

PLANNING SERVICES APPLICATION CONSULTATION SHEET

APPLICANT:

Martin Ashley Architects,
The Stables,
Friars Stile Road,
Richmond,
Surrey TW10 6NE

2086

Application No:

DPS/DCSW/TP/98/1442 *HC*

Application dated

23/07/98

SITE:

11 COLLINGHAM GARDENS,
S.W.5

NATURE OF PROPOSAL:

terracotta and brick cleaning,
joinery repair and other
items.

LISTED BUILDING CONSENT

Application complete	30/07/98
Date to be decided by	24/09/98
Date Acknowledged	30/07/98

	Address to be consulted	Letter sent	Reply received	Observations		Decision letter sent
				For	Against	
8	10, 12 COLLINGHAM GARDENS					
6	13 BOLTON GARDENS					
	Flats A-F (2)					

CHECK Section 65 certificate/Environmental Impact Statement

CONSULT STATUTORILY (GDO)

1. **HBMC**
 - (a) Circ. 8/87 (Para. 82) Listed Buildings
 - (b) Circ. 8/87 (Para. 28) Setting of Grade I or II
 - (c) Demolition in Conservation Area
2. Demolition Bodies - Circ. 8/87 (para 81)
3. Department of Transport
 - (a) Trunk Road - increased traffic
 - (b) Westway etc.
4. Neighbouring Local Authority
5. Strategic View Authorities
6. Department of Environment (Kensington Palace)
7. Civil Aviation Authority (over 300')
8. Development affecting Theatres (Theatre Trust)
9. National Rivers Authority
10. Thames Water
11. Crossrail Project Team
12. LRT - Chelsea/Hackney Line

ADVERTISE

- Effect on CA*
 - Setting of Listed Building*
 - Works to Listed Building*
 - Demolition in CA*
 - Departure from DP†
 - "Major" Development†
 - Environmental Assessment†
- Note:** *Site Notice is required
†Site Notice or Neighbour Notification required (GDO)
A Site Notice will normally be produced if advert requested
- If no Site Notice required

OTHER SITE NOTICES

If Site Notice required for case not in above categories

OTHER CONSULTATION

1. Police
2. L.P.A.C.
3. British Waterways Board
4. Environmental Health

Flats 1-2
6
8
4/18

10

[Handwritten signature]

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cc For approvals under condn.

TI Identify details Britain's leading document management
cc submitted, 2 459 907 or visit www.theedmgroup.co.uk

T ie letter label Britain's leading document management
c whatever 2 459 907 or visit www.theedmgroup.co.uk

T if appropriate, Britain's leading document management
2 459 907 or visit www.theedmgroup.co.uk

c In this case, no details required Britain's leading document management
2 459 907 or visit www.theedmgroup.co.uk

Britain's leading document management
02 459 907 or visit www.theedmgroup.co.uk

Pursuant to cond - Britain's leading document management
of UBC dated 202 459 907 or visit www.theedmgroup.co.uk

1 week approved Britain's leading document management
902 459 907 or visit www.theedmgroup.co.uk

- - - Dwg letter - - - Britain's leading document management
.902 459 907 or visit www.theedmgroup.co.uk

In this case details agreed on site visit dated - - - , Britain's leading document management
1902 459 907 or visit www.theedmgroup.co.uk

