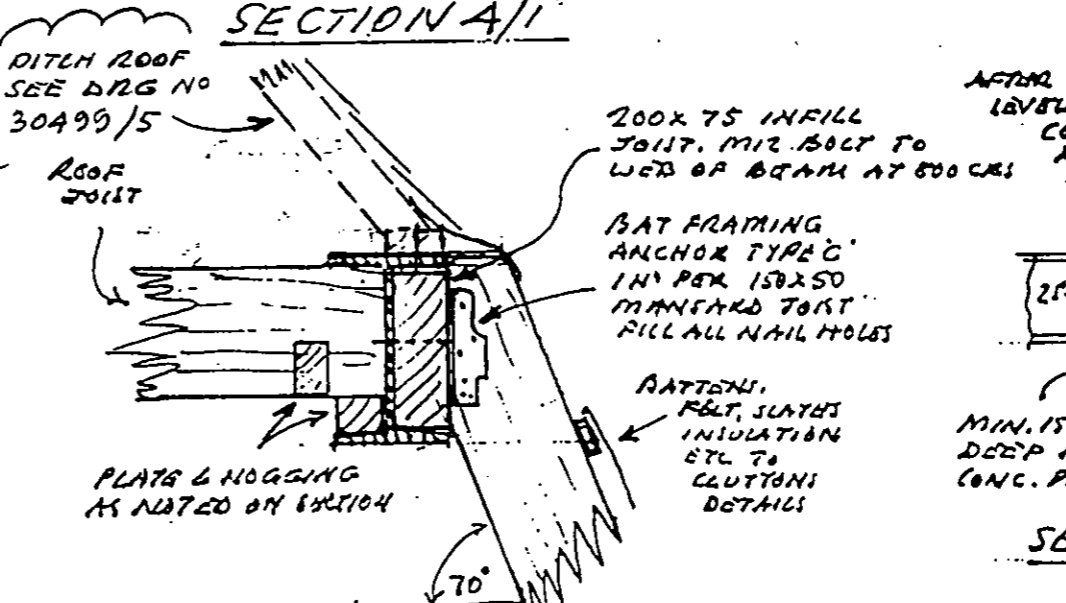
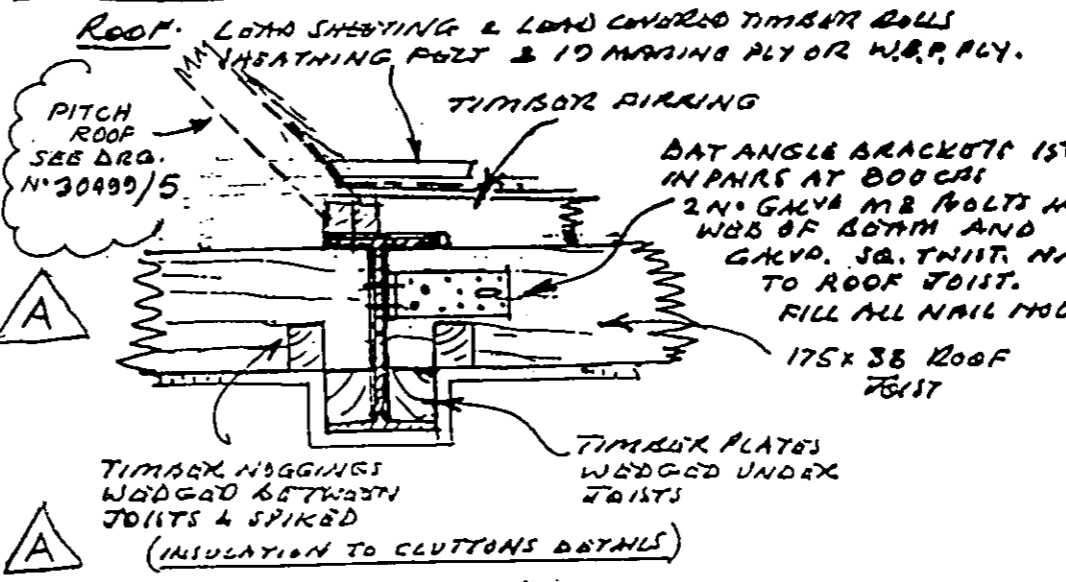
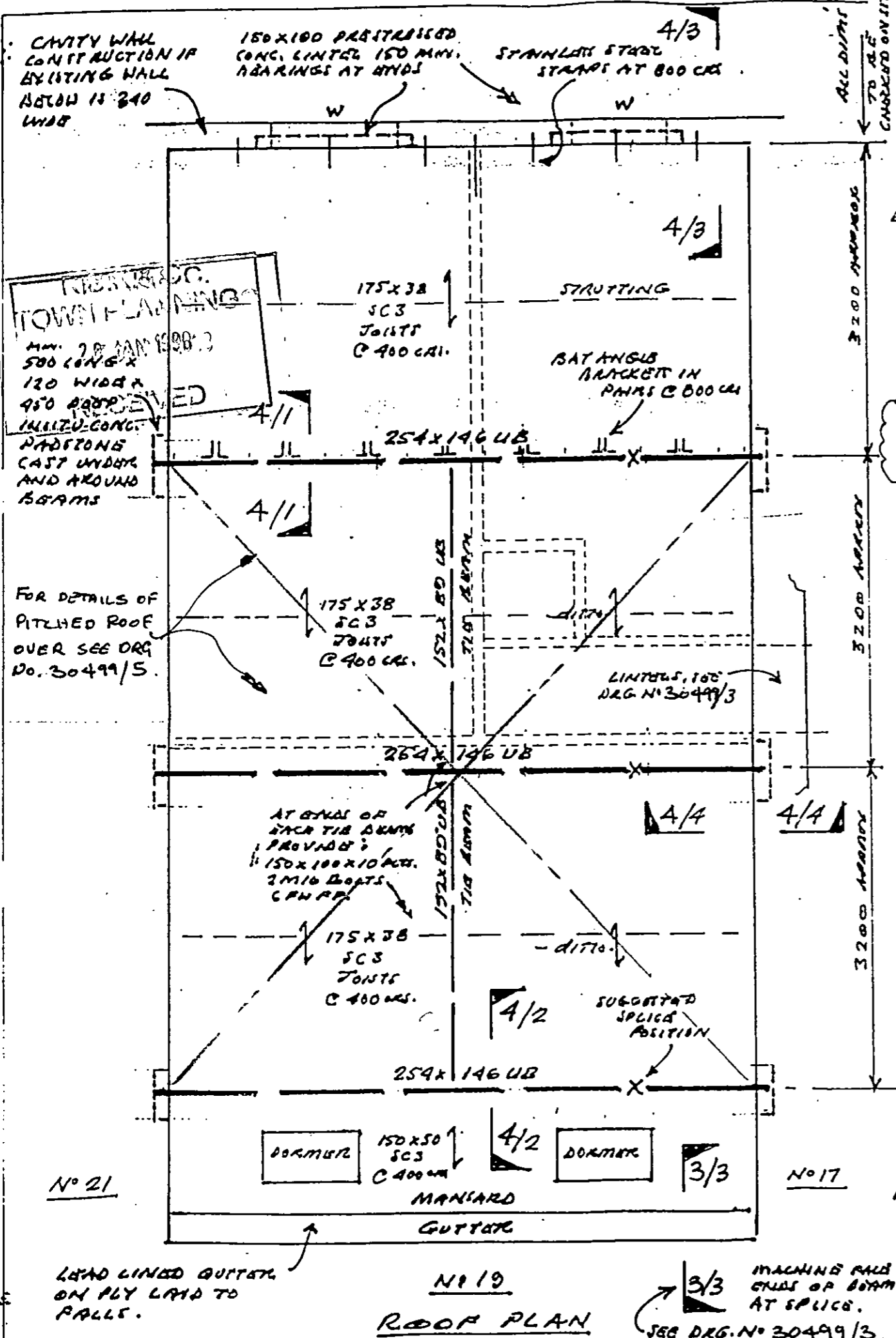
A Subsidiary of Owen Williams Group Ltd

THE WELLCOME TRUST
No 19 ONSLOW SQUARE

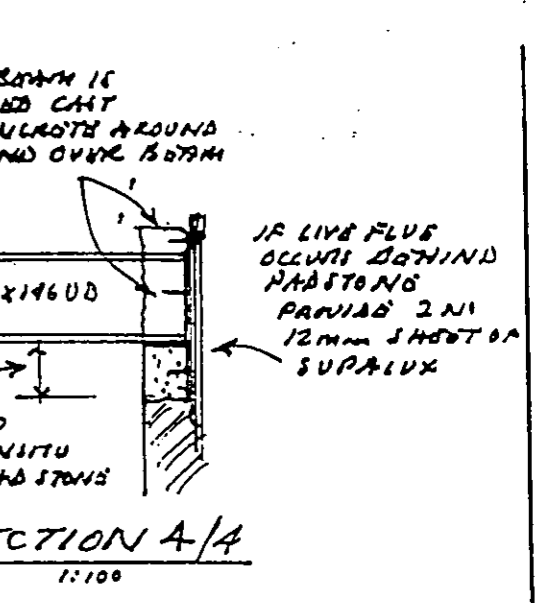
HIPPED ROOF.
GENERAL ARRANGEMENT.

Drn IAM	Date 13.1.98	Drawing Number 30499/5	Rev
Chkd	Scale 1:50		

TP980166



- NOTES:
1. ALL TIMBERS TO BE PRETREATED.
 2. ALL STEELWORK TO BE CLEANED TO SA 2 1/2 AND SHOP PRIMED WITH HIGH BUILD PHOSPHATE PRIMER EXCEPT AT SPLICE JOINT.
 3. AFTER SPLICE JOINT IS COMPLETE, PAINT AS NOTED IN 2. ABOVE.
 4. AFTER ALL STEELWORK ERECTED PAINT ALL WITH 2x TOP COATS OF HIGH BUILD BITUMASTIC PAINT.



A	PITCH ROOF SHOWN ON SECTIONS A/1 & 2	15/98	15/98
Rev	Description	Dr	Date

R.T. James & Partners Ltd.
19-21 Palace Street, LONDON SW1E 5HS
tel: 0171-825 7723
fax: 0171-825 4148

