

Number **T/P:** 93/1963

Date Opened: 2 Dec '93



TOWN PLANNING DEVELOPMENT CONTROL

Property: 21 Roland Gardens, SW7.

**The Royal Borough of
Kensington & Chelsea**



RDENS

7.8m

LB

BM 7.82m

EAGLE PLACE

ROLAND WAY

ROLAND GARDENS

CRANLEY MEADS

GARDENS

EVELYN GARDENS

Roland House

Hotel 52

St Theresa's Convent

PLANNING SERVICES APPLICATION CONSULTATION SHEET

*Received & dealt
with 2.12.93
HWS*

APPLICANT:

Application No:

Application dated

SITE:

NATURE OF PROPOSAL:

*hatch
✓
cm
2/12*

*MS
enlargement*

Application complete
Date to be decided by
Date Acknowledged

MRS	Address to be consulted	Letter sent	Reply received	Observations		Decision letter sent
				For	Against	
1	19 } FLATS 1.1a - 2-4					
2	21 } " 1-9, A+B					
3	23 } Roland Gardens, = 6smr (F) + (R), G, RD, 1st, 2nd, 3rd F (F) + (R).					
4	20 } FLATS - 1-7 SWS 7					
5	22 } " 1-8					
6	24 } " A-E					
7						
8	21, 22, 23 } Roland way SWS 7					
9	28, 30, 32 }					
10						

*(49)
✓
cm
3/12*

CHECK Section 65 certificate/Environmental Impact Statement

CONSULT STATUTORILY (GDO)

1. **HBMC**
 - (a) Circ. 8/87 (Para. 82) Listed Buildings
 - (b) Circ. 8/87 (Para. 28) Setting of Grade I or II
 - (c) Demolition in Conservation Area
2. Demolition Bodies - Circ. 8/87 (para 81)
3. Department of Transport
 - (a) Trunk Road - increased traffic
 - (b) Westway etc.
4. Neighbouring Local Authority
5. Strategic View Authorities
6. Department of Environment (Kensington Palace)
7. Civil Aviation Authority (over 300')
8. Development affecting Theatres (Theatre Trust)
9. National Rivers Authority
10. Thames Water
11. Crossrail Project Team
12. LRT - Chelsea/Hackney Line

ADVERTISE

- Effect on CA*
 - Setting of Listed Building*
 - Works to Listed Building*
 - Demolition in CA*
 - Departure from DP†
 - "Major" Development†
 - Environmental Assessment†
- Note:** *Site Notice is required
†Site Notice or Neighbour Notification required (GDO)
A Site Notice will normally be produced if advert requested
- If no Site Notice required

OTHER SITE NOTICES

If Site Notice required for case not in above categories

OTHER CONSULTATION

- 1. Police
- 2. L.P.A.C.
- 3. British Waterways Board
- 4. Environmental Health

*✓
cm
2/12*

Treat as withdrawn,

No further response from
applicant.

June 94

Jones.

PHOTOGRAPHS - PLEASE DO NOT BEND

Ms A Salmon
Planning Department
Royal Borough of Kensington and Chelsea
The Town Hall
Hornton Street
London W8 7nX



VCM-postcard
2/MS

✓
1/12

PETER TIGG PARTNERSHIP

ARCHITECTS

DESIGNERS

WALMER COURTYARD
225 WALMER ROAD
HOLLAND PARK
LONDON W11 4EY
FAX: 071 229 8771

Our ref: PT/KMS

7 February 1994

TEL: 071 221 5568

Ms A Salmon
Planning Department
Royal Borough of Kensington & Chelsea
Town Hall
Hornton Street
London W8 7NX

Holera
Pl. See close up
photo re rear.

Dear Ms Salmon

Re: 21 ROLAND GARDENS SW7

I now attach photographs of the front and rear dormer windows which were taken at my last site inspection. The front elevation is rather difficult to photograph because of the scaffolding and the back photograph can only be taken from off the scaffolding as it is impossible to get any view at all from the rear garden.

I hope this provides you with all the information you require.

Yours sincerely

PETER TIGG

Encs

36.



FRONT ELEVATION OF PROPERTY.
STICKS TO BE DEMOLISHED ARE
ON GABLE WALL.

PHOTOGRAPH No 4.

21 RAYMOND COWS.

new-postcard
2/Ans is discuss with
design

✓ 10/101

PETER TIGG PARTNERSHIP

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225 WALMER ROAD
HOLLAND PARK
LONDON W11 4EY
FAX: 071 229 8771
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Our ref: PT/KMS

7 January 1994

Ms A Salmon
Planning Department
Royal Borough of Kensington and Chelsea
Town Hall
Hornton Street
London
W8 7NX

53

Dear Ms Salmon

Re: 21 ROLAND GARDENS SW7

Visited site
19/1/94
The chimneys are rebuilt
Dormers ~~states~~ had clad at front

Following our telephone conversation yesterday, I am afraid I did not manage to speak to Mrs Benesh, but I would confirm that we have already submitted to you photographs that we do have and that the windows recently replaced had been replaced to match the original windows which were metal and painted white and ~~in~~ exactly the same dormer configuration that you have seen on site. There has been no new dormer construction nor has the window configuration changed in any way. As far as I am aware, there is no planning requirement to make application where such maintenance works are carried out and the only works which do require planning permission have already been submitted to you for approval. My client has no intention to change the shape of the dormers nor to vary the window designs and since this is the case, I would not have thought there is any point in our meeting next Thursday, as was suggested by you.

Cancelled

I trust this answers all of your queries.

Yours sincerely

Chased
8/2
- may be needed 9/2
PETER TIGG

Phoned 12/1/94
to send photos of
dormers as well as original
chased 21/1/94. He to send photos
w/c 17/1/94.

Chimneys are rebuilt
roof slated in
bit slate +
valves installed.
- but to
check on site re
the chimneys
✓ YES - REBUILT

Previous were
white painted
metal
- He to send photos
w/c 17/1/94.
- windows are painted
coated aluminium



to already has mix of
 dormers on many of properties
District Plan Observations
CONSERVATION AND DESIGN

Address	21, Coland Fdno	Appl. No.	93/1963/ALS	L.B.	-	C.A.	13A	N	C	S
Description	Enlargement of all rooflights UPVC dormers + metal roof access hatch		Code	M	LA					

previously
 the existing multitude of
 dormers, rooflight and access
 hatch dormer was already very
 unsightly - totally unacceptable
 on a conservation area roof.
 The enlargement of all the
 veluxes is therefore controversial.
 However the replacement of all
 the dormer timber window
 frames with UPVC as seen on
 site is unacceptable and is the
 most objectionable aspect of the
 recent HDG works. They need
 a permission for this and should
 not get it. We should

Chambers
 apparently
 has
 roof rebuilt
 stated.
 Tigg says
 windows were
 already metal
 - not UPVC
 but powder coated
 aluminium
 photo

Top copy to case file; second retained by Design Officer; third to Survey and Analysis team.

13/1
 2:30
 - be to
 small to
 Helena may
 be cancelled
 18 cancelled

negotiate. Please
 let me see our notes from the
 CDE file ✓ discuss. We need elevations
 + photos.

30/12/93

- Now req
 photos of
 windows as
 altered
 Simply
 replacement of
 existing with
 down. with
 powder coated
 metal finish

N.B. Do we understand
 that the front access
 dormer is not
 redundant and
 can we have it.
 removed? It is
 most unsightly.
 - not new dormer

Helena

21 Round Domes

They have used
Correct bonds

This is almost identical to
C/A app except retains.

2 Chimneys - already rebuilt

Still no detail of materials
reminders - powder coated aluminium

I understand you have
agreed Britslate Proof yes

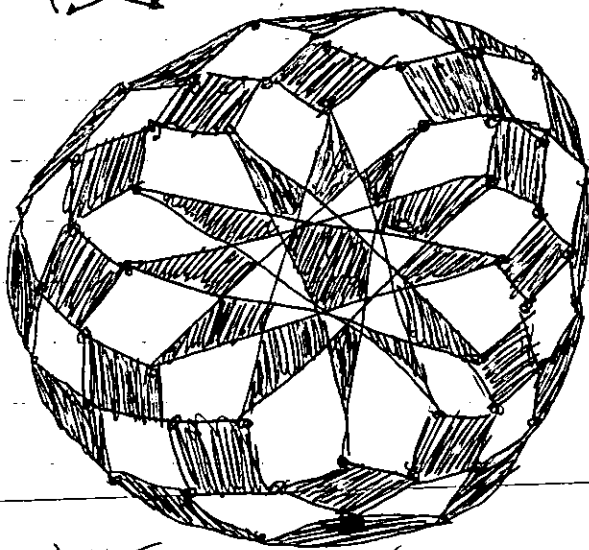
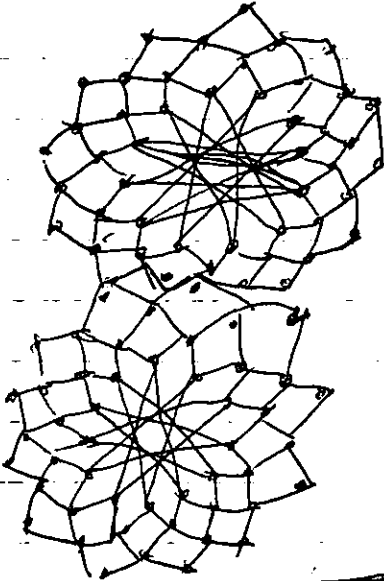
- roofing done - by Dec '93

- re UPVC installed. - no - see above.

Still no water spec

- recat letter says ^{ing} metal to be painted white
Mr Tigg advised currently powder aluminium.

I don't think here much
more you can say



Windows are not

UPVC but

powder coated aluminium - still no photos

previous were painted
metal - photo attached only of front
ones

→ to compare photos

as new with these

as previously - only
available photo on file

- requested photos - Helena has
taken photos
- on file

12/1/94

expected w/c 17/1/94

Chased ~~for~~ 12/1/94
as req for C/A

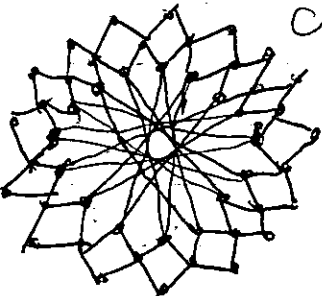
Su 19/1/94

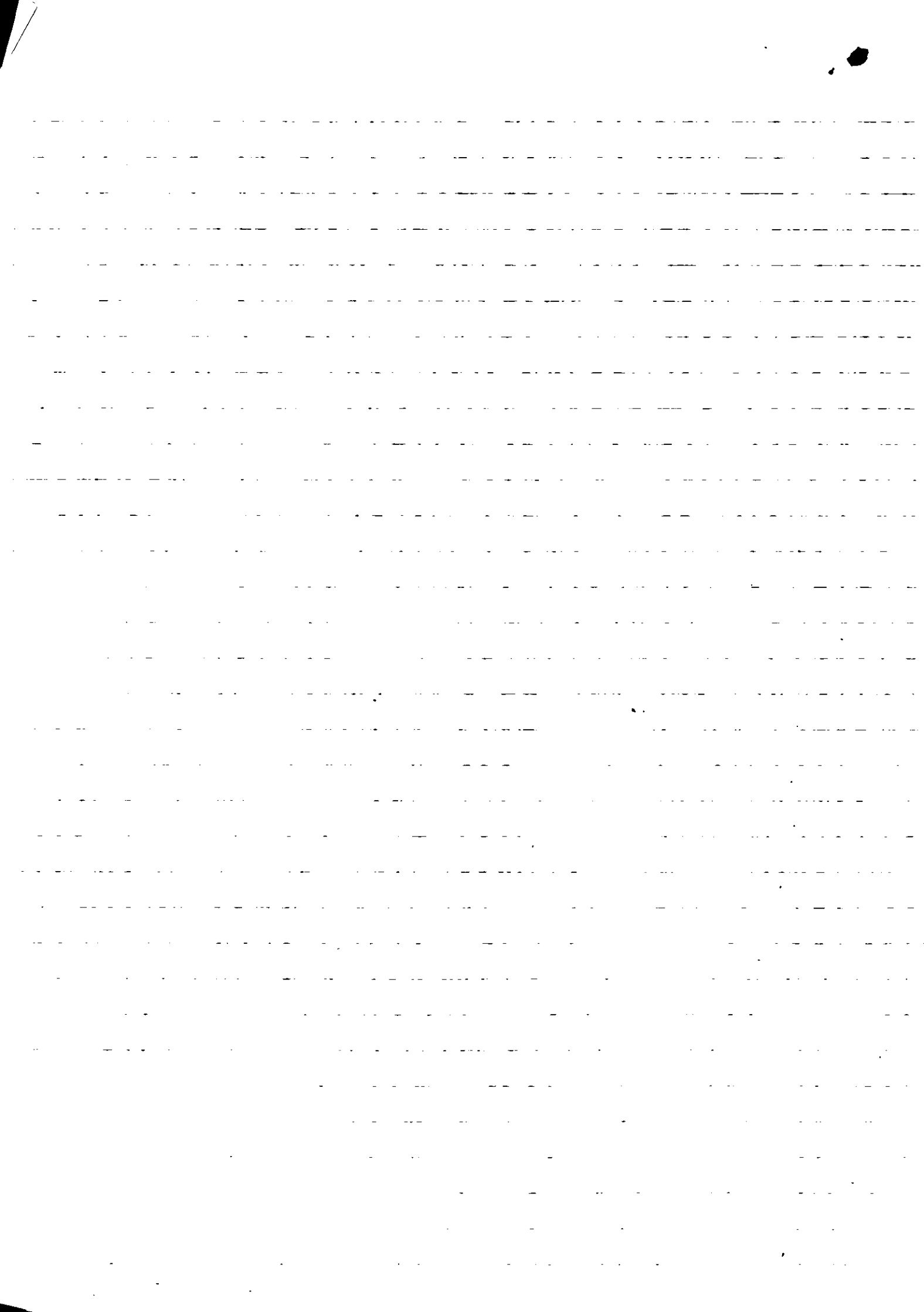
chimneys rebuilt
dome clad in lead.
still door in front dome.