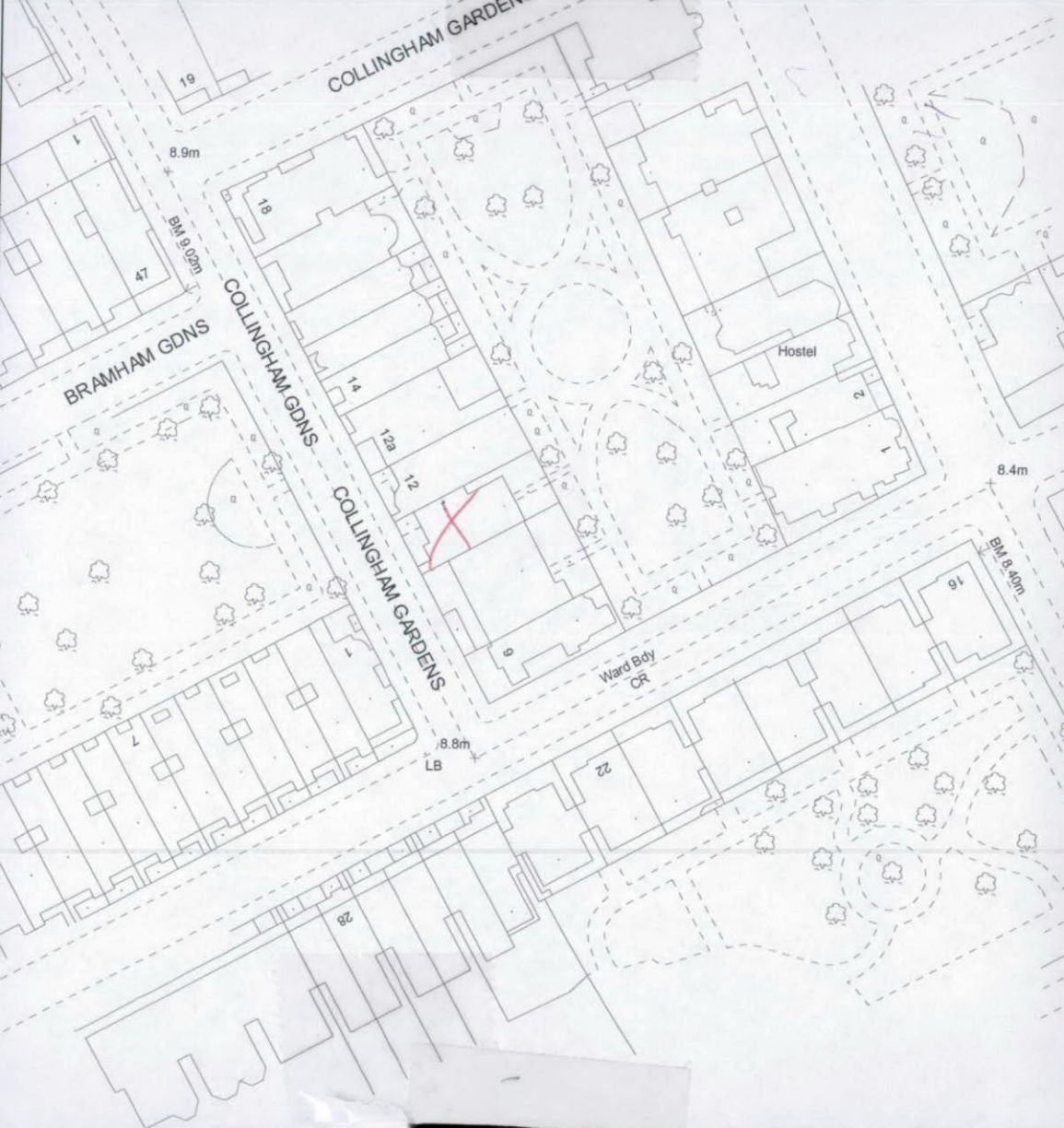
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COLLINGHAM GARDENS

19

8.9m

BM 8.92m

BRAMHAM GDNS

COLLINGHAM GDNS

COLLINGHAM GARDENS

Hostel

8.4m

BM 8.40m

Ward Boy CR

LB 8.8m

47

18

14

12a

12

2

1

9

22

28

7

PLANNING (LISTED BUILDINGS & CONSERVATION AREAS) ACT, 1990

CERTIFICATE UNDER SECTION 11, PART 1

CERTIFICATE B I hereby certify that

I have/the applicant* has given requisite notice to all the persons other than myself/the applicant* who, 20 days before the date of the accompanying application, were owners (a) of the building to which the application relates

Name of Owner Address
SEE ATTACHED LIST Date of Service of Notice

CERTIFICATE C I hereby certify that

1. I am/the applicant is unable to issue a certificate in accordance with either sub-paragraph (a) or sub-paragraph (b) of Section 11 Part 1 of the Planning (listed building and Conservation Areas) Act, 1990, in respect of the application dated

2. I have/the applicant has* given the requisite notice to the following persons other than myself who, 20 days before the date of application were owners (a) of the building to which the application relates, viz.

Name of Owner Address
Date of Service of Notice

3. I have/the applicant has* taken the steps listed below, being steps reasonably open to me/him*, to ascertain the names and addresses of the other owners (a) of the building and have/has* been unable to do so.

(b)
.....
.....

4. Notice of the application as set out below has been published in the (c)
.....on (d)

OR CERTIFICATE D I hereby certify that

1. I am/the applicant is* unable to issue a certificate in accordance with sub-paragraph (a) of Section 11 Part I of the Planning (Listed Buildings and Conservation Areas), Act 1990, in respect of the accompanying application dated and have/has* taken the steps listed below, being steps reasonably open to me/him* to ascertain the names and addresses of all the persons other than myself/himself* who, 20 days before the date of the application were owners (a) of the building to which the application relates and have/has* been unable to do so:

(b)
.....