JAMES
Consulting Engineers

THE WELCOME TRUST
17-19 ONSLOW SQUARE

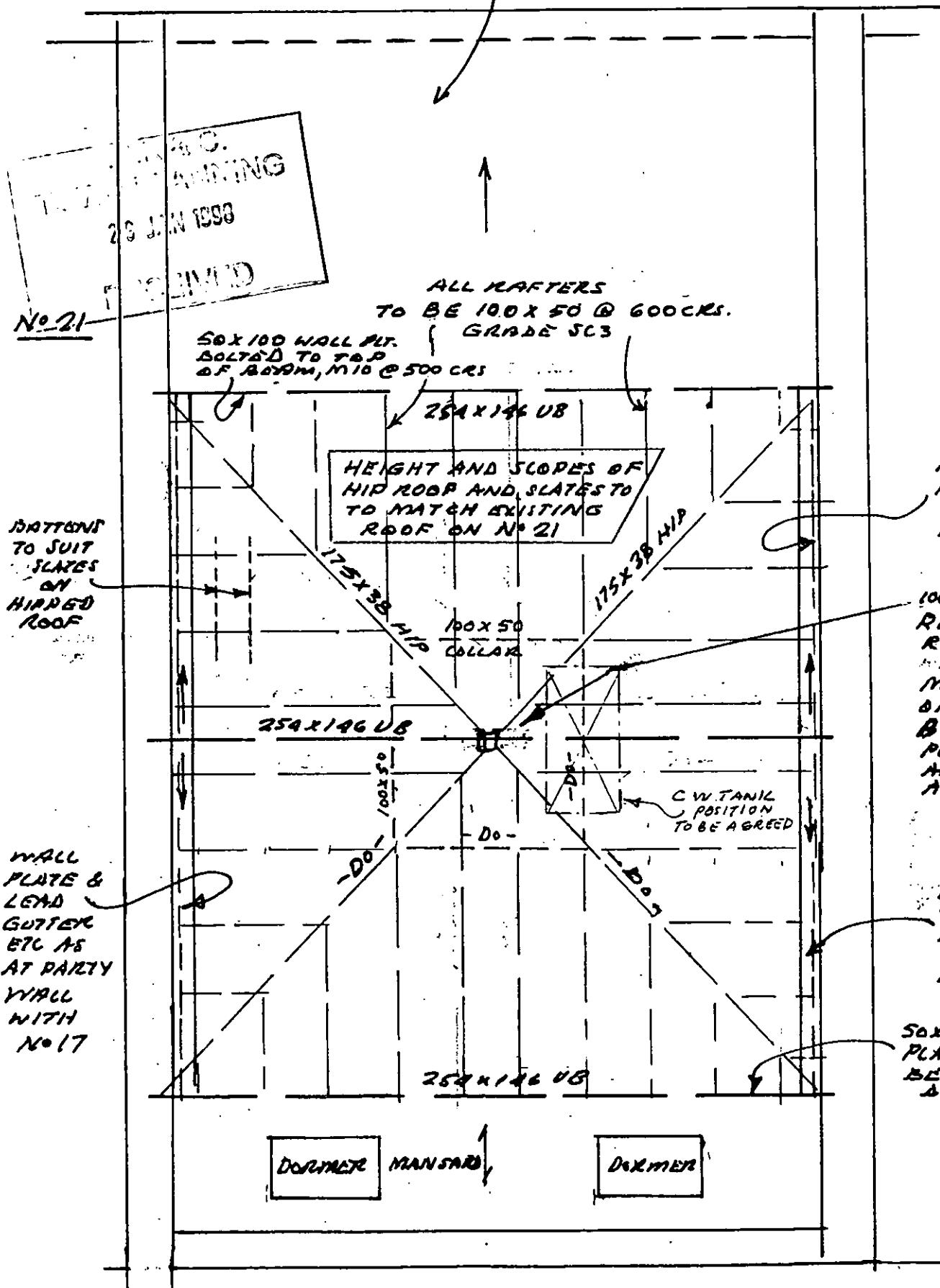
Nº 19
NEW ROOF G.A.
AND DETAILS

Drawn IAM.	Date JAN 98	Drawing Number 30499/4.	Rev A.
Scale 1:50, 1:20			

FOR DETAILS OF OTHER AREAS OF ROOF SEE DRG NO 30499/4

FOR GENERAL NOTES SEE DRG NO 30499/4

RECEIVED
29 JAN 1998
NO 21



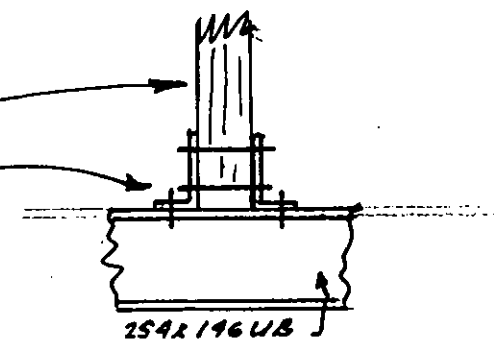
ALL RAFTERS TO BE 100X50 @ 600 CRS. GRADE SC3
50X100 WALL PLATE BOLTED TO TOP OF ROOM, M16 @ 500 CRS

NO 17

HEIGHT AND SLOPES OF HIP ROOF AND SLATES TO MATCH EXISTING ROOF ON NO 21

100X50 GRADE SC3 WALL PLATE FIXED TO PARTY WALL WITH M12 RESIN FIXED ANCHORS AT 500 CRS

100X100 GRADE SC3 ROOF POST BOLTED TO ROOF BEAM BOLTED TO 2-200X100X10Lx150LB. M.S. ANGLES. 100 LEG OF ANGLES BOLTED TO ROOF BEAM WITH 2-M16 BOLTS. POST BOLTED TO 200 LEG OF ANGLES WITH 2 M16 BOLTS AT 150 VERT' CRS



LEAD GUTTER ON TIMBER BOARDS AND BERRIERS. LEAD FLASHINGS LAPPED INTO PARTY WALL TO SUIT

50X100 WALL PLATE ON ROOF BEAM AS NOTE ABOVE

DATTONS TO SUIT SLATES ON HIPPED ROOF

WALL PLATE & LEAD GUTTER ETC AS AT PARTY WALL WITH NO 17

DORMER MANSARD

NO 19
PLAN ON HIPPED ROOF

Rev	Description	Dr	Date

R.T. James & Partners Ltd.
19-21 Palace Street, London SW1E 5HS
tel: 0171-828 7733 fax: 0171-828 4148

JAMES
Consulting Engineers

A Subsidiary of Owen Williams Group Ltd

THE WELLCOME TRUST
NO 19 ONSLOW SQUARE

**HIPPED ROOF:
GENERAL ARRANGEMENT.**

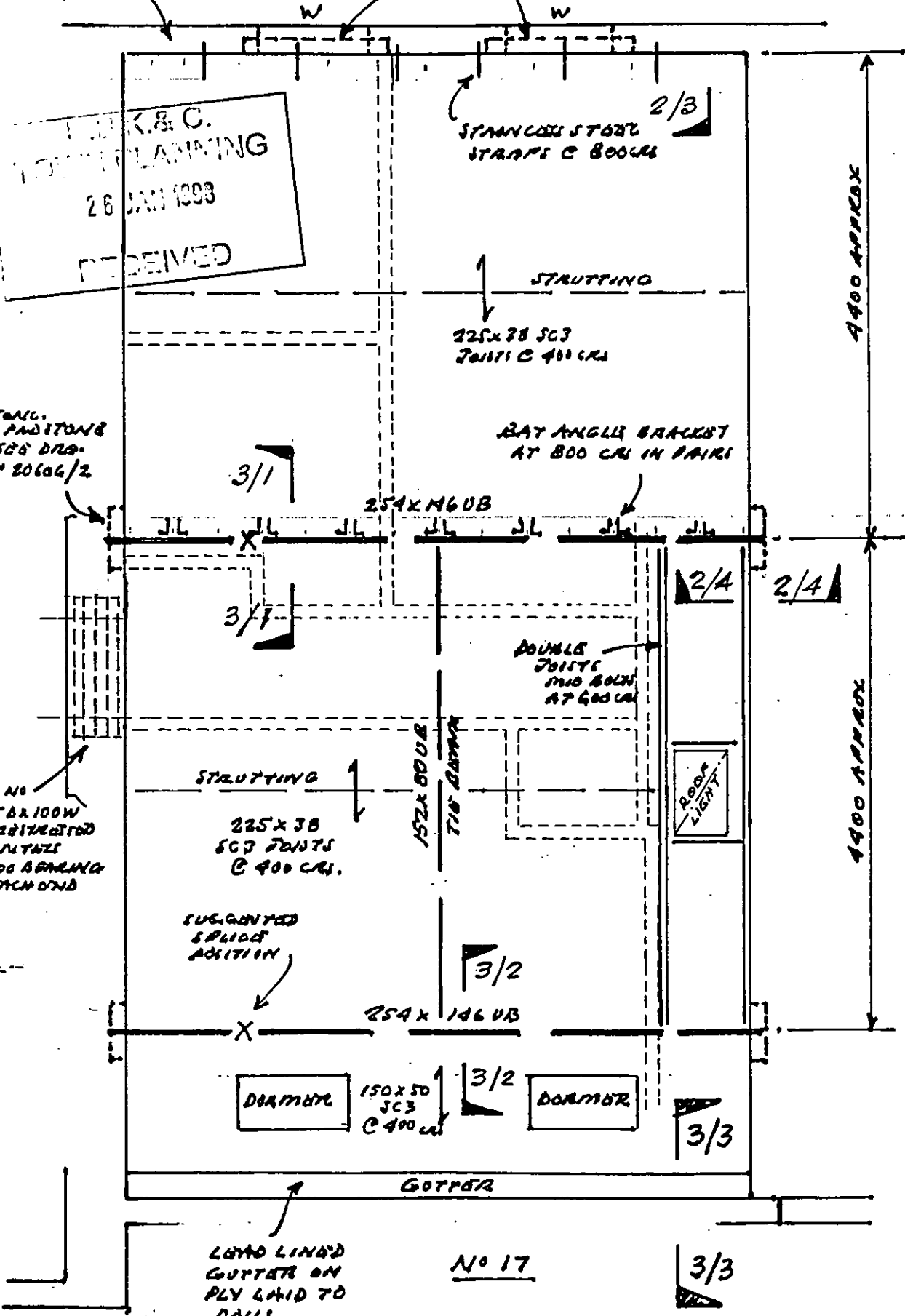
Dr	Date	Drawing Number	Rev
JAM	13.1.98	30499/5	

TP980166

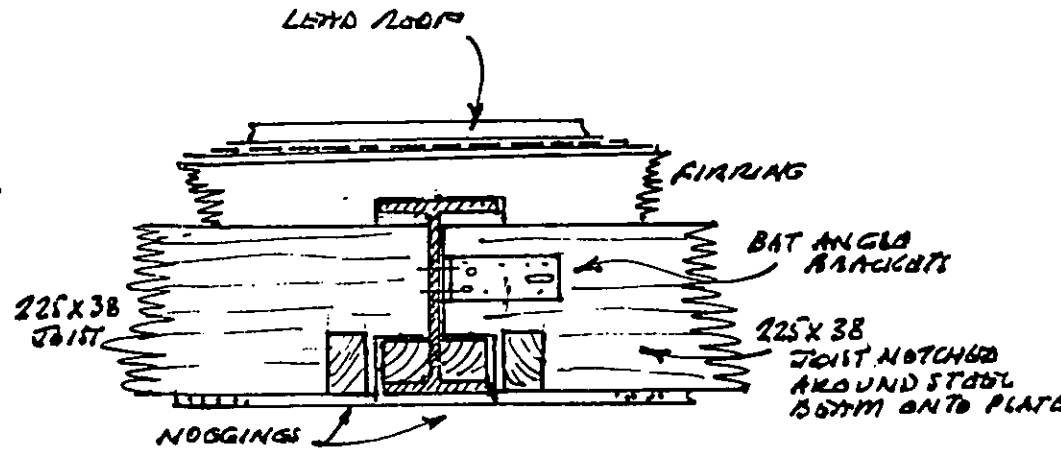
CAVITY WALL CONSTRUCTION IF EXISTING WALL BELOW IS 240 WIDE

150x50 PARTITIONED CONC. LINTOL 150 MM. BEARINGS AT ENDS

2/3

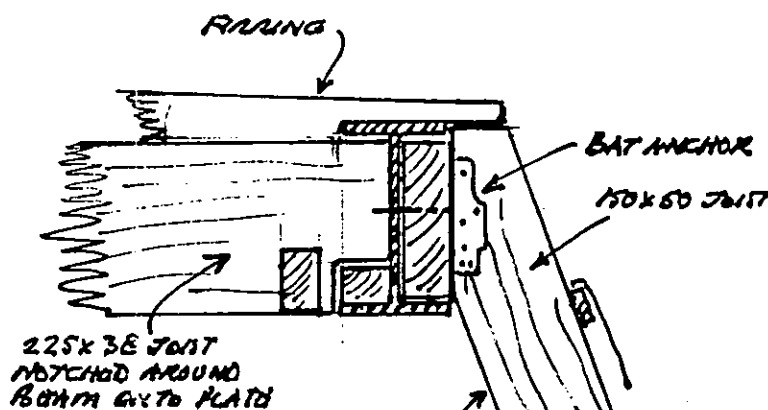


ROOF PLAN



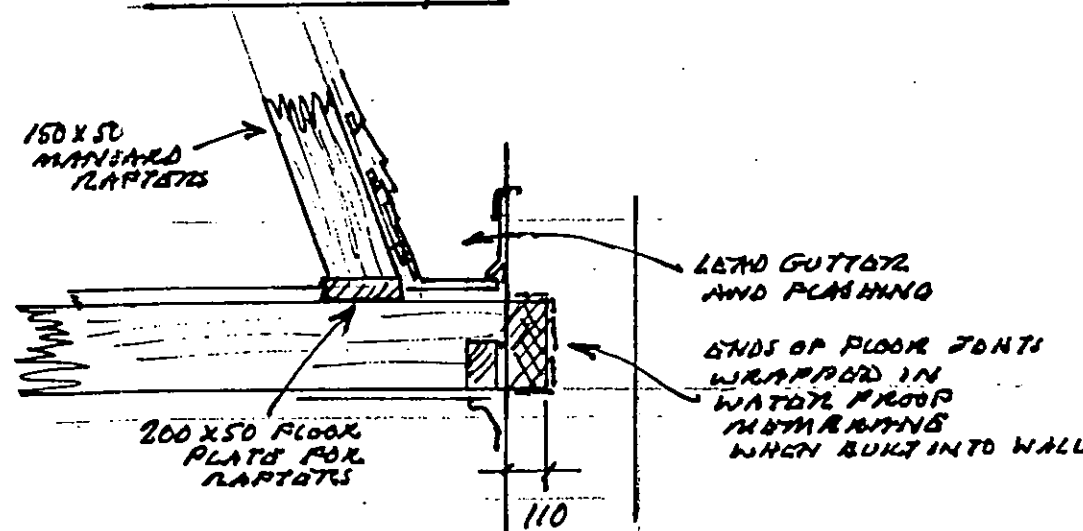
THIS SECTION TO BE READ IN CONJUNCTION WITH SECTION 2/1 ON DRG. N° 20606/2.