14/1/94
Still scaffolding
up so can't see
much of domes:

Because
chimneys rebuilt,
objections are
largely resolved.

- but still has
to go to
C/A +
can't get
photos.





PLANNING AND CONSERVATION

THE TOWN HALL • HORNTON STREET • LONDON W8 7NX

Executive Director Miss C M DENT BSc M Phil FRICS FRTPI

Director of Planning Services M J FRENCH FRICS Dip TP MRTPI Cert TS



COUNCIL NOTIFICATION OF DEVELOPMENT
THE OCCUPIER
FILE COPY

Telephone: 071-937 5464

Extension: 2079/2080

Facsimile: 071-376 1130

Date: 06/12/93

My reference:

Your reference:

Please ask for: Town Planning Information Office

DPS/DCC/ALS/TP/93/1963

THIS LETTER INVITES YOU TO COMMENT ON A PLANNING APPLICATION / LISTED BUILDING APPLICATION WHICH MAY AFFECT YOUR PROPERTY

Dear Sir/Madam,

The Council has received a planning application for development at a property which is close to yours. The address of that property is set out below, together with brief details of the development for which permission is sought. The Council's Planning Applications Committee, in considering the proposal, will welcome comments, for or against the scheme from those who live in or own property nearby. I should therefore be pleased to know, in writing, if you as the occupier/owner of neighbouring property have any comments.

Address of application property

21 ROLAND GARDENS,
S.W.7

Proposal for which permission is sought

Replacement of existing rooflights, provision of roof access hatch and replace covering on existing dormer windows.

NOTE: YOU ARE NOW ASKED TO RESPOND WITHIN 21 DAYS , NOT 14 DAYS AS STATED OVERLEAF.

Further details are printed overleaf.

Yours Sincerely,

M.J. FRENCH

Director of Planning Services

TOWN AND COUNTRY PLANNING ACTS, 1990

The Council is required by the Secretary of State for the Environment to consider all planning applications expeditiously. Any letter of support or objection should be received as soon as possible within 14 days of the date of this letter, although later objections, if received in time, will be reported to the Council Committee meeting which decides the application. An early response gives the Council's Officers the opportunity to encourage applicants to amend their plans in the light of objections received, and the application may therefore be amended before it is decided. If you cannot formulate your detailed objections within 14 days you should acknowledge this letter so that your interest can be noted.

The reasons for any objection should be clearly stated.

Objections relating to party walls and inconveniences which may be caused by building operations should however be taken up, either by yourself or your professional representative, with the applicant.

All correspondence received will be available to members of the determining Committee when the application is considered.

It must be clearly understood that any comments you may choose to make will be made available to the applicant, his agent and any other interested party, pursuant to the requirements of the Local Government (Access to Information) Act, 1985.

Should there be any tenants in the buildings of other persons likely to be affected by this application, would you please be good enough to bring this letter to their attention.

If you are not the owner of the property to which this notice is addressed will you kindly forward this letter to the owner.

WHERE TO EXAMINE THE PLANS

The plans and/or application details referring to this proposal may be inspected at the Planning Information Office on the 3rd floor at the Town Hall, Hornton Street, W8 7NX, between the hours of 9.15 a.m. and 4.45 p.m., Mondays to Thursdays and 9.15am to 4.30pm Fridays.

Alternatively, copies of all planning applications relating to:

- (a) the Chelsea area can be examined at the Information Office, Chelsea Old Town Hall, King's Road, SW3. Tel. 071-352 1856.
- (b) the postal areas W10, W11, or W2 can be examined at the Borough Council's Advisory Service Office, The Information and Aid Centre, Ladbroke Grove, W10 (under Westway, opposite Ladbroke Grove tube station.) Tel. 071-969 2433

Please telephone the Chelsea and Westway offices to check opening times.

Please quote the T.P. reference number on all written replies.

Please note: In the interest of economy, letters in agreement or without objections to the proposals will not be acknowledged.

MEMORANDUM

From: DIRECTOR OF PLANNING
SERVICES

To: FOR FILE USE ONLY

My Ref: TP/93/1963/ALS
Room No. 322

Your Ref:
Room No.

P.A.X.No. 2085

Date: 02/12/93

DEVELOPMENT

21 ROLAND GARDENS, S.W.7

Replacement of existing rooflights, provision of roof access hatch and replace covering on existing dormer windows.

Would you please advertise the above development under:-

1. Section 28 (i) (a) of the Town and Country Planning Act, 1971 (development affecting the character or appearance of a Conservation Area or adjoining Conservation Area).

M.J. FRENCH
DIRECTOR OF PLANNING SERVICES

TP



~~TP 93/903~~

✓ TP

MB



The Royal Borough of Kensington and Chelsea
Development Control
Technical Information

Address: 21 Roland Gdns SW7

Comp Index Data:

Conserv. Area	HB	CPO	TPO	Specif. Ind. Area	CSF	LSC No.	PSC	Unsuit. Dip. Use	Area: Local Interest	Area: Local Character	Met. Open Land	ART IV
13A ✓	—	—	—	—	—	—	—	—	—	—	—	—

Res 15

- 1 DEC 1993

Density
Site Area
Habitable rooms proposed
Proposed density

Plot Ratio	
Site Area	
Zoned Ratio	2:1
Floor area proposed	
Proposed Plot Ratio	

Daylighting

Complies / Infringes

Car Parking:

Spaces required:

Spaces provided:

NUMBER/NAME OF PROPERTY

ADDRESS

TP. ARCHIVE NO.

21

ROLAND GARDENS

HIST

APPLICATION NUMBER	DATE OF APPLICATION/ RECEIPT	BRIEF DESCRIPTION OF PROPOSAL	DECISION AND DATE	CONTROL OF ADVERTS & HISTORY NO.
93/10650	14.4.93 Completed 16.4.93 Rev. rec'd 10.5.93	Conversion of the basement from one s/c two bedroom flat into two s/c one bedroom flat.	CON 25.6.93	
93/1713				
93/1463				

CROSS REFERENCE

OFFICES



C4/403

PLANNING SERVICES APPLICATION DRAFT REPORT

To Planning Applications Committee

To Planning and Conservation Committee

APPLICANT:

Application No:

Agenda Item

Application dated

Revised date

SITE:

NATURE OF PROPOSAL:

Application complete
Date to be decided by
Date Acknowledged

**ON BEHALF OF
INTEREST**

DISTRICT PLAN PROPOSALS MAP	CONS AREA	CAPS	ARTICLE 4 DIRECTION	LISTED BUILDING	HBMC DIRECTION	A/O CONSULTED	OBJECTORS (TO DATE)

RECOMMENDED DECISION:-

at
as shown on submitted drawing(s) no(s)
applicants drawing(s) no(s).

CONDITIONS/REASONS/ INFORMATIVES

THE ROYAL BOROUGH OF KENSINGTON AND CHELSEA



MISS C. M. DENT, BSc, M Phil, FRICS, FRTPI
Executive Director of Planning and Conservation

M. J. FRENCH, ARICS, Dip. T. P.
Director of Planning Services

Department 705,
The Town Hall,
Hornton Street,
London,
W8 7NX

Telephone: 071-937 5464
Extension: 2010

Facsimile: 071-938 1445

TP231...

My reference: TP/

Your reference:

Please ask for:

Dear Sir (Madam),

**Town and Country Planning Act. 1971 – Town and Country Planning
General Development Order 1988 and (Application) Regulations 1988**

**Town and Country Planning (Fees for Applications and Deemed Applications) Regulations 1981 and
(Amendment) Regulations 1987 et seq**

I refer to your Town Planning Application dated _____ for _____

In support of your application could you please supply me with the following information:-

Photograph(s) of _____

Copies of _____

In the meantime your application will be registered; however, you are requested to note that the processing of the application will be delayed unless the requested information is received within 14 days of the date of this letter.

Yours faithfully,

Director of Planning Services

PLEASE RETURN TEAR OFF SLIP BELOW WITH INFORMATION REQUIRED

REF: TP/ /APP/PEND _____

ATT/PM

Address: _____

To be completed by applicant: Please find enclosed the following:-

Signed _____

Date _____

TOWN & COUNTRY PLANNING ACT 1971

FORM TP1

APPLICATION FOR PERMISSION TO DEVELOP LAND AND/OR BUILDINGS IN GREATER LONDON

FOR OFFICE USE ONLY ~~AND CONSERVATION AREA~~ Borough Ref. _____
 Fee £ 60-00 CONSENT Registered No. _____
 Cheque/Postal Order/Cash 700252 250 Date Received 10/11/93
 Receipt No. Issued 1010034 PLANNING

PLEASE READ THE GENERAL NOTES BEFORE FILLING IN THE FORM

PART ONE	To be completed by or on behalf of all applicants as far as applicable.	(2)
	FEE (where applicable)	£

1. APPLICANT (in block capitals) **COMPLETE**
 Name MRS N DE FRETTONOV 1993 AGENT (if any) to whom correspondence should be sent
 Name PETER TIGG PARTNERSHIP
 Address 33 CLAREVILLE GROVE Address 225 WALMER ROAD
LONDON SW7 5AU LONDON W.11. 4PY
 Tel. No. _____ Tel. No. 091-221-5568 Ref. _____

2. PARTICULARS OF PROPOSAL FOR WHICH PERMISSION IS SOUGHT

(a) Full address or location of the land to which this application relates 21 ROLAND GARDENS SW7 IP931963

(b) Site area N/A. hectares

(c) Give details of proposal indicating the purpose for which land/buildings are to be used and including any change(s) of use.
DOMESTIC
REMOVAL OF DERELICT SKYLIGHTS AND REPLACEMENT WITH NEW MAINTENANCE FREE SKYLIGHTS.
PROVISION OF FLAT ROOF ACCESS HATCH TO ALLOW MAINTENANCE OF ROOF

(d) State whether applicant owns or controls any adjoining land and if so, give its location.
REMOVAL OF ZINC COVERING TO DORMERS AND REPLACEMENT WITH LEAD
NONE

(e) State whether the proposal involves:—

	State Yes or No		
(i) New building(s) or extension(s) to existing building(s)	<input checked="" type="checkbox"/> NO	If "Yes" state gross floor area of proposed building(s). If residential development state number of dwelling units proposed and type if known, e.g. houses, bungalows, flats.	<input type="text"/> m ²
(ii) Alterations	<input checked="" type="checkbox"/>		<input type="text"/>
(iii) Change of use	<input checked="" type="checkbox"/> NO		<input type="text"/>
(iv) Construction of a new access to a highway	vehicular... <input checked="" type="checkbox"/> NO pedestrian <input checked="" type="checkbox"/> NO	If "Yes" state gross area of land or building(s) affected by proposed change of use (if more than one use involved state gross area of each use).	<input type="text"/> hectares/m ²
(v) Alteration of an existing access to a highway	vehicular... <input checked="" type="checkbox"/> NO pedestrian <input checked="" type="checkbox"/> NO		

30 NOV 1993

* Strike out whichever is inapplicable

3. PARTICULARS OF APPLICATION

State whether this application is for

State Yes or No

- (i) Outline planning permission
- (ii) Full planning permission YES
- (iii) Renewal of a temporary permission or permission for retention of building or continuance of use without complying with a condition subject to which planning permission has been granted.
- (iv) Consideration under Section 72 only (Industry)

If Yes strike out any of the following which are not to be determined at this stage.