SECTION 3/1



THIS SECTION TO BE READ IN CONJUNCTION WITH SECTION 2/2 ON DRG. N° 20606/2.

SECTION 3/2



SECTION 3/3

ASSUMED DETAIL

NOTE - IF EXTERNAL WALL EXTENDS MIN. 750mm ABOVE TOP OF FLOOR JOIST, JOIST HANGERS MAY BE USED.

NOTES:

1. GENERAL NOTES FOR TIMBER AND STEELWORK SEE DRAWING N° 20606/2.
2. FOR DETAILS OF SECTIONS 2/3, 2/4 AND BEAM SPLICE DETAILS SEE DRAWING N° 20606/2

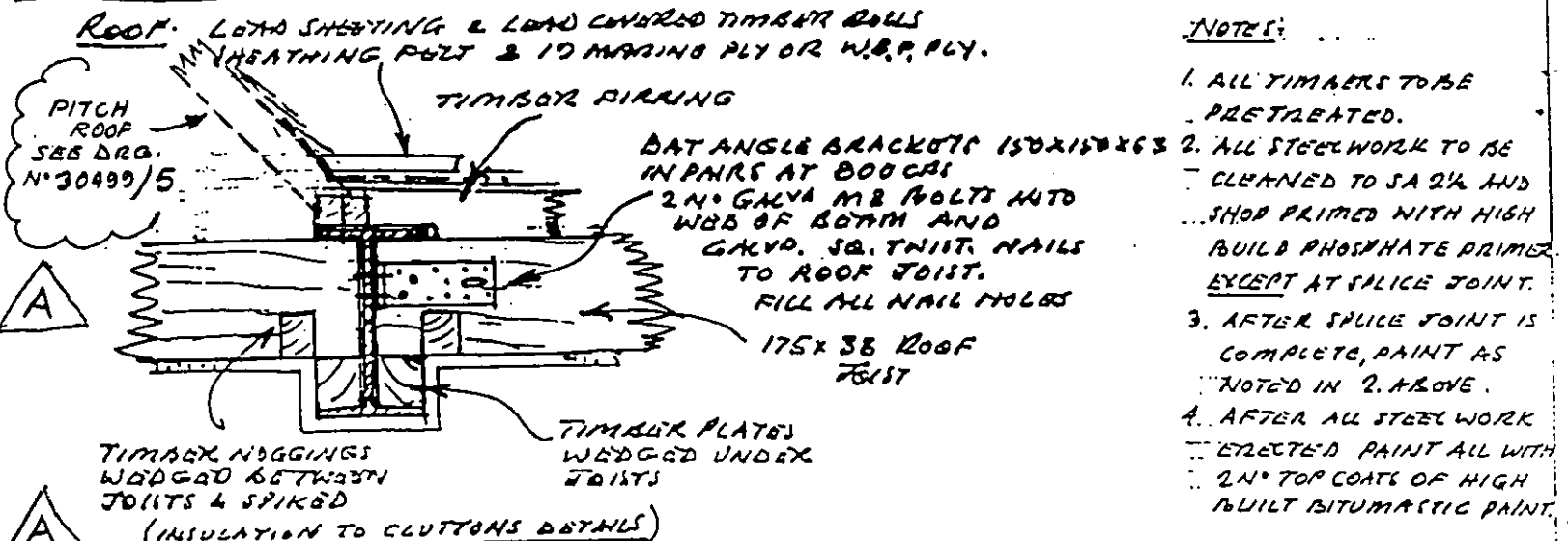
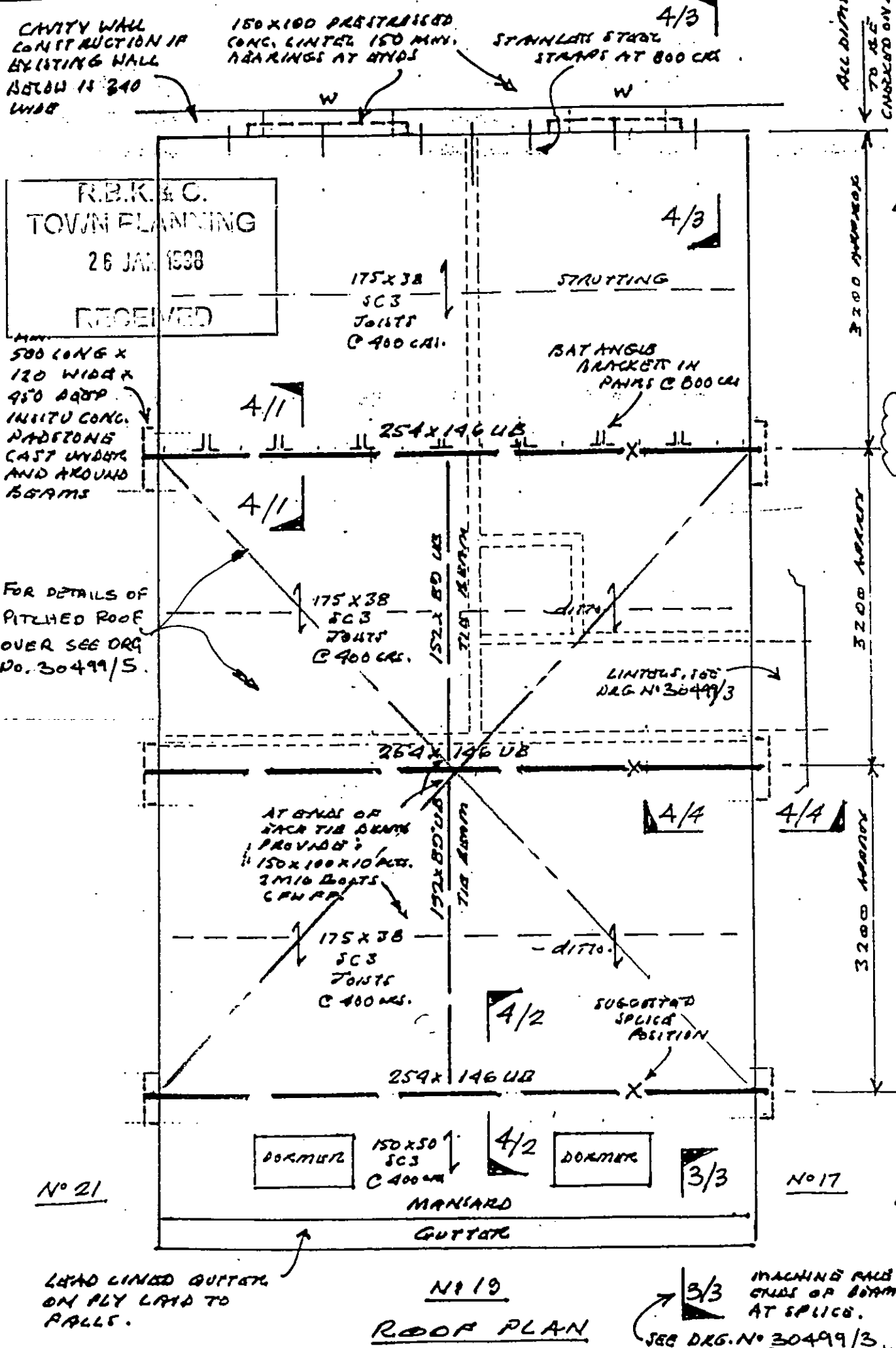
Rev	Description	Dr	Date
	FOR DISCUSSION	JS	1995

R.T. James & Partners Ltd.
 19-21 Palace Street,
 London
 SW1E 5HS
 tel: 0171-828 7733
 fax: 0171-828 4148

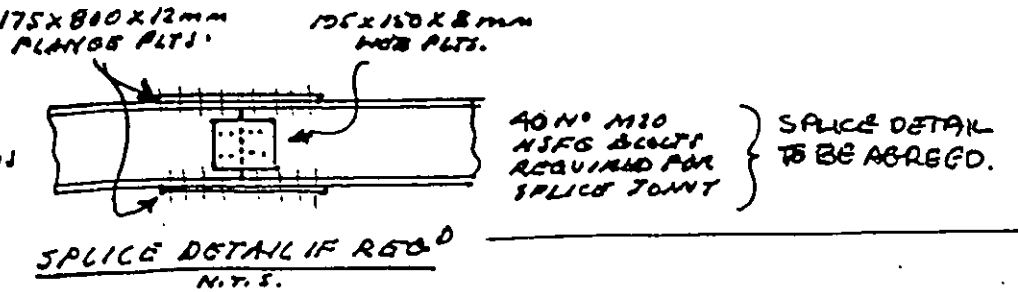
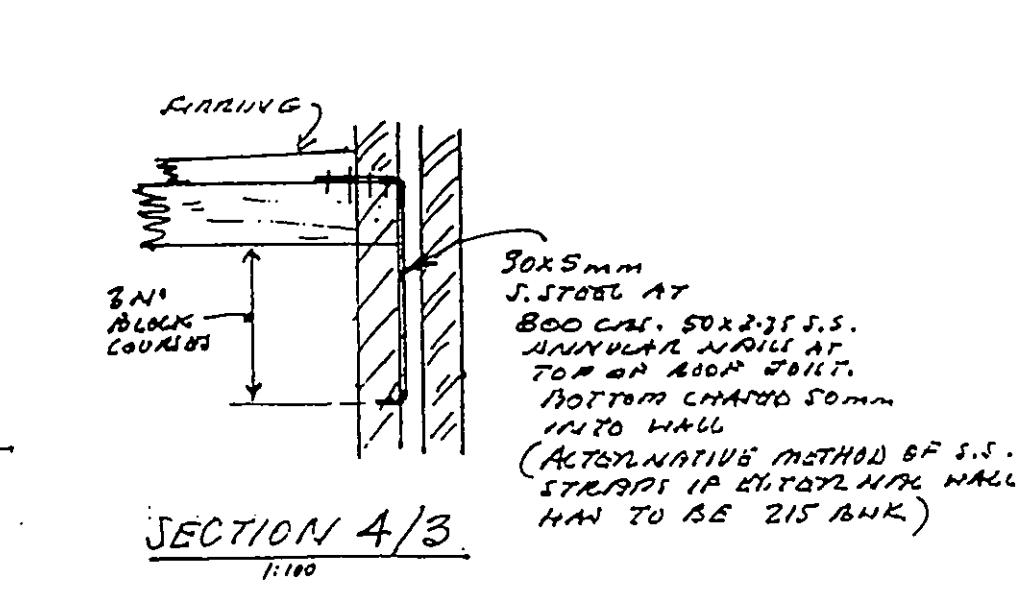
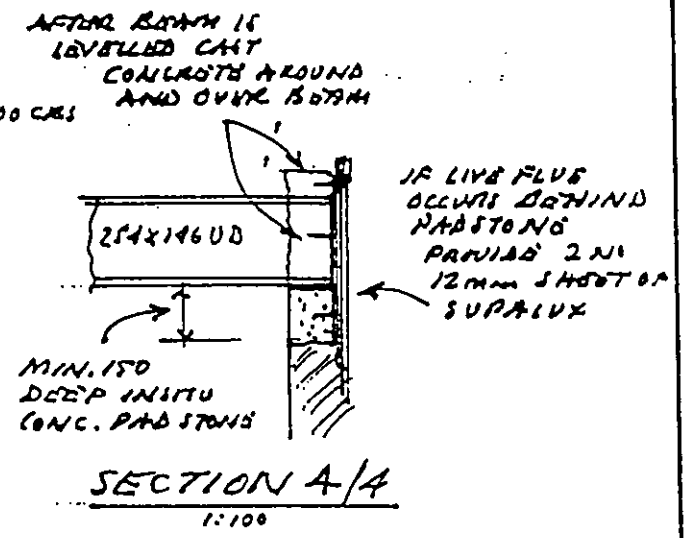
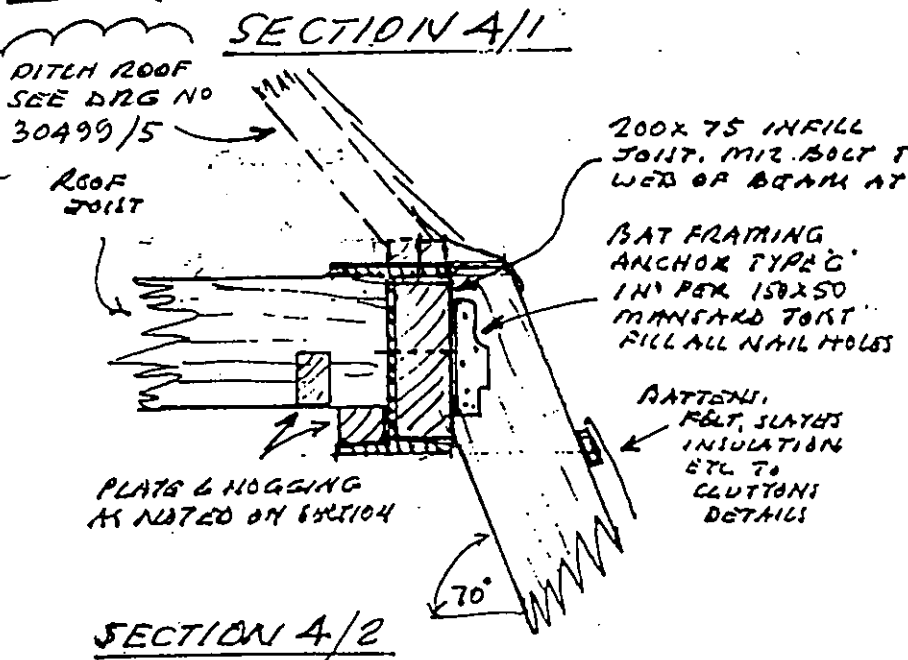
JAMES
 Consulting Engineers

SMITH'S CHARITY
 17-19 ONSLOW SQUARE
 N° 17
 NEW ROOF G.A.
 AND DETAILS

Dr	Date	Drawing Number	Rev
JS	25.9.95	20606/3	
Chkd	Scale		
	1:50, 1:20		



- NOTES:**
1. ALL TIMBERS TO BE PRETREATED.
 2. ALL STEELWORK TO BE CLEANED TO SA 2 1/2 AND SHOP PRIMED WITH HIGH BUILD PHOSPHATE PRIMER EXCEPT AT SPlice JOINT.
 3. AFTER SPlice JOINT IS COMPLETE, PAINT AS NOTED IN 2. ABOVE.
 4. AFTER ALL STEELWORK ERECTED PAINT ALL WITH 2" TOP COATS OF HIGH BUILD BITUMASTIC PAINT.



Rev	Description	By	Date
A	PITCH ROOF SHOWN ON SECTIONS 4/1 & 2	JAM	13/98

R.T. James & Partners Ltd.
19-21 Palace Street, London SW1E 5HS
Tel: 0171-928 7732 Fax: 0171-928 4148

JAMES
Consulting Engineers

THE WELWINE TRUST

17-19 ONSLOW SQUARE

N° 19

NEW ROOF G.A. AND DETAILS

Drawn	Date	Drawing Number	Rev
JAM	SAN 98	30499/4	A

NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

KIBICKI & C.
TOWN PLANNING
26 JAN 1998
RECEIVED

TP980166

CLUTTONS

Chartered Surveyors - Property Consultants

45 Beakley Square, London W1X 5DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project

17-19 Onslow Square
London SW7

Client

The Wellcome Trust Ltd.
(A Registered Charity)

Drawing

Schematic section through No.17

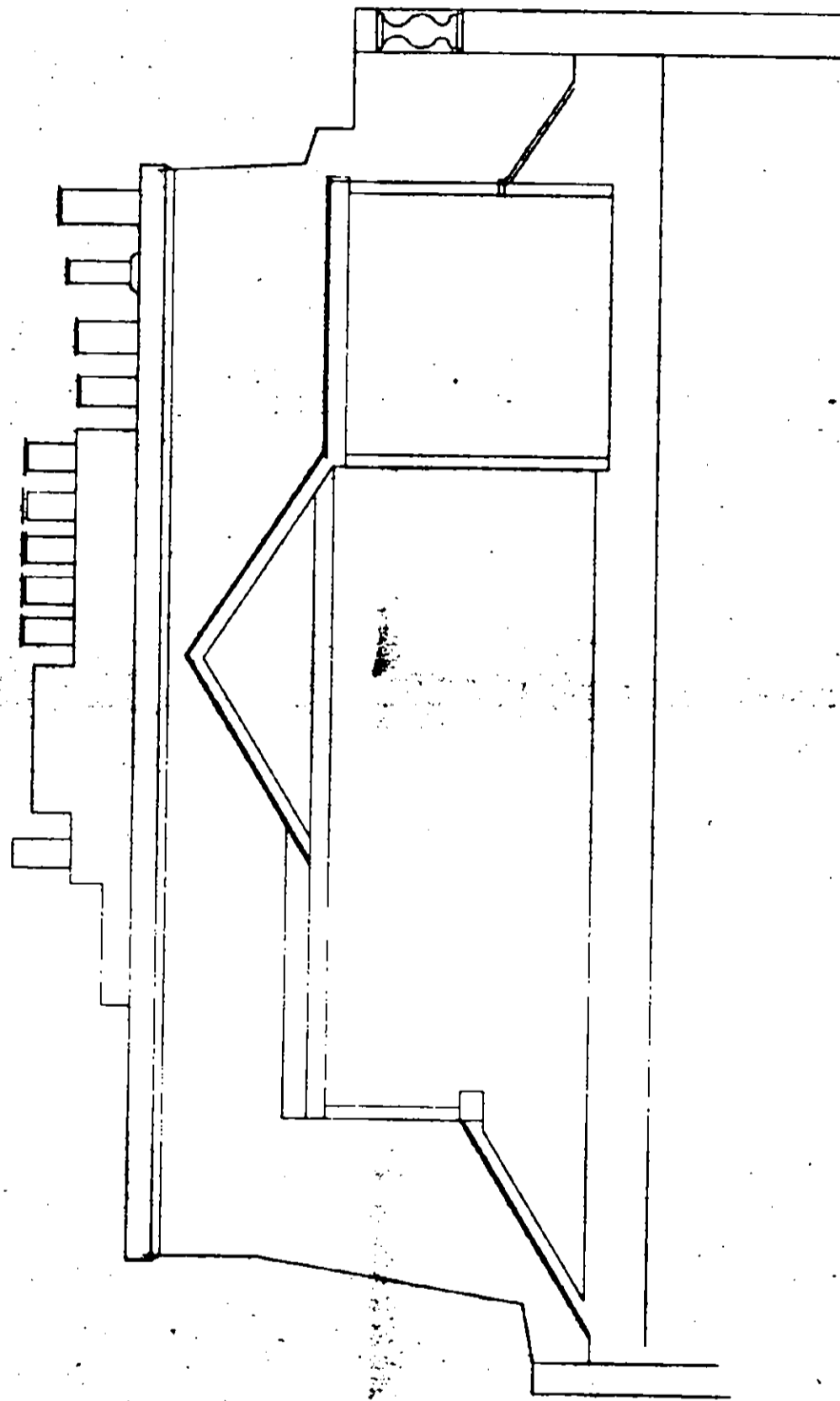
Drawn By RJG

Dwg No 7200/X/01 **Rev**

Date 15/1/1998 **Scale** 1:50

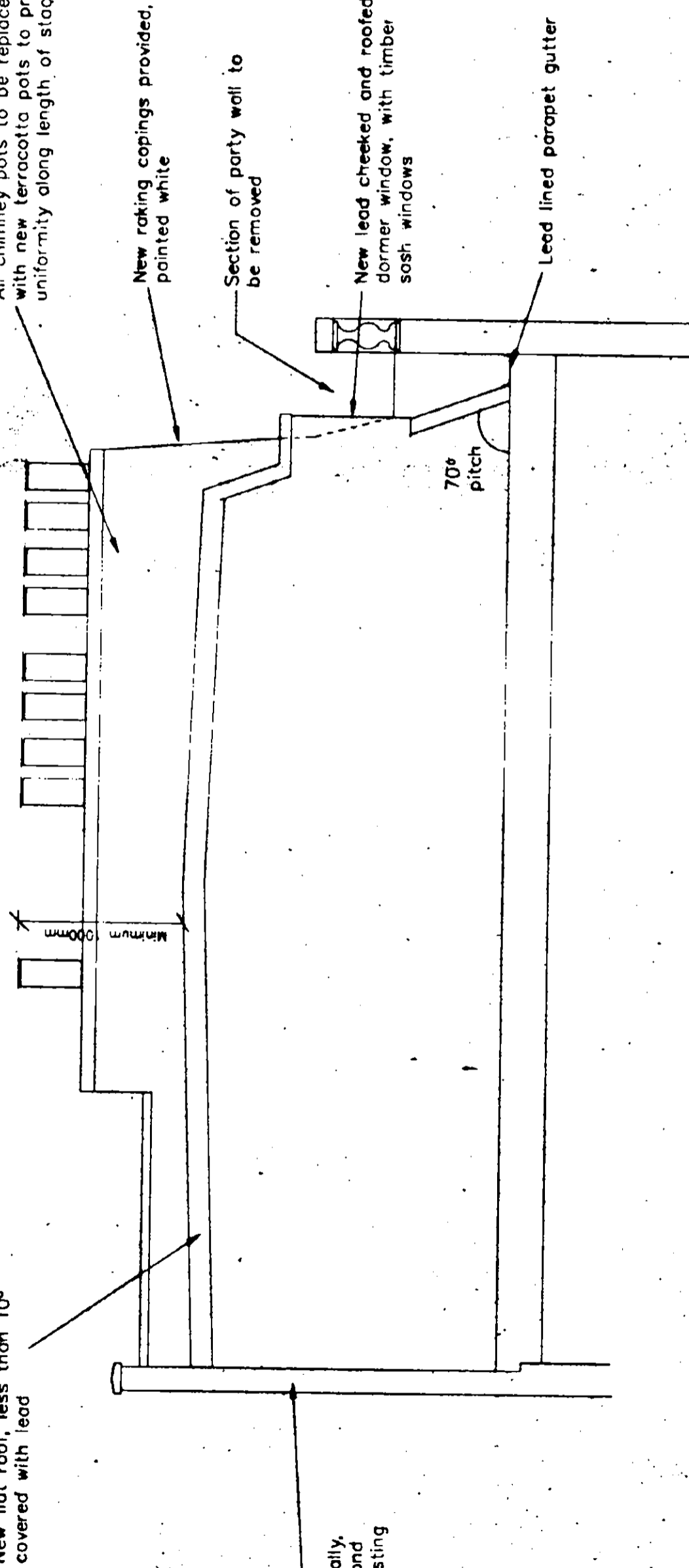
SUPERSEDED

PROPOSED



EXISTING

Party wall to be raised to match existing between Nos. 13 and 15. All chimney pots to be replaced with new terracotta pots to provide uniformity along length of stack.