- 1 siting
- 2 design
- 3 landscaping
- 4 external appearance
- 5 means of access

If Yes state the date and number of previous permission and identify the particular condition

Date Number
The condition

4. PARTICULARS OF PRESENT AND PREVIOUS USE OF BUILDINGS OR LAND

State:-

- (i) Present use of building(s)/land *DOMESTIC*
- (ii) If vacant the last previous use and period of use with relevant dates.

5. LIST ALL DRAWINGS, CERTIFICATES, DOCUMENTS ETC; forming part of this application

*6 COPIES DRWG NOS. RG/05 + 2BA.
PHOTOGRAPHS OF EXISTING BUILDING ALREADY SUBMITTED*

6. ADDITIONAL INFORMATION

State Yes or No

ON 7th OCTOBER 93.

- (a) Is the application for non-residential development NO. If Yes complete **PART THREE** of this form (See **PART THREE** for exemptions)
- (b) Does the application include the winning and working of minerals NO. If Yes complete **PART FOUR** of this form
- (c) Does the proposed development involve the felling of any trees NO. If Yes state numbers and indicate precise position on plan
- (d) (i) How will surface water be disposed of?
(ii) How will foul sewage be dealt with? } *AS EXISTING*
- (e) Materials - Give details (unless the application is for outline permission) of the colour and type of materials to be used for:
 - (i) Walls *ACCESS HATCH - LEAD COVERED.*
 - (ii) Roof *DORMERS - LEAD COVERED*
 - (iii) Means of enclosure *SKYLIGHTS - GREY/BLACK STANDARD VENIX COLOUR*

I/We hereby apply for (strike out whichever is inapplicable)

- OR
- (a) planning permission to carry out the development described in this application and the accompanying plans in accordance therewith.
 - (b) planning permission to retain the building(s) or work(s) already constructed or carried out, or a use of land already instituted as described on this application and accompanying plans.

Signed *Mrs E. Jags* on behalf of *MRS N. DE FREITAS* Date *24/11/93*

AN APPROPRIATE CERTIFICATE MUST ACCOMPANY THIS APPLICATION (See General Notes)

If you are the ONLY owner of ALL the land at the beginning of the period 20 days before the date of the application, complete Certificate A. If otherwise see **PART TWO** of this form

CERTIFICATE A

Certificate under Section 27 of the Town and Country Planning Act 1971.

I hereby certify that:-

(a) "owner" means a person having a freehold interest or a leasehold interest the unexpired term of which was not less than 7 years.

- 1. No person other than the applicant was an owner (a) of any part of the land to which the application relates at the beginning of the period of 20 days before the date of the accompanying application.
- 2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or
- 3. ~~The applicant has given the requisite notice to every person other than himself who, 20 days before the date of the application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:-~~

Name and Address of Tenant
Date of Service of Notice

*strike out whichever is inapplicable

Signed *Mrs E. Jags* on behalf of *MRS N. DE FREITAS* Date *24/11/93*









26 1994

only found 16



refy fmpm 16

QUALITY CONTROL

- Obstruction appearing on the print
- *Finger/object partially covering the lens
- *Faulty wind on - pictures overlapping
- *Double exposure - film placed in camera
twice

ADVICE LABEL

LIFT & PEEL
HERE





St. Anthony's Hospital

TOWN & COUNTRY PLANNING ACT 1971

FORM TP1

APPLICATION FOR PERMISSION TO DEVELOP LAND AND/OR BUILDINGS IN GREATER LONDON

FOR OFFICE USE ONLY ~~AND CONSERVATION AREA~~ Borough Ref. _____
 Fee £ 60-00 ~~CONSENT~~ Registered No. _____
 Cheque/Postal Order/Cash 700252 25 RECEIVED Date Received _____
 Receipt No. Issued 1010034 TOWN PLANNING SERVICES

PLEASE READ THE GENERAL NOTES BEFORE FILING IN THE FORM

PART ONE To be completed by or on behalf of all applicants as far as applicable
FEE (where applicable) COMPLETE 2

1. APPLICANT (in block capitals) **AGENT** (if any) to whom correspondence should be sent

Name MRS N DE FRETTONOV Name PETER TEG PARTNERSHIP
 Address 33 CLAREVILLE GROVE Address 275 WALMER ROAD
LONDON SW7 5AU LONDON W11 4EY
 Tel. No. _____ Tel. No. 071-221-5568 Ref. _____

2. PARTICULARS OF PROPOSAL FOR WHICH PERMISSION IS SOUGHT

(a) Full address or location of the land to which this application relates 21 ROLAND GARDENS SW7 TP931963

(b) Site area N/A hectares

(c) Give details of proposal indicating the purpose for which land/buildings are to be used and including any change(s) of use.

REMOVAL OF Replacement of existing
AND REPLACE roof lights, provision of
MAINTENANCE roof access hatch +
PROVISION OF replace covering on existing
TO ALLOW MA corner windows.

(d) State whether applicant owns or controls any adjoining land and if so, give its location.

REMOVAL OF
AND REPL
NONE

(e) State whether the proposal involves:-

(i) New building(s) or extension(s) to existing building(s)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	If "Yes" state gross floor area of proposed building(s).	<input type="text"/>
(ii) Alterations	<input checked="" type="checkbox"/>	If residential development state number of dwelling units proposed and type if known, e.g. houses, bungalows, flats.	<input type="text"/>
(iii) Change of use	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	If "Yes" state gross area of land or building(s) affected by proposed change of use (if more than one use involved state gross area of each use).	<input type="text"/>
(iv) Construction of a new access to a highway	vehicular... <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO pedestrian <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="text"/>
(v) Alteration of an existing access to a highway	vehicular... <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO pedestrian <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		<input type="text"/>

D/26

3. PARTICULARS OF APPLICATION

State whether this application is for

- (i) Outline planning permission
- (ii) Full planning permission
- (iii) Renewal of a temporary permission or permission for retention of building or continuance of use without complying with a condition subject to which planning permission has been granted.
- (iv) Consideration under Section 72 only (Industry)

State Yes or No

If Yes strike out any of the following which are not to be determined at this stage.

- | | |
|---------------|-----------------------|
| 1 siting | 4 external appearance |
| 2 design | 5 means of access |
| 3 landscaping | |

If Yes state the date and number of previous permission and identify the particular condition

Date Number

The condition

4. PARTICULARS OF PRESENT AND PREVIOUS USE OF BUILDINGS OR LAND

State: -

- (i) Present use of building(s)/land
- (ii) If vacant the last previous use and period of use with relevant dates.

DOMESTIC

5. LIST ALL DRAWINGS, CERTIFICATES, DOCUMENTS ETC; forming part of this application

*6 COPIES DRAWG NOS. RG/05 + 2BA
PHOTOGRAPHS OF EXISTING BUILDING ALREADY SUBMITTED*

6. ADDITIONAL INFORMATION

State Yes or No

ON 7th OCTOBER 93

- (a) Is the application for non-residential development If Yes complete **PART THREE** of this form (See **PART THREE** for exemptions)
- (b) Does the application include the winning and working of minerals If Yes complete **PART FOUR** of this form
- (c) Does the proposed development involve the felling of any trees If Yes state numbers and indicate precise position on plan

- (d) (i) How will surface water be disposed of? *} AS EXISTING*
- (ii) How will foul sewage be dealt with? *} AS EXISTING*

(e) Materials - Give details (unless the application is for outline permission) of the colour and type of materials to be used for:

- (i) Walls *ACCESS HATCH - LOAD COVERED*
- (ii) Roof *DORMER - LOAD COVERED*
- (iii) Means of enclosure *SKYLIGHT - GREY/BLACK STANDARD VENNA COLOUR*

I/We hereby apply for (strike out whichever is inapplicable)

- OR
- (a) planning permission to carry out the development described in this application and the accompanying plans in accordance therewith.
 - (b) planning permission to retain the building(s) or work(s) already constructed or carried out, or a use of land already instituted as described on this application and accompanying plans.

Signed *Mrs N. De Pretus* on behalf of *MRS N. DE PRETUS* Date *24/11/93*

AN APPROPRIATE CERTIFICATE MUST ACCOMPANY THIS APPLICATION (See General Notes)

If you are the ONLY owner of ALL the land at the beginning of the period 20 days before the date of the application, complete Certificate A. If otherwise see **PART TWO** of this form

CERTIFICATE A

Certificate under Section 27 of the Town and Country Planning Act 1971.
I hereby certify that:-

(a) "owner" means a person having a freehold interest or a leasehold interest the unexpired term of which was not less than 7 years.

1. No person other than the applicant was an owner (a) of any part of the land to which the application relates at the beginning of the period of 20 days before the date of the accompanying application.
2. None of the land to which the application relates constitutes or forms part of an agricultural holding; or **I have*
3. ~~The applicant has given the requisite notice to every person other than himself who, 20 days before the date of the application, was a tenant of any agricultural holding any part of which was comprised in the land to which the application relates, viz:-~~

Name and Address of Tenant

* strike out whichever is inapplicable

Date of Service of Notice

Signed *Mrs N. De Pretus* on behalf of *MRS N. DE PRETUS* Date *24/11/93*

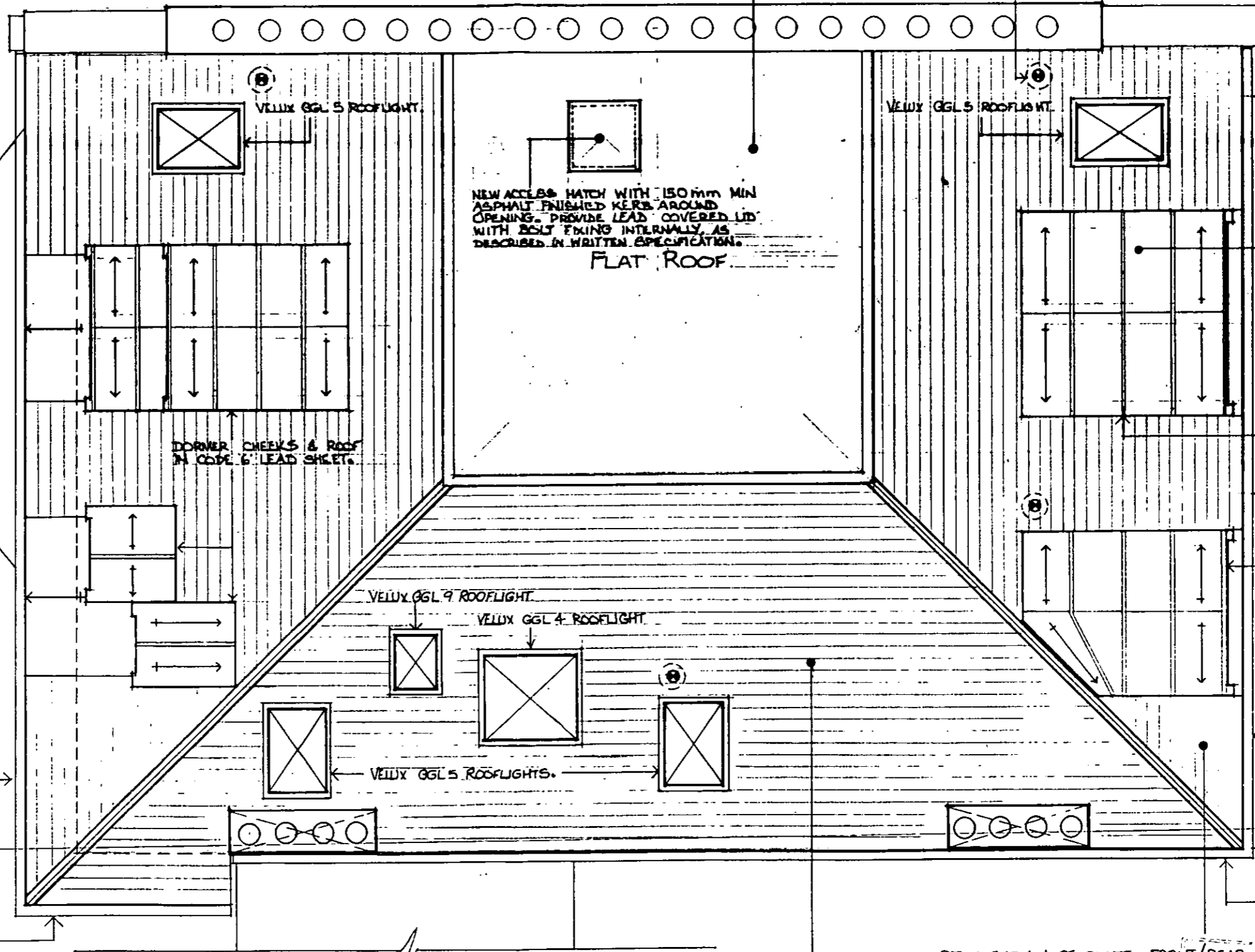
VELUX ROOF LIGHTS.
 ALL VELUX ROOF LIGHTS ARE TO BE SUPPLIED WITH STANDARD FLASHING, SOAKER AND APRONS BY VELUX TO SUIT FIXING TO PITCHED SLATE ROOF.
 ALLOW FOR ALTERATIONS TO ROOF STRUCTURE TO SUIT NEW ROOFLIGHT SIZES AS DESCRIBED IN WRITTEN SPEC. BUT GENERALLY ALLOWING FOR A NEW DOUBLE TRIMMER AT HEAD, CILL AND REVEALS ON NEW STRUCTURAL OPENING.
 ALL VELUX WINDOWS ARE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