New flat roof, less than 10° covered with lead

New raking copings provided, painted white

Section of party wall to be removed

New lead cheeked and roofed dormer window, with timber sash windows

Lead lined parapet gutter

70° pitch

Rear wall to be raised vertically, with external faced with second hand brickwork to match existing adjacent surfaces

NOTES

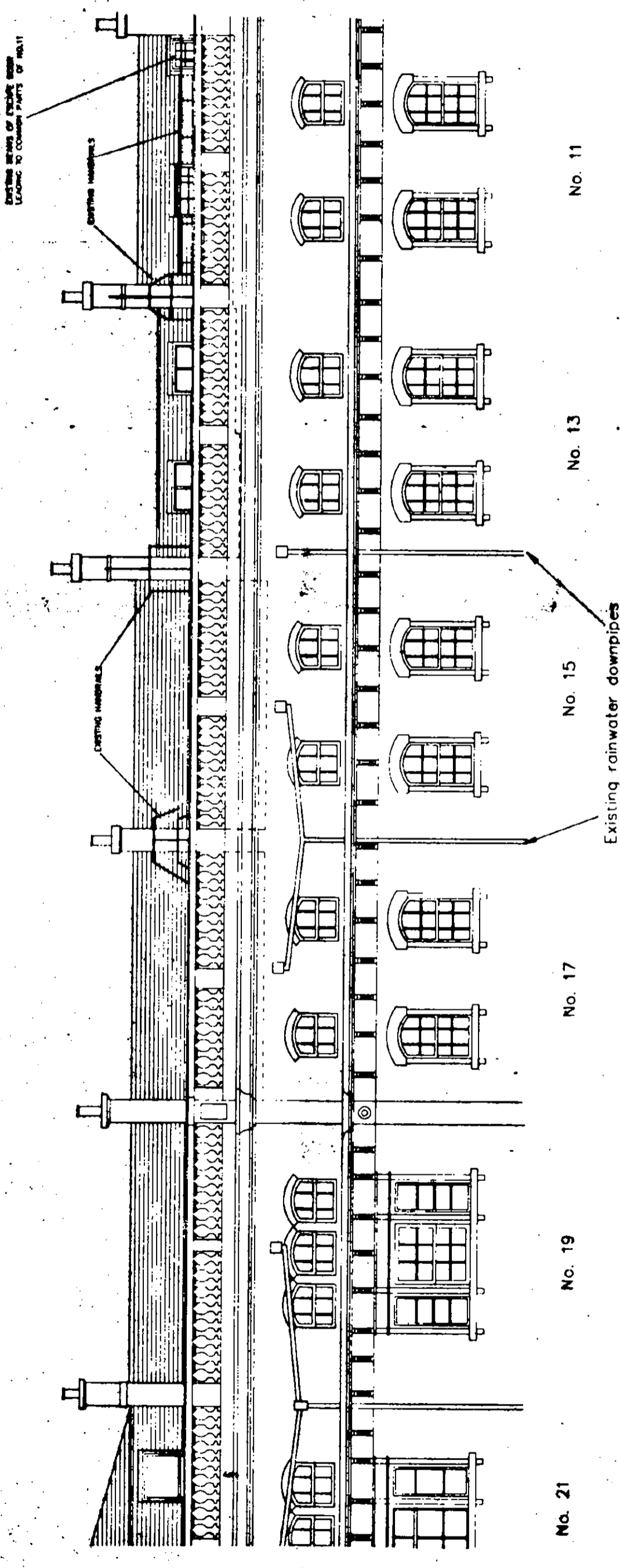
Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

PARAPET CUTTER LEVEL

FOURTH FLOOR

THIRD FLOOR

SECOND FLOOR



No. 21

No. 19

No. 17

No. 15

No. 13

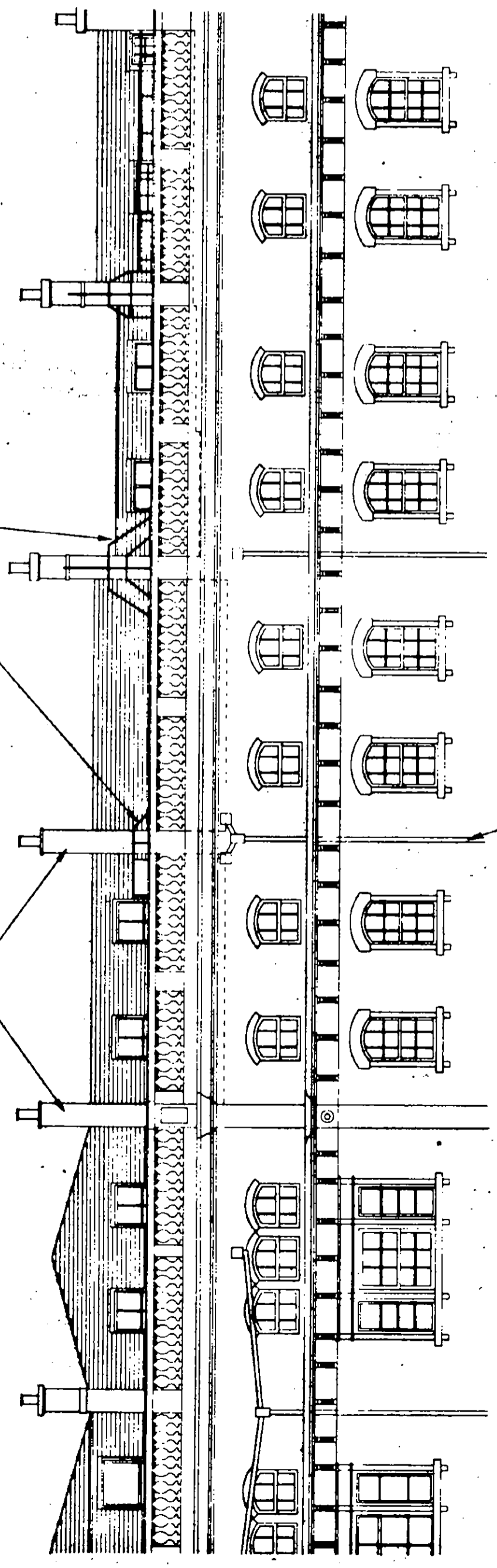
No. 11

Party walls raised and provided with new terracotta pots and cowls to provide uniformity along length of chimney stack

New adapted handrails

Existing rainwater downpipes

PROPOSED



No. 21

No. 19

No. 17

No. 15

No. 13

No. 11

Alterations to existing rainwater downpipe made to improve ugly design

N.B.K. & C.
TOWN PLANNING
26 JAN 1998
RECEIVED

TP980166



45 Bechtel Square, London W1X 5DB
Tel: 0171 408 4010 / Fax: 0171 493 4449

Project 17/19 ONSLOW SQUARE, SW7

Client THE WILLOOME TRUST LTD (A REGISTERED CHARITY)

Drawing ALTERATIONS TO FRONT ELEVATIONS OF 11-19 ONSLOW SQ

Drawn By RJG

Dwg No 7200/M/04 Rev

Date 15/1/1998 Scale 1:100

PROPOSED ALTERATIONS TO HANDRAILS TO NOS. 11-17 ONSLOW SQUARE

R.B.K. & C.
TOWN PLANNING
30 JAN 1998
RECEIVED

Existing Party Wall is to be raised and brought forward to match existing between Nos. 19 and 21, faced with raking copings painted white

New slate covered hipped roof to match No.21, for new water tanks. Nos. 19 and 21 are the "key" houses of the terrace so this provides a degree of uniformity

Mansard roof slopes to be provided with new natural slate covering

Party Wall to be raised in height to match existing between Nos. 13 and 15

New means of escape doorway as shown on Drawing No. 7200/ME/01

New flat lead roof

an inset of known aspect 3/3



No. 21

No. 19

No. 17

NOTES
Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instruction.

NB. Position of rainwater downpipes shown on Drawing No. 7200/M/04

SUPERSEDED

980167

CLUTTONS
Chartered Surveyors - Property Consultants
45 Berkeley Square, London W1X 5DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project
17-19 ONSLOW SQUARE
LONDON SW7

Client
THE WELLCOME TRUST
(A REGISTERED CHARITY)

Drawing
PROPOSED SECOND TO FOURTH
FLOORS - FRONT ELEVATION

Drawn By RJG

Drg No 7200/P/02 Rev B

Date 22/1/1998 Scale 1:50

NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

TP980166



Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 3DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project

17-19 Unslow Square
London SW7

Client

The Wellcome Trust Ltd
(A Registered Charity)

Drawing

Schematic diagram of means of
escape door at No.17

Drawn By

R.J.G.
Dwg No 7200/ME/01 Rev

Date

15/11/1998

Scale 1:50

Party wall raised to match existing
between Nos. 13 and 15, with new
terracotta pots and cowlings

Section of party wall to
be removed, finished with
raking coping stone
painted white

New tubular
handrail

New tubular handrail
around access landing

Steel landing with angle
brackets fixed to rafters

New lead lined parapet
gutter

Front elevation
wall

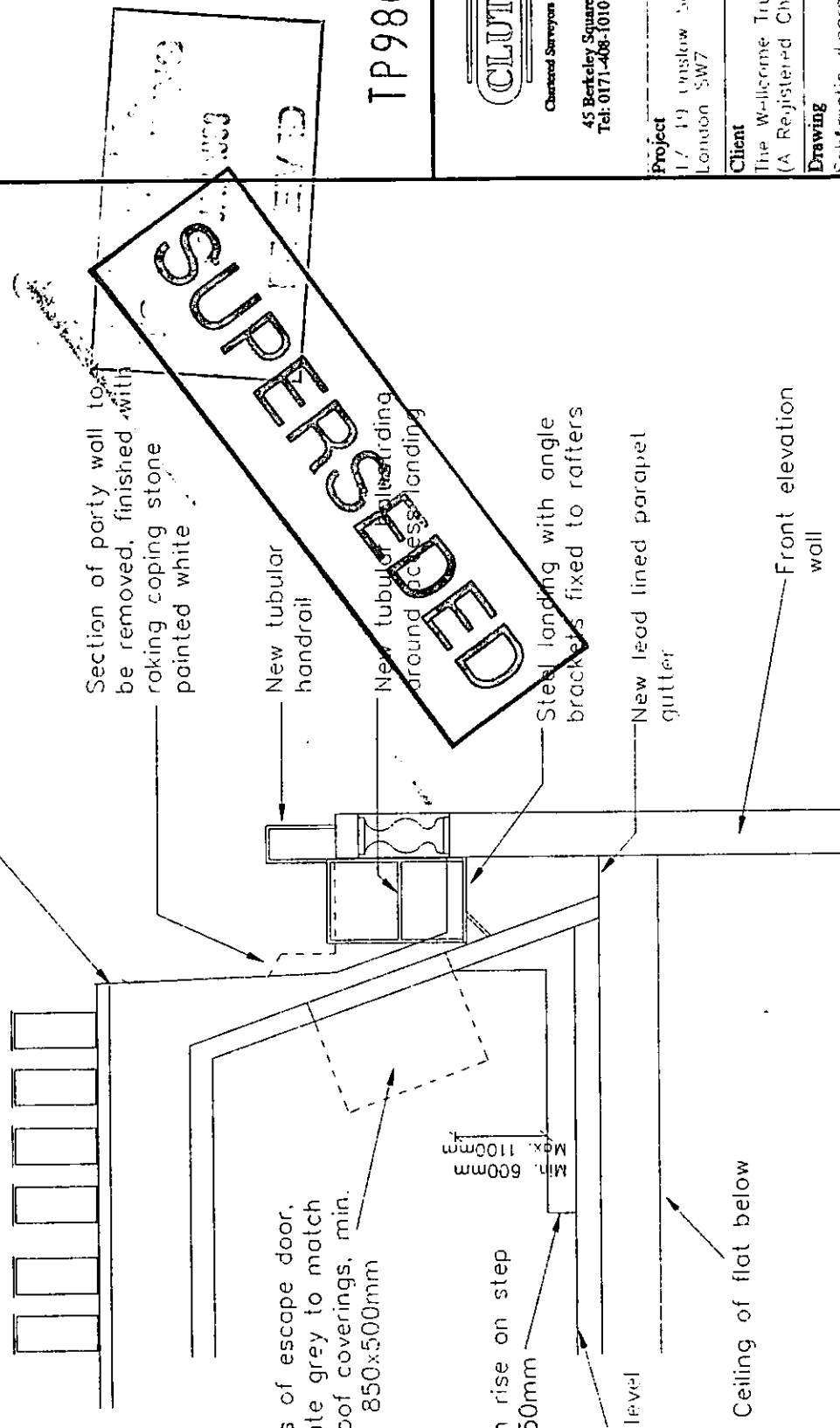
New means of escape door,
painted slate grey to match
adjacent roof coverings, min.
dimensions 850x500mm

Min. 600mm
Max. 1100mm

Maximum rise on step
to be 250mm

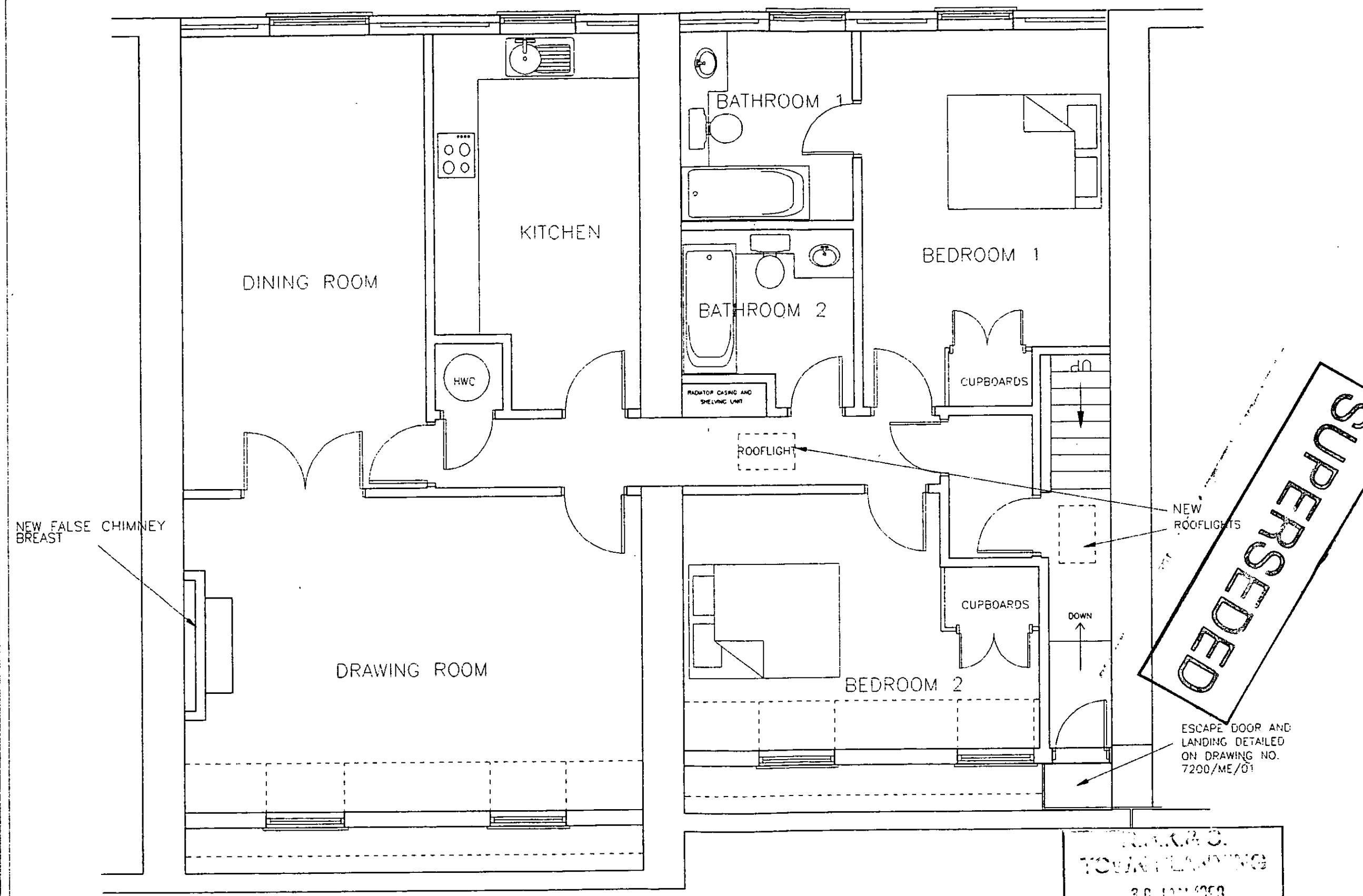
New floor level

Ceiling of flat below



REVISED

PARTY WALL BETWEEN NOS. 15 AND 17
LOOKING TOWARDS NO.15 FROM NO.17



NOTES
 Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

TP980166

CLUTTONS

Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 5DB
 Tel: 0171-408-1010 Fax: 0171-493-4449

Project
 17-19 ONSLOW SQUARE
 LONDON SW7

Client
 THE WELLCOME TRUST
 (A REGISTERED CHARITY)

Drawing
 PROPOSED FOURTH FLOOR
 FLAT

Drawn By RJG

Drg No 7200/P/01 **Rev** C

Date 5/11/1997 **Scale** 1:50

TRANK & CO.
 YOUR PLANNING
 30 JAN 1998
 RECEIVED

SUPERSEDED

Existing Party Wall is to be raised and brought forward to match existing between Nos. 19 and 21, faced with raking copings painted white

New slate covered hipped roof to match No.21, for new water tanks. Nos. 19 and 21 are the "key" houses of the terrace so this provides a degree of uniformity

Mansard roof slopes to be provided with new natural slate covering

Party Wall to be raised in height to match existing between Nos. 13 and 15

New flat lead roof

New means of escape doorway as shown on Drawing No.7200/ME/01



NOTES
Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

NB. Position of rainwater downpipes shown on Drawing No. 7200/M/04

TP980166

CLUTTONS

Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 5DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project
17-19 ONSLOW SQUARE
LONDON SW7

Client
THE WELLCOME TRUST
(A REGISTERED CHARITY)

Drawing
PROPOSED SECOND TO FOURTH
FLOORS - FRONT ELEVATION

Drawn By RJG

Drg No 7200/P/02 Rev B

Date 22/1/1998 Scale 1:50

RECEIVED
30 JAN 1998
TOWN PLANNING

No. 21

No. 19

No. 17

NOTES

Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions

R.B.K. & C.
TOWN PLANNING
26 JAN 1998
RECEIVED

CLUTTONS
Chartered Surveyors - Property Consultants

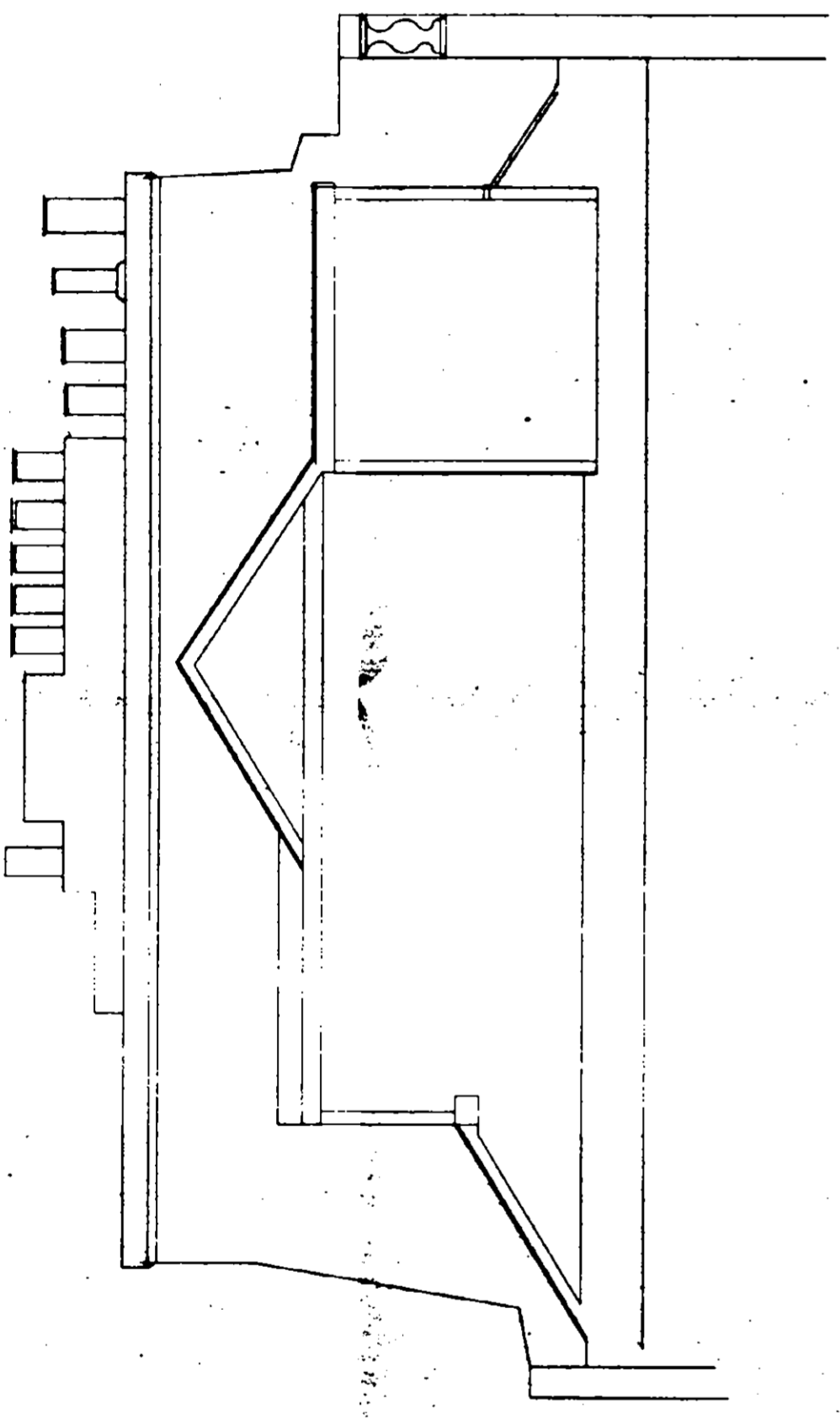
17-19 Onslow Square, London W1X 5DB
Tel: 0171-468-1010 Fax: 0171-493-4449

Project	17-19 Onslow Square London SW7
Client	The Wellcome Trust Ltd. (A Registered Charity)
Drawing	Schematic section through No.17
Drawn By	RJG
Dwg No	7200/X/01 Rev
Date	15/1/1998
Scale	1:50

SUPERSEDED

TP980166

EXISTING



Party wall to be raised to match existing between Nos. 13 and 15. All chimney pots to be replaced with new terracotta pots to provide uniformity along length of stack.

New raking copings provided, painted white

Section of party wall to be removed

New lead cheeked and roofed dormer window, with timber sash windows

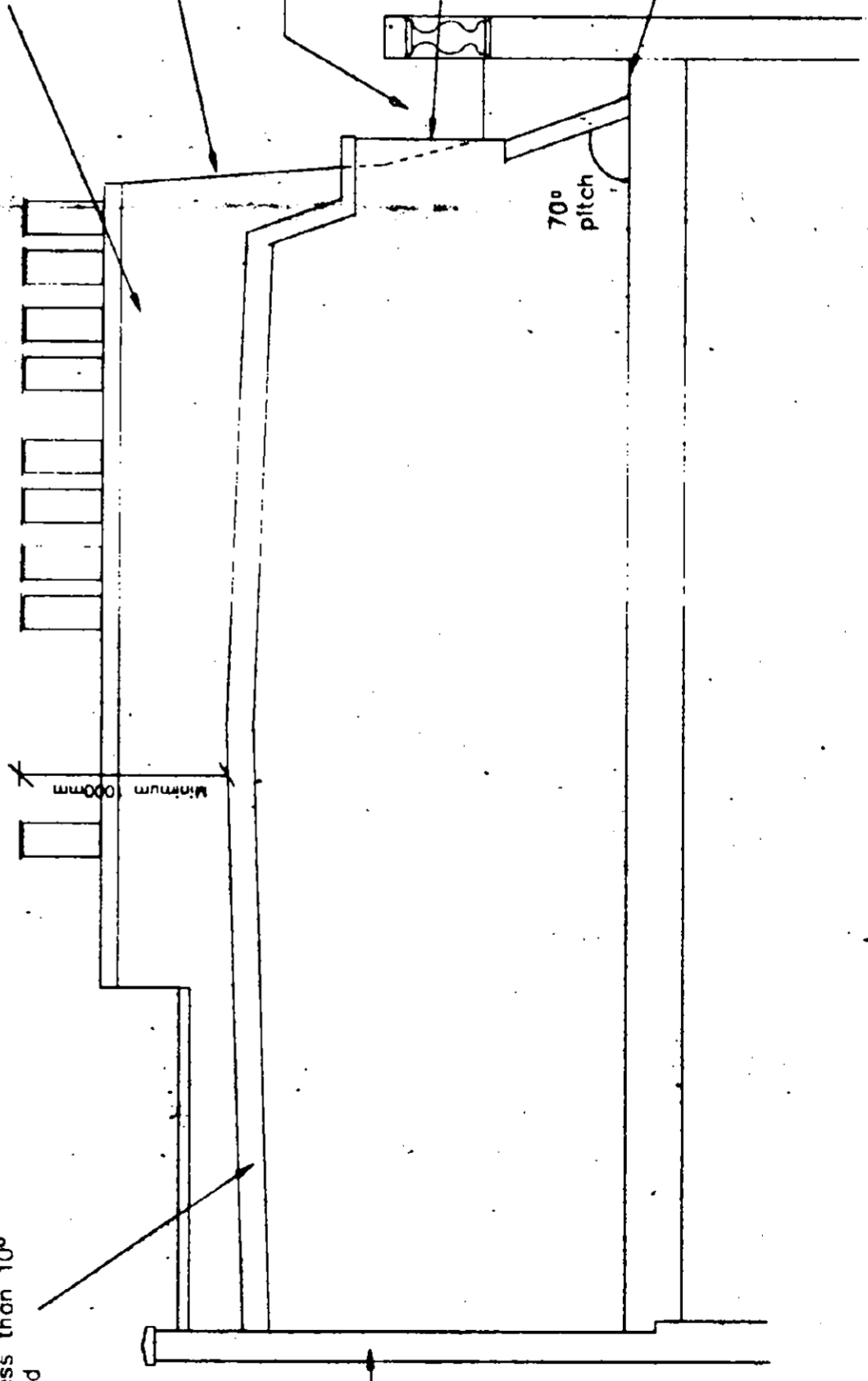
Lead lined parapet gutter

70° pitch

New flat roof, less than 10° covered with lead

Rear wall to be raised vertically, with external faced with second hand brickwork to match existing adjacent surfaces