FOR DETAILS OF LEAD CLADDING TO DORMER CONSTRUCTIONS REFER TO WRITTEN SPECIFICATION. GENERALLY ALL LEAD WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH "LEAD SHEET IN BUILDING - A GUIDE TO GOOD PRACTICE" BY THE LEAD DEVELOPMENT ASSOCIATION.

STRIP OFF AND RE ASPHALT FLAT ROOF AREA INCLUDING ALL UPSTANDS AND FLASHINGS AS DESCRIBED IN WRITTEN SPECIFICATION. LAY TO FALLS TO DRAIN AS EXISTING.

EXTRACTS FROM BATHROOMS/KITCHENS TO BE WEATHERED WITH A LEAD SLATE TYPE DETAIL AND FITTED WITH A SUITABLE COWL.

ROLAND GARDENS.



EXISTING DORMERS TO BE CLAD IN CODE 6 LEAD SHEET WITH SOLID CORE WOOD ROLLS AT 600mm MAX CRB.

DORMER CHEEKS IN CODE 6 LEAD SHEET WITH WELDED JOINTS AT 600mm CRB.

DORMER CHEEKS AND ROOF IN CODE 6 LEAD SHEET.

PROVIDE NEW 100mm Ø 1/2 ROUND P.V.C. GUTTERS TO REAR AND SIDE ELEVATION.

STRIP BACK & RE-SLATE FRONT/REAR AND RANK PITCHED ROOF AREAS. ALLOWING FOR ALL LEAD FLASHINGS AND SOAKERS, RIDGE FLASHINGS AND HIP TILES ALL AS DESCRIBED IN WRITTEN SPECIFICATION.

REVISION A. 26th AUGUST 1993.
 SIZE OF VELUX ROOFLIGHT TO STAIRCASE INCREASED.

TP931963

PETER TIGG PARTNERSHIP
 ARCHITECTS-DESIGNERS
 WALMER COURTYARD
 225 WALMER ROAD
 HOLLAND PARK
 LONDON W11 4EY
 TEL: 071 221 5568

Site 21 ROLAND GARDENS.
 LONDON SW 7.
 Title ROOF PLAN AS PROPOSED.

Dwg no. RG/28A.
 Date JUNE. 93.
 Scale 1:50.

do not scale this drawing: all dimensions to be checked on site

On 25 NOV 1993

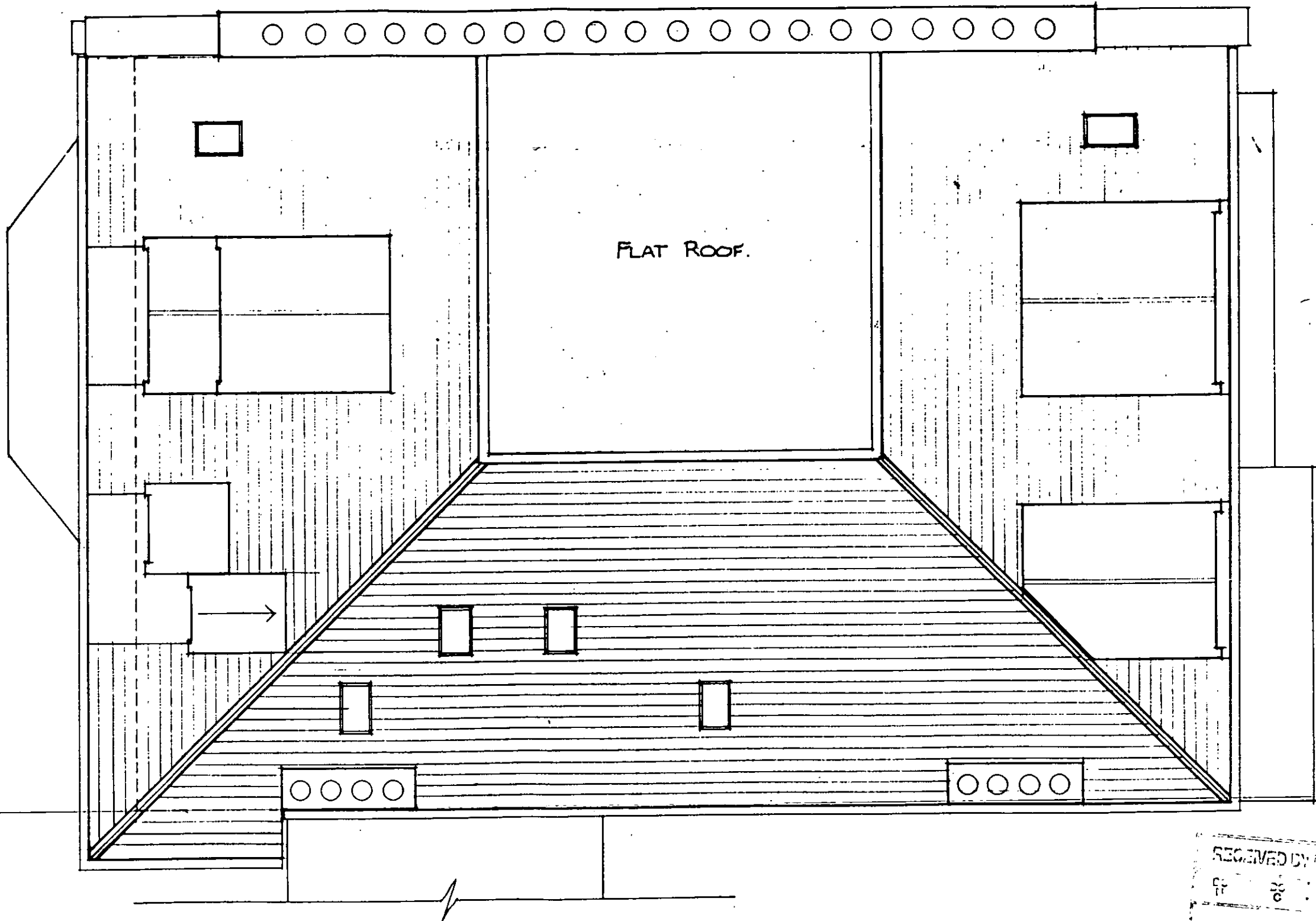
EXEC DIR

ARCHITECT

PLANNING SERVICES

AD 101

ROLAND GARDENS.



TP931963

RECEIVED BY PLANNING SERVICE
25 NOV 1993
OFFICIALS OFFICER 10 FEES OFFICER FORWARD PLAN

PETER TIGG PARTNERSHIP ARCHITECTS-DESIGNERS
WALMER COURTYARD 225 WALMER ROAD HOLLAND PARK LONDON W11 4EY
TEL: 071 221 5568

Site 21 ROLAND GARDENS. LONDON SW 7.
Title SURVEY LAYOUTS.
ROOF PLAN AS EXISTING.

Drp no. RG/05
Date MARCH 93.
Scale 1:50.

do not scale this drawing : all dimensions to be checked on site

TOWN & COUNTRY PLANNING ACT 1971

FORM TP1

APPLICATION FOR PERMISSION TO DEVELOP LAND AND/OR BUILDINGS IN GREATER LONDON

FOR OFFICE USE ONLY ~~AND CONSERVATION AREA~~ Borough Ref. _____
 Fee £ 60-00 ~~CONSENT~~ Registered No. _____
 Cheque/Postal Order/Cash 700252 25/11/93 RECEIVED Date Received _____
 Receipt No. Issued 10/0034 ~~CONSENT~~ RECEIVED _____

PLEASE READ THE GENERAL NOTES BEFORE FILLING IN THE FORM

PART ONE To be completed by or on behalf of all applicants as far as applicable: 1993 (2)
FEE (where applicable) COMPLETE

1. APPLICANT (in block capitals) COMPLETE AGENT (if any) to whom correspondence should be sent
 Name MRS N DE FRETTONOV 1993 Name PETER TIGG PARTNERSHIP
 Address 33 CLAREVILLE GROVE Address 275 WALMER ROAD
LONDON SW7 5AU LONDON W11 4EY
 Tel. No. _____ Tel. No. 071-221-5568 Ref. _____

2. PARTICULARS OF PROPOSAL FOR WHICH PERMISSION IS SOUGHT

(a) Full address or location of the land to which this application relates 21 ROLAND GARDENS SW7 IP931963

(b) Site area N/A hectares

(c) Give details of proposal indicating the purpose for which land/buildings are to be used and including any change(s) of use.
REMOVAL OF Replacement of existing AND REPLACE roof lights, Provision of MAINTENANCE roof access hatch + PROVISION OF replace covering on existing To ALLOW MA corner windows. 3 HTS HATCH

(d) State whether applicant owns or controls any adjoining land and if so, give its location.
REMOVAL OF AND REPLI NONE DORMER END

(e) State whether the proposal involves:-

State Yes or No

(i) New building(s) or extension(s) to existing building(s) NO YES
 If "Yes" state gross floor area of proposed building(s). _____ m²
 If residential development state number of dwelling units proposed and type if known, e.g. houses, bungalows, flats. _____

(ii) Alterations YES NO

(iii) Change of use YES NO

(iv) Construction of a new access to a highway } vehicular... NO }
 } pedestrian... NO }
 If "Yes" state gross area of land or building(s) affected by proposed change of use (if more than one use involved state gross area of each use). _____ hectares/m²

(v) Alteration of an existing access to a highway } vehicular... NO }
 } pedestrian... NO }

D/26

3. PARTICULARS OF APPLICATION

- State whether this application is for
- (i) Outline planning permission State Yes or No
- (ii) Full planning permission YES
- (iii) Renewal of a temporary permission or permission for retention of building or continuance of use without complying with a condition subject to which planning permission has been granted.
- (iv) Consideration under Section 72 only (Industry)

If Yes strike out any of the following which are not to be determined at this stage.

1 siting	4 external appearance
2 design	5 means of access
3 landscaping	

If Yes state the date and number of previous permission and identify the particular condition

Date Number

The condition

4. PARTICULARS OF PRESENT AND PREVIOUS USE OF BUILDINGS OR LAND

- State:-
- (i) Present use of building(s)/land **DOMESTIC**
- (ii) If vacant the last previous use and period of use with relevant dates.