PROPOSED





Nos. 19 and 21, faced with raking copings painted white

New slate covered hipped roof to match No.21, for new water tanks. Nos. 19 and 21 are the "key" houses of the terrace so this provides a degree of uniformity

Mansard roof slopes to be provided with new natural slate covering

New flat lead roof

Party Wall to be raised in height to match existing between Nos. 13 and 15

NOTES
Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

New means of escape doorway as shown on Drawing No.7200/ME/01

NB. Position of rainwater downpipes shown on Drawing No. 7200/M/04

RECEIVED

CLUTTONS
David Smith

Chartered Surveyors - Property Consultants
41 Upper Berkeley Street, London W1H 8EP
Tel: 0271-724-6646 Fax: 0271-724-6648

Project
Proposed mansard roof additions to Nos. 17 & 19 Onslow Square

Client
The Wellcome Trust Ltd.
(A Registered Charity No. 210183)

Drawing
Proposed front elevation

Drawn By RJC

Dwg No 7200/P/02 **Rev** C

Date 12/6/98 **Scale** 1:50

No. 21

No. 19

No. 17

R.B.K. & C.
TOWN PLANNING
 15 JUN 1998
RECEIVED



Nos. 19 and 21, faced with raking copings painted white

New slate covered hipped roof to match No.21, for new water tanks. Nos. 19 and 21 are the "key" houses of the terrace so this provides a degree of uniformity

Mansard roof slopes to be provided with new natural slate covering

New flat lead roof

Party Wall to be raised in height to match existing between Nos. 13 and 15

NOTES
Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

New means of escape doorway as shown on Drawing No.7200/ME/01

NE Position of rainwater pipes shown on Drawing No. 7200/M/04

SUPERSEDED

CLUTTONS
Daniel Smith

Chartered Surveyors - Property Consultants
42 Upper Berkeley Street, London W1H 8EP
Tel: 0271-734-6648 Fax: 0271-734-2328

Project
Proposed mansard roof additions to Nos. 17 & 19 Onslow Square

Client
The Wellcome Trust Ltd.
(A Registered Charity No. 210183)

Drawing
Proposed front elevation

Drawn By RJG

Dwg No 7200/P/02 **Rev** C

Date 12/6/98 **Scale** 1:50

No. 21

No. 19

No. 17

RECEIVED
15 JUN 1998
R.B.K. & C.
TOWN PLANNING



Nos. 19 and 21, faced with raking copings painted white

New slate covered hipped roof to match No.21, for new water tanks. Nos. 19 and 21 are the "key" houses of the terrace so this provides a degree of uniformity

Mansard roof slopes to be provided with new natural slate covering

New flat lead roof

Party Wall to be raised in height to match existing between Nos. 13 and 15

NOTES
Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

New means of escape doorway as shown on Drawing No. 7200/ME/01

NB. Position of rainwater downpipes shown on Drawing No. 7200/M/04

RECEIVED

CLUTTONS
Daniel Smith

Chartered Surveyors - Property Consultants
43 Upper Berkeley Street, London W1H 8EP
Tel: 0271-724-0500 Fax: 0271-724-0900

Project
Proposed mansard roof additions to Nos. 17 & 19 Onslow Square

Client
The Wellcome Trust Ltd.
(A Registered Charity No. 210183)

Drawing
Proposed front elevation

Drawn By RJG

Dep No 7200/P/02 **Rev** C

Date 12/6/98 **Scale** 1:50

No. 21

No. 19

No. 17

R.B.K. & C.
TOWN PLANNING
15 JUN 1998
RECEIVED

NOTES
 Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

R.B.K. & C.
 TOWN PLANNING
 15 JUN 1998
 RECEIVED

Boxed gutters

Hipped roof arrangement to match existing to No. 21, concealing new water tanks

Flue outlet

ROOFLIGHT

SUPERSEDED

New covered flat roof

NEW ROOFLIGHTS

CLUTTONS
Daniel Smith

Chartered Surveyors - Property Consultants
 41 Upper Berkeley Street, London W1H 8EP
 Tel: 0171-724-4545 Fax: 0171-724-4848

ESCAPE DOOR AND LANDING DETAILED ON DRAWING NO. 7200/ME/01
 Proposed mansard roof additions to No. 17 and 19 onslow Square

Client
 The Wellcome Trust Ltd.
 (A Registered Charity No. 210183)

Drawing
 Proposed roof lines

Drawn By RJG

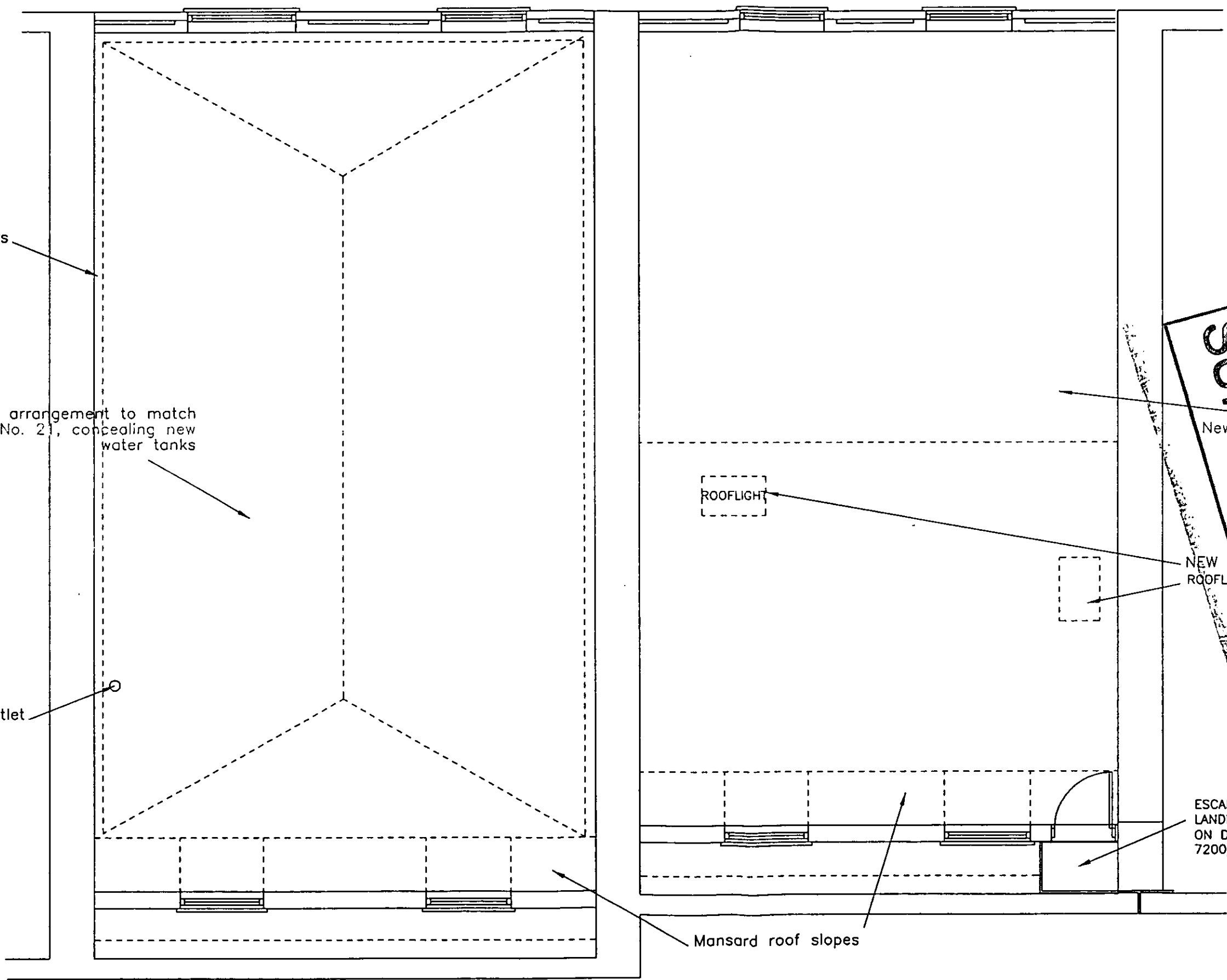
Dwg No 7200/R/01 **Rev**

Date 12/6/98 **Scale** 1:50

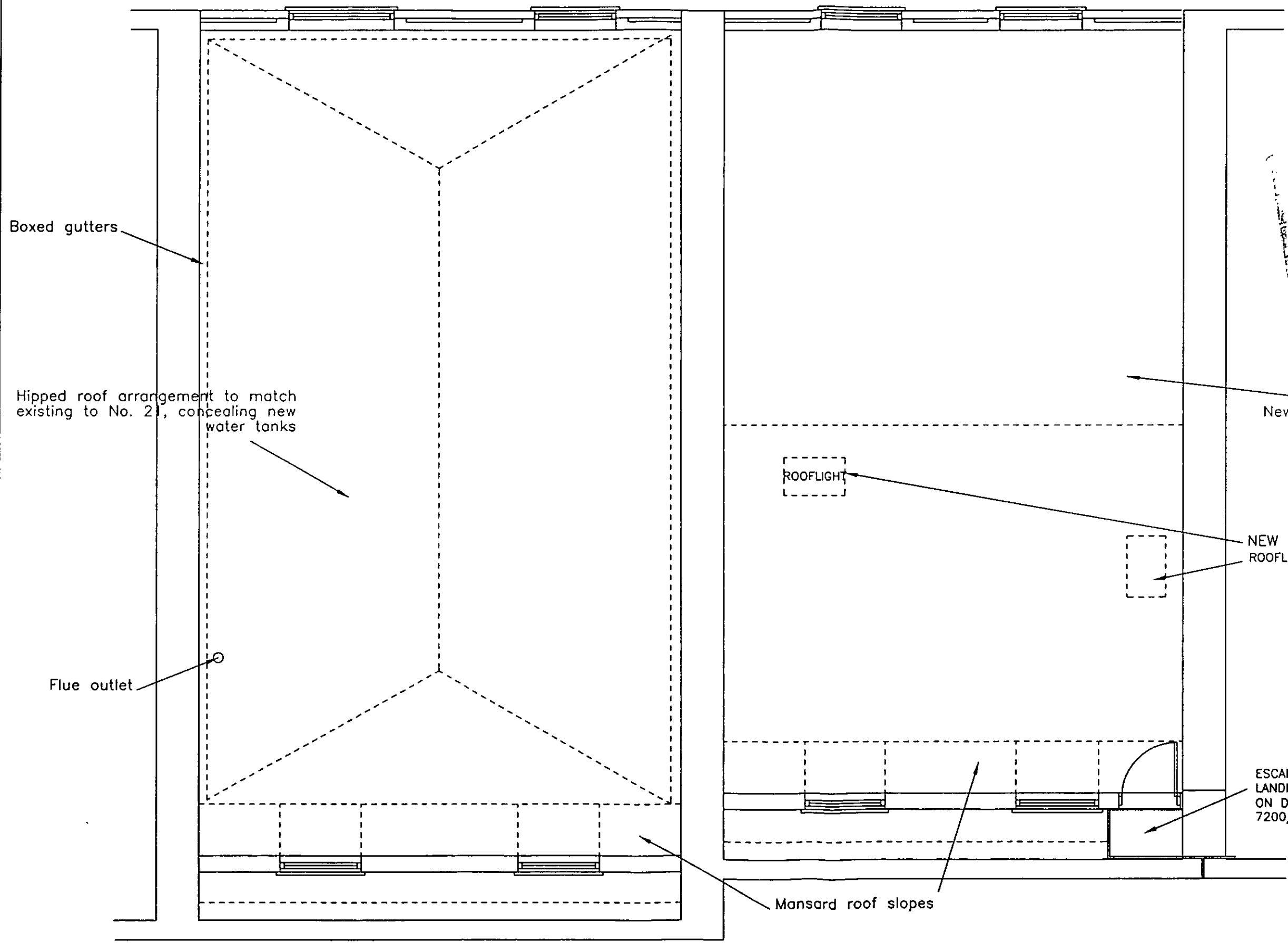
Mansard roof slopes

No. 19

No. 17



NOTES
 Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.



Boxed gutters

Hipped roof arrangement to match existing to No. 21, concealing new water tanks

Flue outlet

ROOFLIGHT

NEW ROOFLIGHTS

New lead covered flat roof

Mansard roof slopes

ESCAPE DOOR AND LANDING DETAILED ON DRAWING NO. 7200/ME/01 and 19 onslow Square

SUPERSEDED

R.B.K. & C.
TOWN PLANNING
 15 JUN 1998
 RECEIVED

CLUTTONS
Daniel Smith

Chartered Surveyors - Property Consultants
 41 Upper Berkeley Street, London W1H 8EP
 Tel: 0171-724-6546 Fax: 0171-724-0940

Client
 The Wellcome Trust Ltd.
 (A Registered Charity No. 210183)

Drawing
 Proposed roof lines

Drawn By RJC

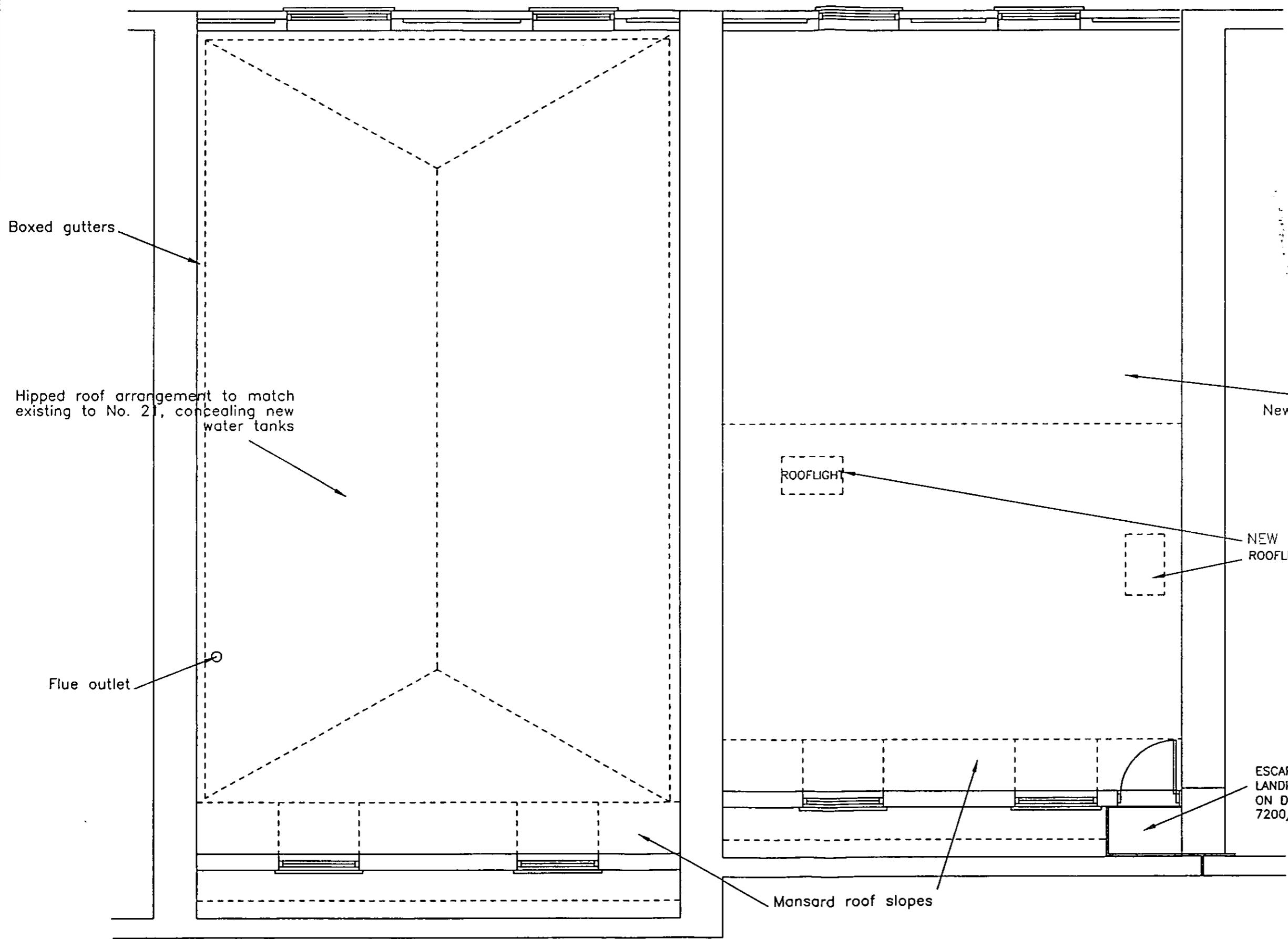
Dwg No 7200/R/01 **Rev**

Date 12/6/98 **Scale** 1:50

No. 19

No. 17

NOTES
 Do not scale from this drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.



Boxed gutters

Hipped roof arrangement to match existing to No. 21, concealing new water tanks

Flue outlet

ROOFLIGHT

New lead covered flat roof

NEW ROOFLIGHTS

Mansard roof slopes

ESCAPE DOOR AND LANDING DETAILED ON DRAWING NO. 7200/ME/01
 Proposed mansard roof additions to and 19 onslow Square

SUPERSEDED

R.B.K. & C.
 TOWN PLANNING
 15 JUN 1998
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CLUTTONS
David Smith

Chartered Surveyors - Property Consultants
 41 Upper Berkeley Street, London W1H 8EP
 Tel: 0171-724-6546 Fax: 0171-724-0940

Client
 The Wellcome Trust Ltd.
 (A Registered Charity No. 210183)

Drawing
 Proposed roof lines

Drawn By RJG

Dwg No 7200/R/01 **Rev**

Date 12/6/98 **Scale** 1:50

No. 19

No. 17

NOTES

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SUPERSEDED

TP980166

CLUTTONS

Chartered Surveyors - Property Consultants

45 Berkeley Square, London W1X 5DB
Tel: 0171-408-1010 Fax: 0171-493-4449

Project

17-19 Onslow Square
London SW7

Client

The Wellcome Trust Ltd
(A Registered Charity)

Drawing

Schematic diagram of means of
escape door at No.17

Drawn By RJG

Dwg No 7200/ME/01 Rev

Date 15/1/1998 **Scale** 1:50

Party wall raised to match existing
between Nos. 13 and 15, with new
terracotta pots and cowlings

Section of party wall to
be removed, finished with
raking coping stone
painted white

New tubular
handrail

New tubular balustrading
around access landing

Steel landing with angle
brackets fixed to rafters

New lead lined parapet
gutter

Front elevation
wall

New means of escape door,
painted slate grey to match
adjacent roof coverings, min.
dimensions 850x500mm

Min. 600mm
Max. 1100mm

Maximum rise on step
to be 250mm

New floor level

Ceiling of flat below

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PARTY WALL BETWEEN NOS. 15 AND 17
LOOKING TOWARDS NO.15 FROM NO.17

Existing Party Wall is to be raised and brought forward to match existing between Nos. 19 and 21, faced with raking copings painted white

New slate covered hipped roof to match No.21, for new water tanks. Nos. 19 and 21 are the "key" houses of the terrace so this provides a degree of uniformity

Mansard roof slopes to be provided with new natural slate covering

Party Wall to be raised in height to match existing between Nos. 13 and 15

New flat lead roof

New means of escape doorway as shown on Drawing No.7200/ME/01



NO. 7200/P/02
 Do not scale from the drawing, work to figured dimensions and refer any discrepancies to the Surveyor for further instructions

NB. Position of rainwater downpipes shown on Drawing No. 7200/M/04

APPROVED
 1980166

R. J. G. & C.
 TOWN & COUNTRY PLANNING
 26 JAN 1998

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CLUTTONS
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Project
 17-19 ONSLOW SQUARE
 LONDON SW7

Client
 THE WELLCOME TRUST
 (A REGISTERED CHARITY)

Drawing
 PROPOSED SECOND TO FOURTH
 FLOORS - FRONT ELEVATION

Drawn By RJG

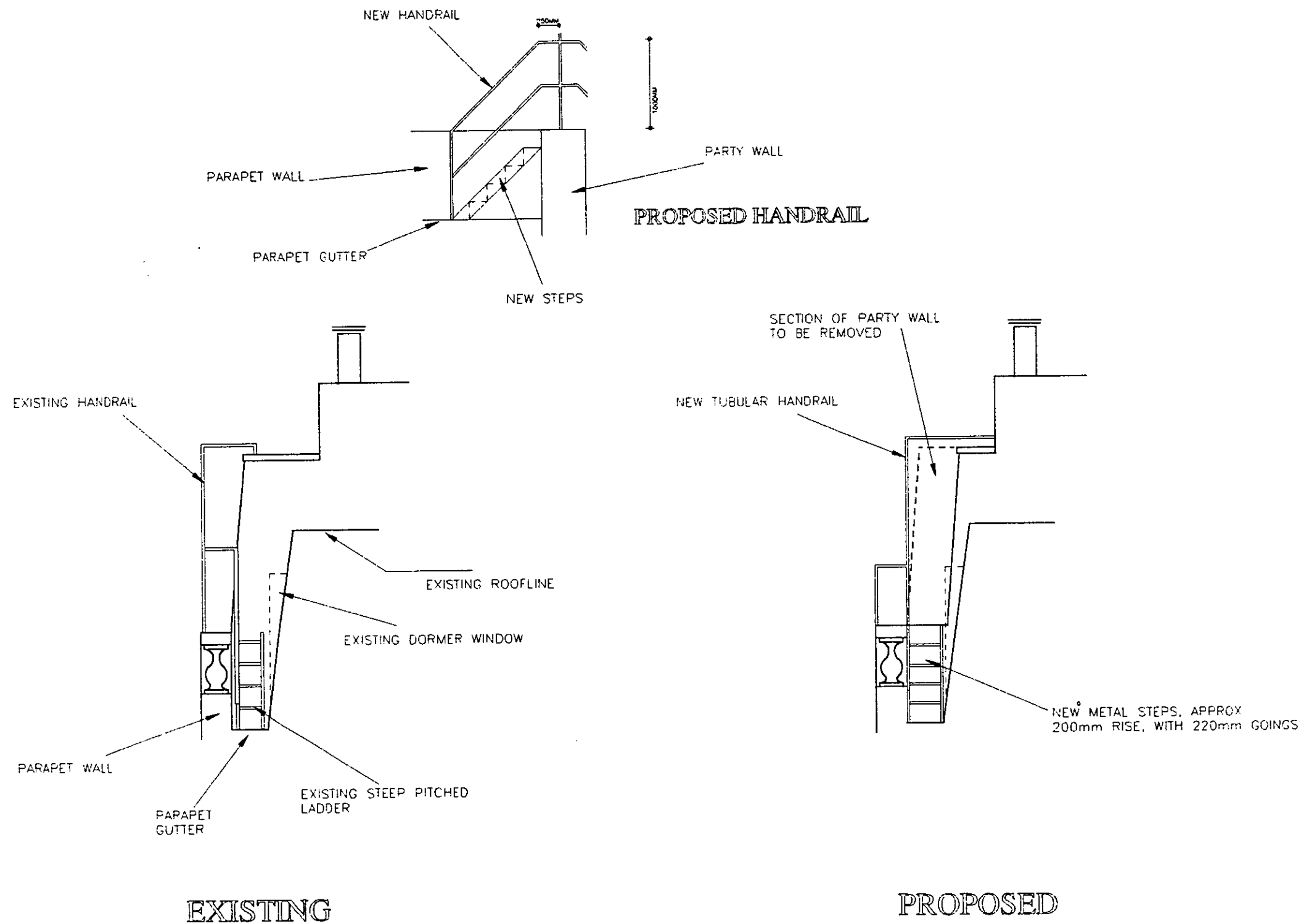
Dwg No 7200/P/02 **Rev** B

Date 22/1/1998 **Scale** 1:50

No. 21

No. 19

No. 17



PARTY WALL BETWEEN NOS. 13 AND 15
LOOKING FROM NO15 TOWARDS NO13

NOTES
Do not scale from the drawing, work to figured dimensions only. Refer any discrepancies to the Surveyor for further instructions.

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PLANNING

29 JAN 1998

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Project
17-19 Onslow Square
London SW7

Client
The Wellcome Trust Ltd.
(A Registered Charity)

Drawing
Alterations to means of
escape route

Drawn By RJG

Drg No 7200/ME/04 Rev

Date 6/11/1997 **Scale** 1:50