5. LIST ALL DRAWINGS, CERTIFICATES, DOCUMENTS ETC; forming part of this application

6 COPIES DRWG NOS. RG/05 + 2BA
PHOTOGRAPHS OF EXISTING BUILDING ALREADY SUBMITTED

6. ADDITIONAL INFORMATION

- State Yes or No
- (a) Is the application for non-residential development NO If Yes complete **PART THREE** of this form (See **PART THREE** for exemptions)
- (b) Does the application include the winning and working of minerals NO If Yes complete **PART FOUR** of this form
- (c) Does the proposed development involve the felling of any trees NO If Yes state numbers and indicate precise position on plan
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 (ii) How will foul sewage be dealt with? } **AS EXISTING**
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- (ii) Roof **DORMERS - LEAD COVERED**
- (iii) Means of enclosure **SKYLIGHTS - GREY/BLACK STANDARD VENNA COLOUR**

I/We hereby apply for (strike out whichever is inapplicable)

OR

(a) planning permission to carry out the development described in this application and the accompanying plans in accordance therewith.

(b) planning permission to retain the building(s) or work(s) already constructed or carried out, or a use of land already instituted as described on this application and accompanying plans.

Signed **MRS N. DE FREITAS** on behalf of **MRS N. DE FREITAS** Date **24/11/93**

AN APPROPRIATE CERTIFICATE MUST ACCOMPANY THIS APPLICATION (See General Notes)

If you are the ONLY owner of ALL the land at the beginning of the period 20 days before the date of the application, complete Certificate A. If otherwise see **PART TWO** of this form

CERTIFICATE A

Certificate under Section 27 of the Town and Country Planning Act 1971.
 I hereby certify that:-

(a) "owner" means a person having a freehold interest or a leasehold interest the unexpired term of which was not less than 7 years.

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Name and Address of Tenant

Date of Service of Notice

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Signed **MRS N. DE FREITAS** on behalf of **MRS N. DE FREITAS** Date **24/11/93**

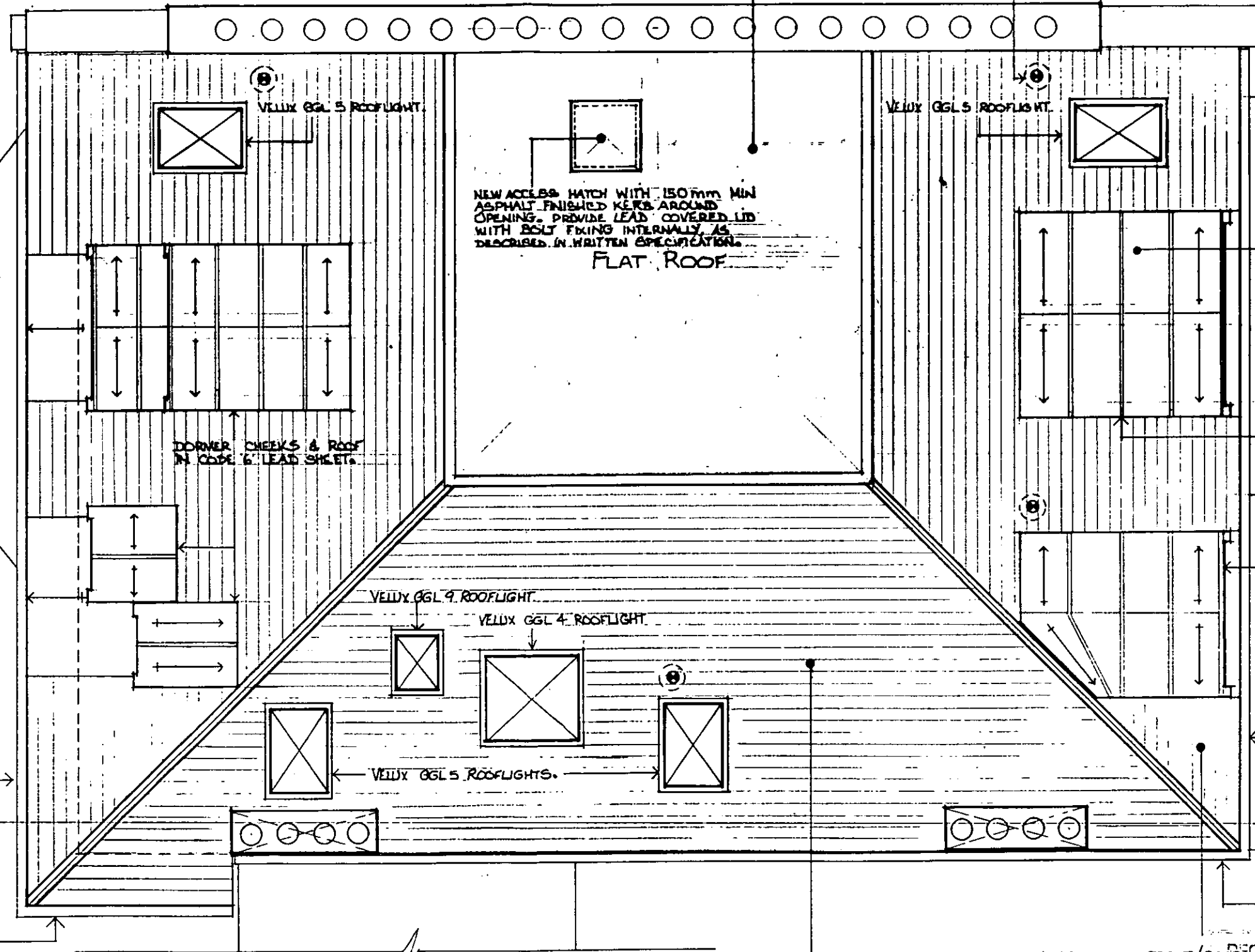
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 ALLOW FOR ALTERATIONS TO ROOF STRUCTURE TO SUIT NEW ROOFLIGHT SIZES AS DESCRIBED IN WRITTEN SPEC. BUT GENERALLY ALLOWING FOR A NEW DOUBLE TRIMMER AT HEAD, CILL AND REVEALS ON NEW STRUCTURAL OPENING.
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STRIP OFF AND RE ASPHALT FLAT ROOF AREA INCLUDING ALL UPSTANDS AND FLASHINGS AS DESCRIBED IN WRITTEN SPECIFICATION. LAY TO FALLS TO DRAIN AS EXISTING.

EXTRACTS FROM BATHROOMS/KITCHENS TO BE WEATHERED WITH A LEAD SLATE TYPE DETAIL AND FITTED WITH A SUITABLE COWL.

ROLAND GARDENS.



EXISTING DORMERS TO BE CLAD IN CODE 6 LEAD SHEET WITH SOLID CORE WOOD ROLLS AT 100mm MAX CRE.

DORMER CHEEKS IN CODE 6 LEAD SHEET WITH WELDED JOINTS AT 100mm CRE.

DORMER CHEEKS AND ROOF IN CODE 6 LEAD SHEET.

PROVIDE NEW 100mm Ø 1/2 ROUND PVC GUTTERS TO REAR AND SIDE ELEVATIONS.

PROVIDE NEW PROFILED GUTTERING TO MATCH EXISTING ON FRONT ELEVATION AND SIDE RETURN.

NEW ACCESS HATCH WITH 150mm MIN ASPHALT FINISHED KERB AROUND OPENING. PROVIDE LEAD COVERED LID WITH BOLT FIXING INTERNALLY AS DESCRIBED IN WRITTEN SPECIFICATION.

FLAT ROOF

DORMER CHEEKS & ROOF IN CODE 6 LEAD SHEETS.

VELUX GGL 9 ROOFLIGHT.

VELUX GGL 4 ROOFLIGHT.

VELUX GGL 5 ROOFLIGHTS.

VELUX GGL 5 ROOFLIGHT.

VELUX GGL 5 ROOFLIGHT.

REVISION A. 26th AUGUST 1993.
 SIZE OF VELUX ROOFLIGHT TO STAIRCASE INCREASED.

TP931963

STRIP BACK & RE-SLATE FRONT/REAR ROOF AND FLANK PITCHED ROOF AREAS, ALLOWING FOR ALL LEAD FLASHINGS AND SOAKERS, RIDGE FLASHINGS AND HIP TILES. ALL AS DESCRIBED IN WRITTEN SPECIFICATION.

On 25 NOV 1993

PETER TIGG PARTNERSHIP
 ARCHITECTS-DESIGNERS
 WALMER COURTYARD
 225 WALMER ROAD
 HOLLAND PARK
 LONDON W11 4EY
 TEL: 071 221 5568

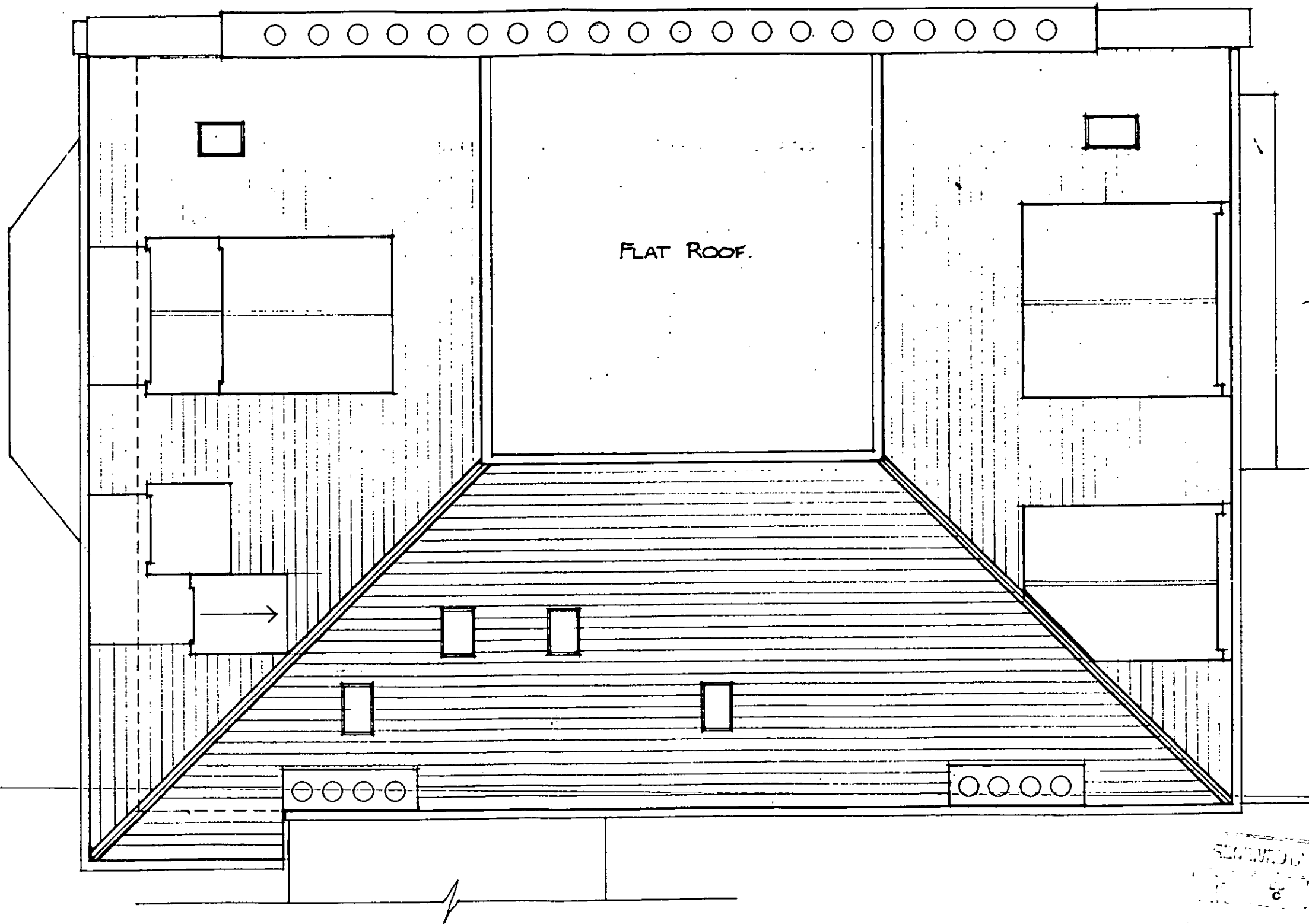
Site 21 ROLAND GARDENS.
 LONDON SW 7.
 Title ROOF PLAN AS PROPOSED.

Drg no. RG/28A.
 Date JUNE. 93.
 Scale 1:50.

do not scale this drawing : all dimensions to be checked on site

EXEC PLAN
 APPEALS OFFICER
 ENV PLAN
 HEAD DC

ROLAND GARDENS.



TP931963

**PETER TIGG
PARTNERSHIP**
ARCHITECTS-DESIGNERS
WALMER COURTYARD
225 WALMER ROAD
HOLLAND PARK
LONDON W11 4EY
TEL: 071 221 5566

Site 21 ROLAND GARDENS.
LONDON SW 7.
Title SURVEY LAYOUTS.
ROOF PLAN AS EXISTING.

do not scale this drawing : all dimensions to be checked on site

Dwg no.
RG/05
Date MARCH 93.
Scale 1:50.

REMOVED PLANNING SERVICE
25 NOV 1993
ENV PLAN
HEAD DC

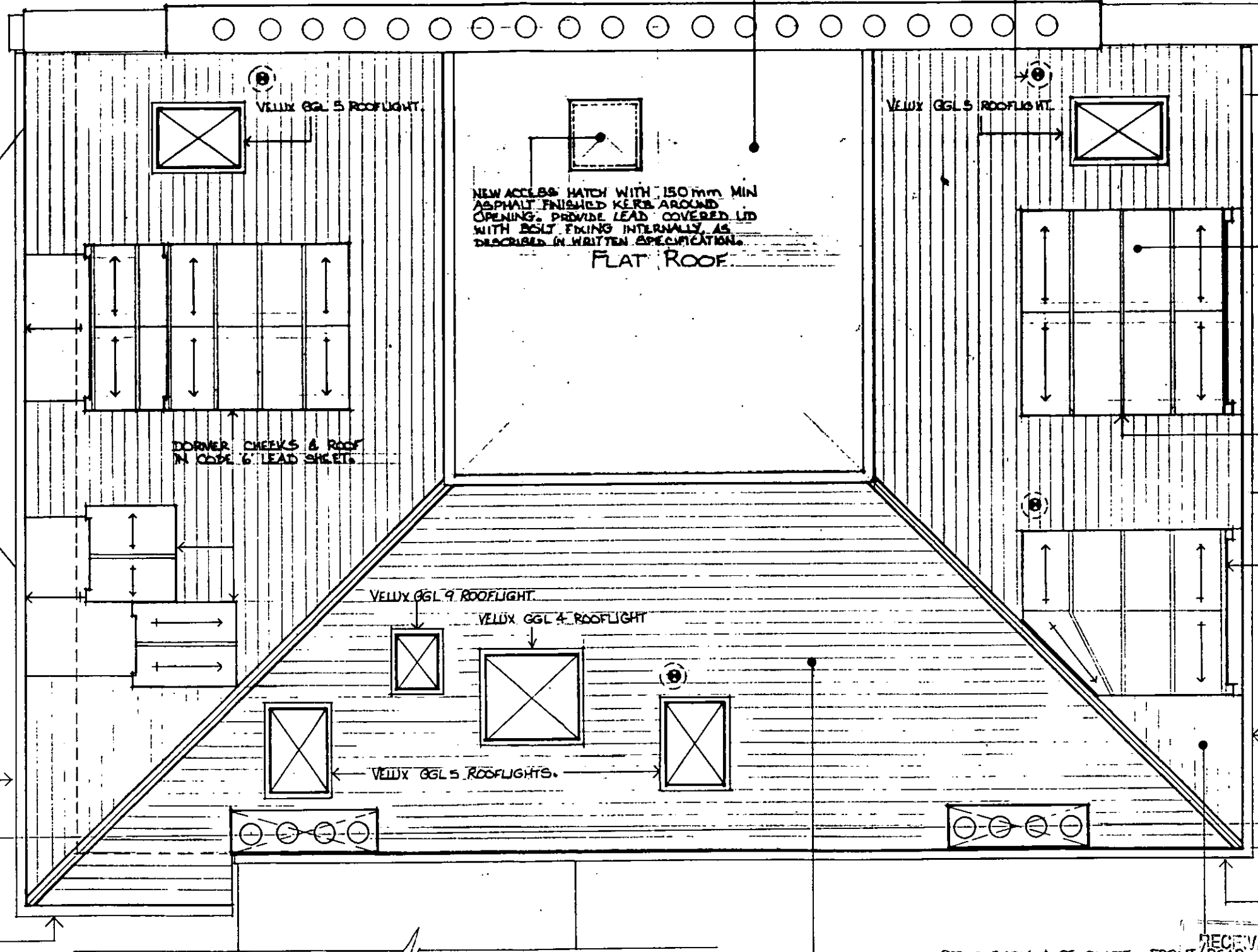
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EXTRACTS FROM BATHROOMS/KITCHENS TO BE WEATHERED WITH A LEAD SLATE TYPE DETAIL AND FITTED WITH A SUITABLE COWL.

ROLAND GARDENS



EXISTING DORMERS TO BE CLAD IN CODE 6 LEAD SHEET WITH SOLID CORE WOOD ROLLS AT 600mm MAX CRS.

DORMER CHEEKS IN CODE 6 LEAD SHEET WITH WELDED JOINTS AT 600mm CRS.

DORMER CHEEKS AND ROOF IN CODE 6 LEAD SHEET.

PROVIDE NEW 100mm Ø 1/2 ROUND P.V.C. GUTTERS TO REAR AND SIDE ELEVATION.

PROVIDE NEW PROFILED GUTTERING TO MATCH EXISTING ON FRONT ELEVATION AND SIDE RETURN.

STRIP BACK & RE-SLATE FRONT/REAR AND FLANK PITCHED ROOF AREAS, FOLLOWING FOR ALL LEAD FLASHINGS AND SOAKERS, RIDGE FLASHINGS AND HIP TILES, ALL AS DESCRIBED IN WRITTEN SPECIFICATION.

RECEIVED BY PLANNING SERVICES
 25 NOV 1993
 PLANNING OFFICER

REVISION A. 26th AUGUST 1993.
 SIZE OF VELUX ROOFLIGHT TO STAIRCASE INCREASED.

TP931963

PETER TIGG PARTNERSHIP ARCHITECTS-DESIGNERS
 WALMER COURTYARD
 225 WALMER ROAD
 HOLLAND PARK
 LONDON W11 4EY
 TEL: 071 221 5568

Site 21 ROLAND GARDENS.
 LONDON SW 7.
 Title ROOF PLAN A5 PROPOSED.

Dwg no. RG/28A.
 Date JUNE. 93.
 Scale 1:50.

do not scale this drawing : all dimensions to be checked on site

TOWN & COUNTRY PLANNING ACT 1971

FORM TP1

APPLICATION FOR PERMISSION TO DEVELOP LAND AND/OR BUILDINGS IN GREATER LONDON

FOR OFFICE USE ONLY ~~AND CONSERVATION AREA~~ Borough Ref. _____
 Fee £ 60-00 ~~CONSENT~~ Registered No. _____
 Cheque/Postal Order/Cash 700252 25.11.93 RECEIVED Date Received _____
 Receipt No. Issued 10/0034 TOWN PLANNING DC N

PLEASE READ THE GENERAL NOTES BEFORE FILING IN THE FORM

PART ONE To be completed by or on behalf of all applicants as far as applicable 1993 (2)
FEE (where applicable) **COMPLETE**

1. APPLICANT (in block capitals) **AGENT** (if any) to whom correspondence should be sent
 Name MRS N DE FRETTONOV Name PETER TEG PARTNERSHIP
 Address 33 CLAREVILLE GROVE Address 275 WALMER ROAD
LONDON SW7 5AU LONDON W11 4EY
 Tel. No. _____ Tel. No. 071-221-5568 Ref. _____

2. PARTICULARS OF PROPOSAL FOR WHICH PERMISSION IS SOUGHT

(a) Full address or location of the land to which this application relates 21 ROLAND GARDENS SW7 TP931963

(b) Site area N/A hectares

(c) Give details of proposal indicating the purpose for which land/buildings are to be used and including any change(s) of use.
REMOVAL OF AND REPLACE MAINTENANCE Replacement of existing roof lights, Provision of roof access hatch +
PROVISION OF TO ALLOW MA replace covering on existing dormer windows.
 3 HTS
 HATCH
 DORMER
 EAD

(d) State whether applicant owns or controls any adjoining land and if so, give its location.
REMOVAL OF AND REPL
NONE

(e) State whether the proposal involves: -

	State Yes or No		
(i) New building(s) or extension(s) to existing building(s)	<input checked="" type="checkbox"/> NO	If "Yes" state gross floor area of proposed building(s). If residential development state number of dwelling units proposed and type if known, e.g. houses, bungalows, flats.	<div style="border: 1px solid black; width: 100px; height: 40px; margin: 0 auto; text-align: center;">m²</div>
(ii) Alterations	<input checked="" type="checkbox"/>		
(iii) Change of use	<input checked="" type="checkbox"/> NO	If "Yes" state gross area of land or building(s) affected by proposed change of use (if more than one use involved state gross area of each use).	<div style="border: 1px solid black; width: 100px; height: 40px; margin: 0 auto; text-align: center;">hectares/m²</div>
(iv) Construction of a new access to a highway	vehicular... <input checked="" type="checkbox"/> NO pedestrian <input checked="" type="checkbox"/> NO		
(v) Alteration of an existing access to a highway	vehicular... <input checked="" type="checkbox"/> NO pedestrian <input checked="" type="checkbox"/> NO		

D/26

3. PARTICULARS OF APPLICATION

- State whether this application is for
- (i) Outline planning permission State Yes or No
- (ii) Full planning permission YES
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- (iv) Consideration under Section 72 only (Industry)

If Yes strike out any of the following which are not to be determined at this stage.

1 siting	4 external appearance
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If Yes state the date and number of previous permission and identify the particular condition

Date Number

The condition

4. PARTICULARS OF PRESENT AND PREVIOUS USE OF BUILDINGS OR LAND

- State:-
- (i) Present use of building(s)/land **DOMESTIC**
- (ii) If vacant the last previous use and period of use with relevant dates.

5. LIST ALL DRAWINGS, CERTIFICATES, DOCUMENTS ETC; forming part of this application

6 COPIES DRWG NOS. RG/05 + 2BA
PHOTOGRAPHS OF EXISTING BUILDING ALREADY SUBMITTED ON 7TH OCTOBER

6. ADDITIONAL INFORMATION

- State Yes or No
- (a) Is the application for non-residential development NO If Yes complete **PART THREE** of this form (See **PART THREE** for exemptions)
- (b) Does the application include the winning and working of minerals NO If Yes complete **PART FOUR** of this form
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- (ii) Roof **DORMERS - LEAD COVERED**
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I/We hereby apply for (strike out whichever is inapplicable)

OR

(a) planning permission to carry out the development described in this application and the accompanying plans in accordance therewith.

(b) planning permission to retain the building(s) or work(s) already constructed or carried out, or a use of land already instituted as described on this application and accompanying plans.

Signed **Mrs N. De Freitas** on behalf of **MRS N. DE FREITAS** Date **24/11/93**

AN APPROPRIATE CERTIFICATE MUST ACCOMPANY THIS APPLICATION (See General Notes)

If you are the ONLY owner of ALL the land at the beginning of the period 20 days before the date of the application, complete Certificate A. If otherwise see **PART TWO** of this form

CERTIFICATE A

Certificate under Section 27 of the Town and Country Planning Act 1971.
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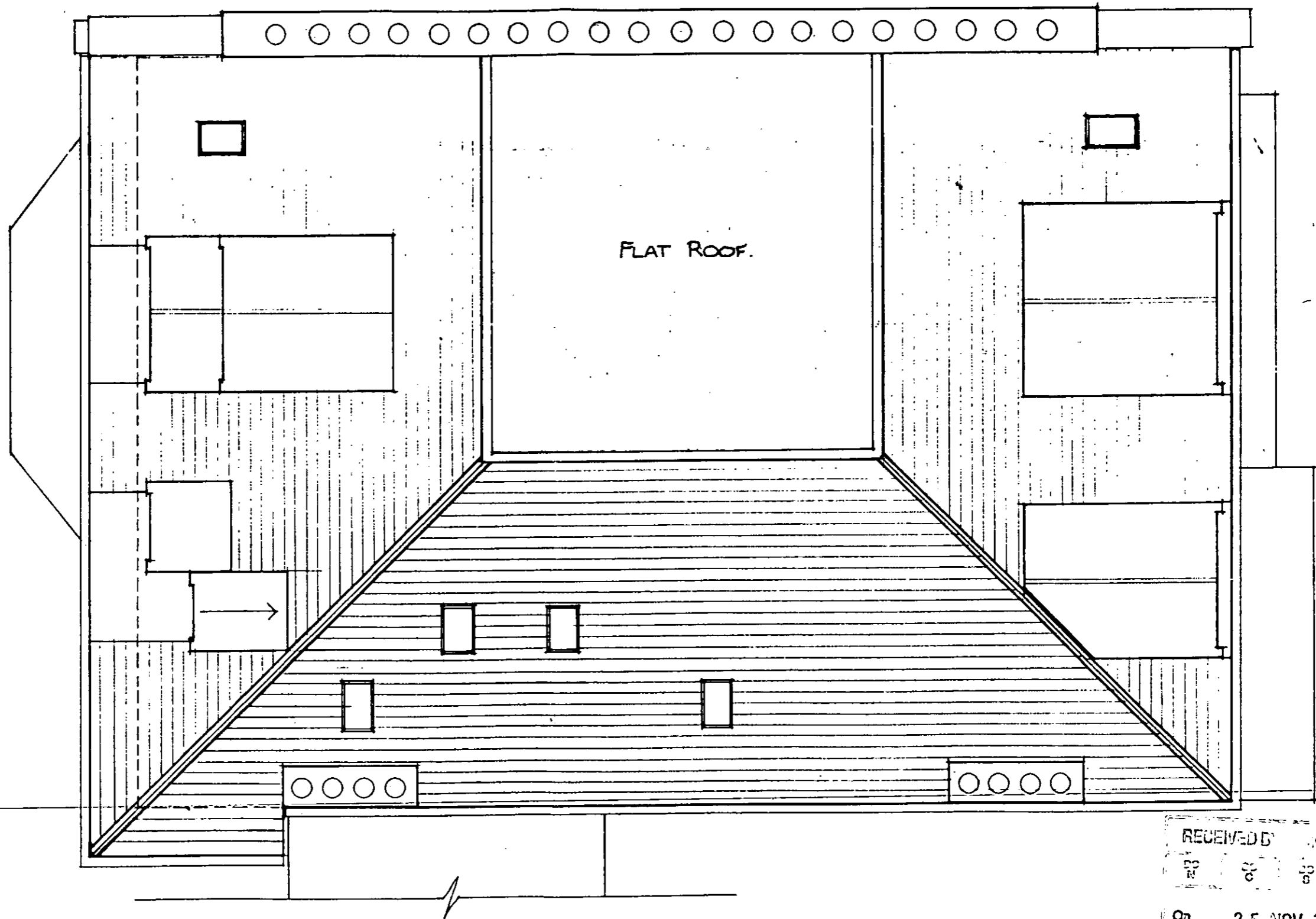
Name and Address of Tenant

Date of Service of Notice

* strike out whichever is inapplicable

Signed **Mrs N. De Freitas** on behalf of **MRS N. DE FREITAS** Date **24/11/93**

ROLAND GARDENS.



RECEIVED BY PLANNING SERVICES
 DC M C 63 E 12

On 25 NOV 1993

REC'D BY PLANNING SERVICES
 HEALTH OFFICER 10 PERS OFFICER DC

14931963

PETER TIGG
 PARTNERSHIP
 ARCHITECTS-DESIGNERS
 WALMER COURTYARD
 225 WALMER ROAD
 HOLLAND PARK
 LONDON W11 4EY
 TEL: 071 221 5568

Site 21 ROLAND GARDENS.
 LONDON SW 7.
 Title SURVEY LAYOUTS.
 ROOF PLAN AS EXISTING.

Drg no.
 RG/05
 Date MARCH 93.
 Scale 1:50.

do not scale this drawing : all dimensions to be checked on site

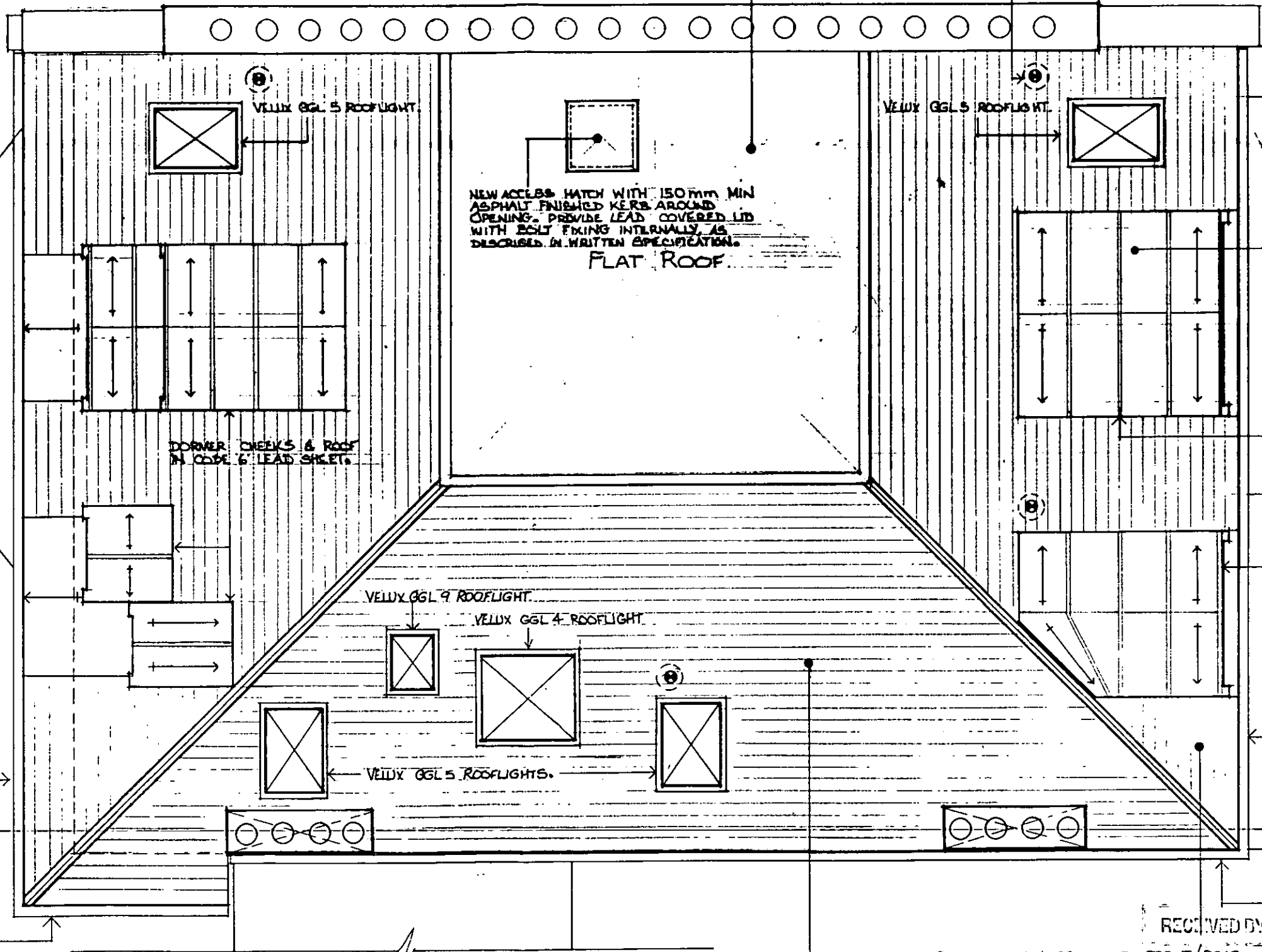
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PROVIDE NEW PROFILED GUTTERING TO MATCH EXISTING ON FRONT ELEVATION AND SIDE RETURN.

EXISTING DORMERS TO BE CLAD IN CODE 6 LEAD SHEET WITH SOLID CORE WOOD ROLLS AT 600mm MAX. CRS.

DORMER CHEEKS IN CODE 6 LEAD SHEET WITH WELDED JOINTS AT 600mm CRS.

DORMER CHEEKS AND ROOF IN CODE 6 LEAD SHEET.

PROVIDE NEW 100mm Ø 1/2 ROUND PVC GUTTERS TO REAR AND SIDE ELEVATIONS.

REVISION A. 26th AUGUST 1993.
 SIZE OF VELUX ROOFLIGHT TO STAIRCASE INCREASED.

TP931963

STRIP BACK & RE-SLATE FRONT/REAR AND FLANK PITCHED ROOF AREAS, ALLOWING FOR ALL LEAD FLASHINGS AND SOAKERS, RIDGE FLASHINGS AND HIP TILES. ALL NOV 1993 AS DESCRIBED IN WRITTEN SPECIFICATION.

RECEIVED BY PLANNING SERVICES

PETER TIGG PARTNERSHIP
 ARCHITECTS-DESIGNERS
 WALMER COURTYARD
 225 WALMER ROAD
 HOLLAND PARK
 LONDON W11 4EY
 TEL: 071 221 5568

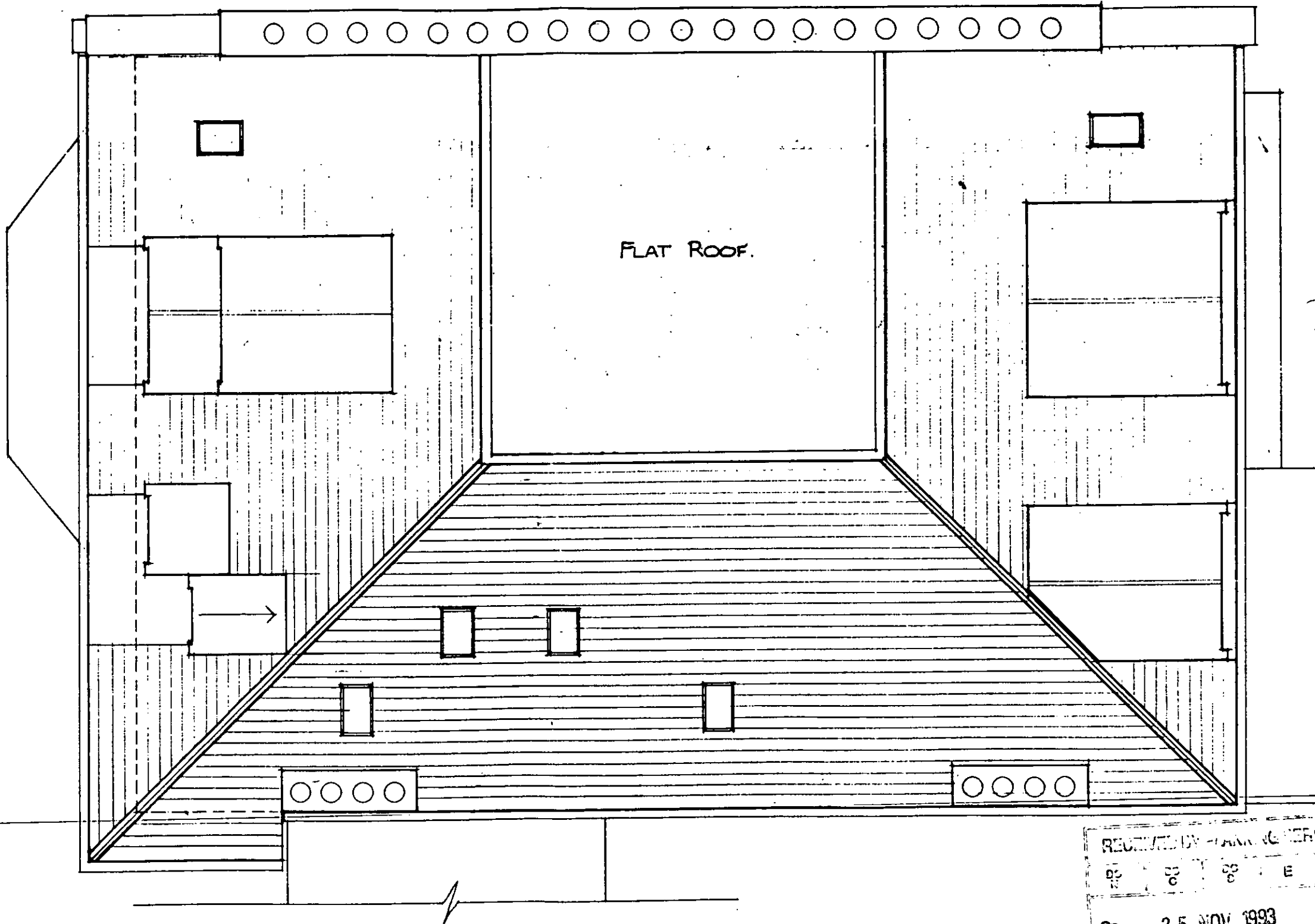
Site 21 ROLAND GARDENS.
 LONDON SW 7.
 Title ROOF PLAN AS PROPOSED.

Dwg no. RG/28A.
 Date JUNE. 93.
 Scale 1:50.

do not scale this drawing : all dimensions to be checked on site

EXEC D.R.	PLANNING SERVICES	TRV PLAN
APPEALS OFFICER	10	HEAD CO.

ROLAND GARDENS.



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RECEIVED BY PARKING SERVICES
On 25 NOV 1993
EXEC DIR
APPEALS OFFICER

PETER TIGG
PARTNERSHIP
ARCHITECTS DESIGNERS
WALMER COURTYARD
225 WALMER ROAD
HOLLAND PARK
LONDON W11 4EY
TEL: 071 221 5568

Site 21 ROLAND GARDENS.
LONDON SW 7.
Title SURVEY LAYOUTS.
ROOF PLAN AS EXISTING.

Dwg no.
RG/05
Date MARCH 93.
Scale 1:50.

do not scale this drawing : all dimensions to be checked on site

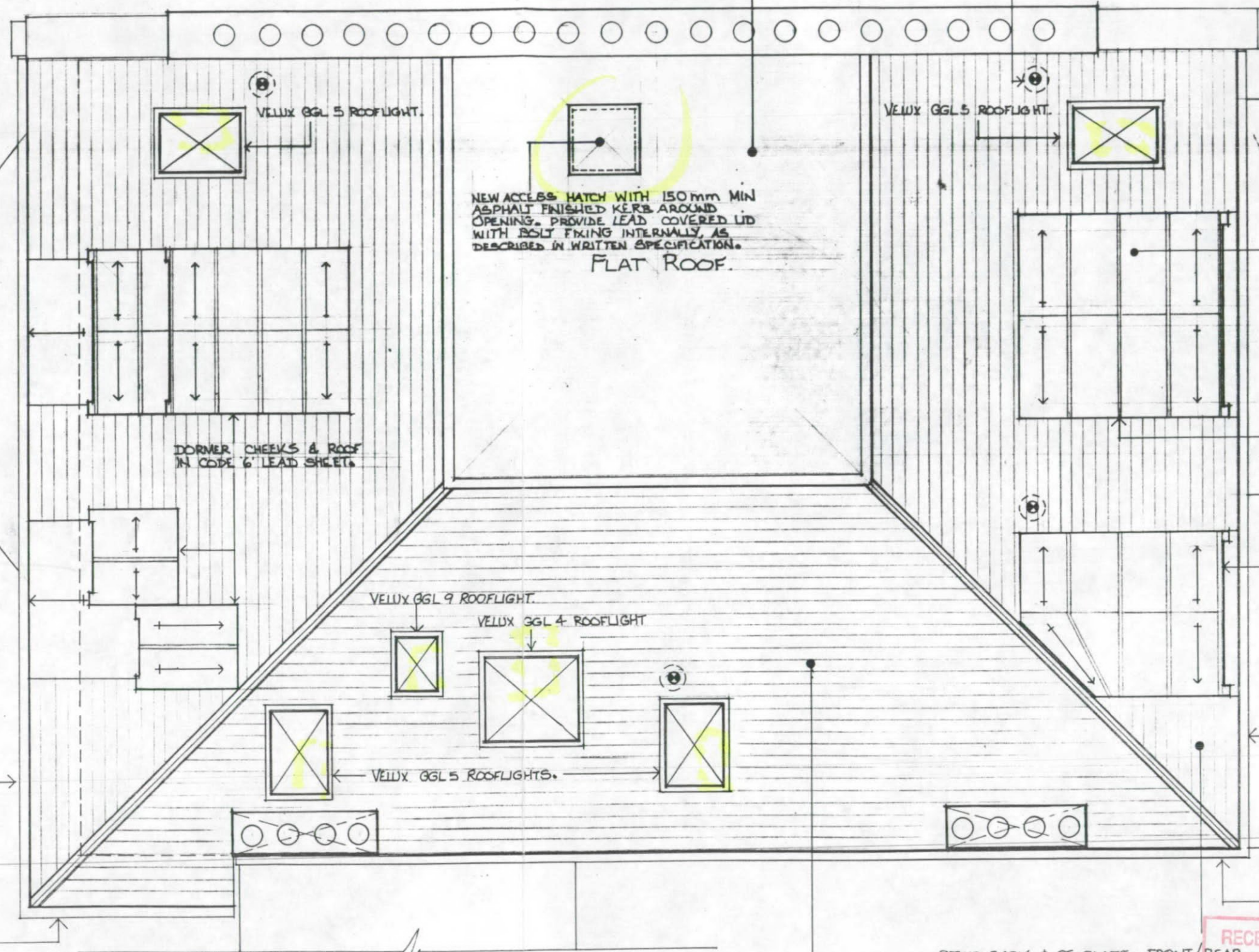
VELUX ROOF LIGHTS.
 ALL VELUX ROOF LIGHTS ARE TO BE SUPPLIED WITH STANDARD FLASHING, SOAKER AND APRONS BY VELUX TO SUIT FIXING TO PITCHED SLATE ROOF.
 ALLOW FOR ALTERATIONS TO ROOF STRUCTURE TO SUIT NEW ROOFLIGHT SIZES AS DESCRIBED IN WRITTEN SPEC. BUT GENERALLY ALLOWING FOR A NEW DOUBLE TRIMMER AT HEAD, CILL AND REVEALS ON NEW STRUCTURAL OPENING.
 ALL VELUX WINDOWS ARE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

FOR DETAILS OF LEAD CLADDING TO DORMER CONSTRUCTIONS REFER TO WRITTEN SPECIFICATION. GENERALLY ALL LEAD WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH "LEAD SHEET IN BUILDING - A GUIDE TO GOOD PRACTICE" BY THE LEAD DEVELOPMENT ASSOCIATION.

STRIP OFF AND RE ASPHALT FLAT ROOF AREA INCLUDING ALL UPSTANDS AND FLASHINGS AS DESCRIBED IN WRITTEN SPECIFICATION. LAY TO FALLS TO DRAIN AS EXISTING.

EXTRACTS FROM BATHROOMS/KITCHENS TO BE WEATHERED WITH A LEAD SLATE TYPE DETAIL AND FITTED WITH A SUITABLE COWL.

ROLAND GARDENS.



EXISTING DORMERS TO BE CLAD IN CODE 6 LEAD SHEET WITH SOLID CORE WOOD ROLLS AT 600mm MAX CRS.

DORMER CHEEKS IN CODE 6 LEAD SHEET WITH WELDED JOINTS AT 600mm CRS.

DORMER CHEEKS AND ROOF IN CODE 6 LEAD SHEET.

PROVIDE NEW 100mm Ø 1/2 ROUND P.V.C. GUTTERS TO REAR AND SIDE ELEVATIONS.

PROVIDE NEW PROFILED GUTTERING TO MATCH EXISTING ON FRONT ELEVATION AND SIDE RETURN.

STRIP BACK & RE-SLATE FRONT/REAR AND FLANK PITCHED ROOF AREAS, ALLOWING FOR ALL LEAD FLASHINGS AND SOAKERS, RIDGE FLASHINGS AND HIP TILES. ALL AS DESCRIBED IN WRITTEN SPECIFICATION.

REVISION A. 26th AUGUST 1993.
 SIZE OF VELUX ROOFLIGHT TO STAIRCASE INCREASED.

TP931963

PETER TIGG PARTNERSHIP ARCHITECTS-DESIGNERS
 WALMER COURTYARD
 225 WALMER ROAD
 HOLLAND PARK
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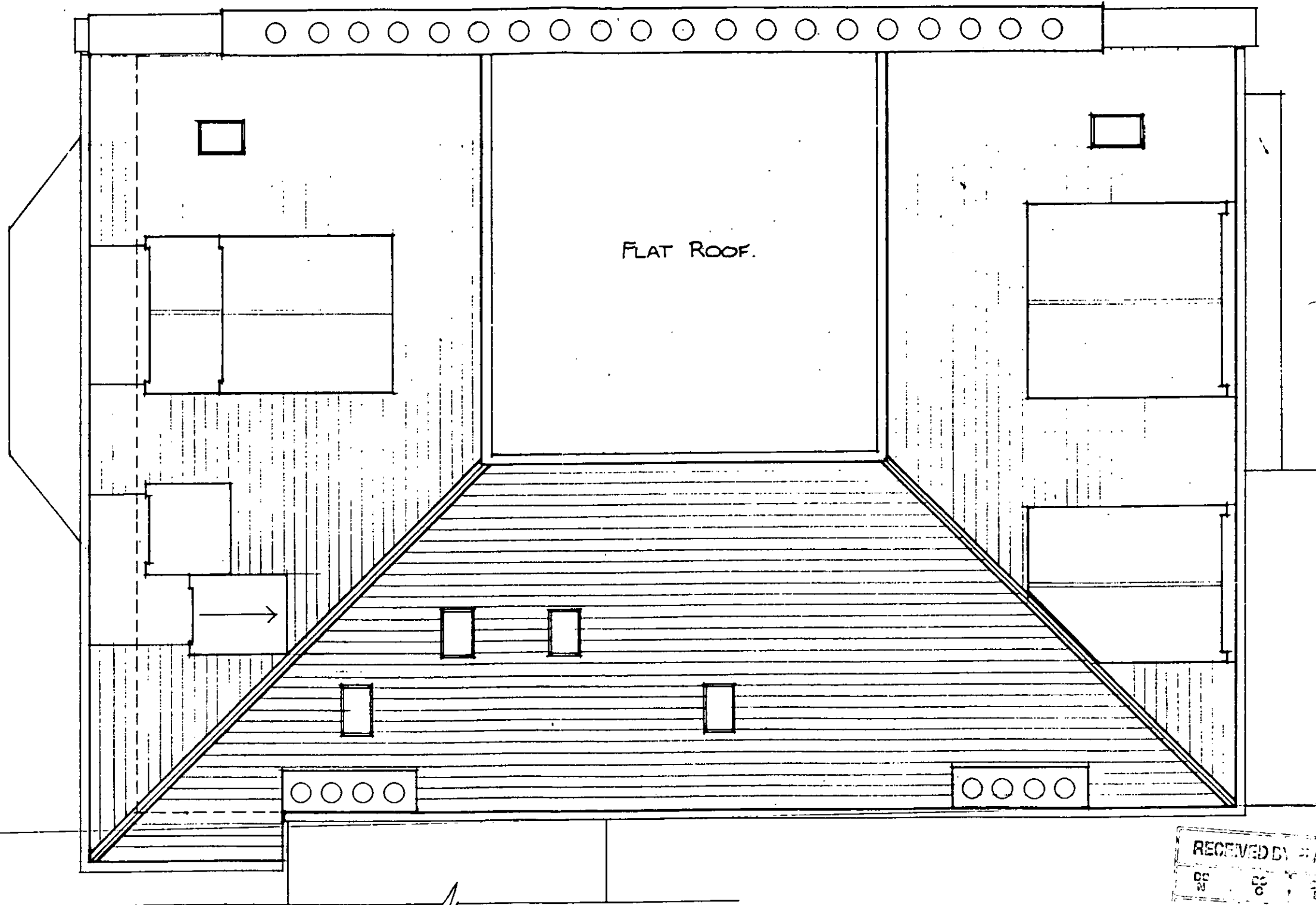
Site 21 ROLAND GARDENS.
 LONDON SW 7.
 Title ROOF PLAN As PROPOSED.

Drng no. RG/28A.
 Date JUNE. 93.
 Scale 1:50.

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EXEC DIR	PLANNING SERVICES	E	AD ACK
APPEALS OFFICER	10	FEES OFFICER	HEAD DC
25 NOV 1993			

ROLAND GARDENS.



TP931963

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 DC CC 23 E AD
 On 25 NOV 1993
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 FEES OFFICER
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PETER TIGG
 PARTNERSHIP
 ARCHITECTS-DESIGNERS
 WALMER COURTYARD
 225 WALMER ROAD
 HOLLAND PARK
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Site 21 ROLAND GARDENS.
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