2. Notice of the application as set out below has been published in the (c)
.....on (d)

Signed *On behalf of Date

- NOTES**
- (a) Owner means a person having freehold interest or leasehold interest the unexpired term of which was not less than 7 years.
 - (b) Insert description of steps taken.
 - (c) Insert name of local newspaper circulating in the locality in which the land is situated.
 - (d) Insert date of publication (which must not be earlier than 20 days before the application).

*Delete where appropriate

LBC

Part 1

R.B.K.C. TOWN PLANNING
APPLICATION
COMPLETE

30 JUL 1998

T.P.1 (H.B./CA)
Part I

PLANNING (LISTED BUILDINGS & CONSERVATION AREAS) ACT, 1990
APPLICATION FOR LISTED BUILDING CONSENT / CONSERVATION AREA CONSENT

1. Name and Address of applicant (i.e. developer) (IN BLOCK LETTERS)

Name COLLINGHAM SERVICES LTD. 29 JUL 1998 (5)

Address P.O. BOX 45

CRAWLEY, WEST SUSSEX, RH10 3YD

Applicant's Telephone No. 01342 717233

(If applicable) TP981442

Name and Address of applicant's agent to whom notices or other documents in respect of this application should be sent MARTIN ASHLEY ARCHITECTS

Agent's telephone No. 0181 948 7788

I/We* hereby apply for consent to carry out the works described in this application and on the attached plans and drawings.

Signed [Signature] on behalf of MARTIN ASHLEY ARCHITECTS 23.07.98

2. Full address or location of the land to which application relates 11 COLLINGHAM GARDENS, LONDON, SW5 0HS

3. (a) Brief particulars of the proposed works. (a) TERRACOTA & BRICK CLEANING, JOINERY REPAIR & OTHER ITEMS.

(b) State what the proposal involves (Delete the items which do not apply) (i) ~~Demolition of the building(s)~~ (ii) ~~Alterations and/or Extensions~~

4. State the purpose for which the land is (a) RESIDENTIAL. (b) N/A (c) RESIDENTIAL.

5. State (a) suitable location on building or within curtilage of building for display of statutory notice in respect of this application; and (b) name and address of person to whom application should be made for facilities to display notice. (a) FRONT RAILINGS (b) P. K. MANKELOW & CO. P.O. BOX 45, CRAWLEY, W. SUSSEX RH10 3YD

6. List of drawings and plans submitted with the application. (See Notes).
 • DRAWINGS & PLANS NOT APPLICABLE.
 • MARKED-UP PHOTOGRAPH SHEETS, Nos 1-3, 5-13 incl ENCLOSED.
 • SCHEDULE OF CLEANING & REPAIR

CERTIFICATE UNDER SECTION 11, PART I OF THE PLANNING (LISTED BUILDINGS & CONSERVATION AREAS) ACT, 1990

CERTIFICATE A (See Notes).

I hereby certify that no person other than myself or the applicant* was an owner of the building to which the application relates at the beginning of the period of 20 days before the date of the accompanying application.

Signed _____ on behalf of _____ Date _____

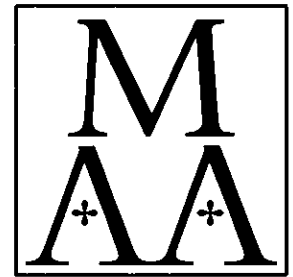
*Delete where appropriate

30 JUL 1998

2060J01

Development Control South West team
Royal Borough of Kensington and Chelsea
Planning & Conservation
The Town Hall
Hornton Street
London
W8 7NX

RECEIVED BY PLANNING SERVICES							
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEES	AO ACK
29 JUL 1998							
HDC	A	C	SW	SE	ENF		



MARTIN ASHLEY
ARCHITECTS
THE STABLES
FRIARS STILE ROAD
RICHMOND
SURREY TW10 6NE
TEL (0181) 948 7788
FAX (0181) 948 5520
email MAA@btinternet.com

23rd July 1998

Dear Sirs,

TP981442

11 Collingham Gardens, SW5
Terracotta & Brick Cleaning & Repair

Further to discussions with yourselves, I understand that although the above works do not constitute an alteration as such, you will still require an application for Listed Building Consent to be submitted due to the effect that cleaning can have upon the delicate fabric of the terracotta. I therefore enclose an application for cleaning and repair of the terracotta and brick elevations of the building on behalf of the owners.

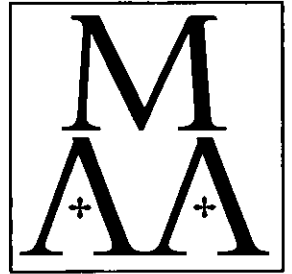
The application consists of four copies of the following:-

1. The completed Application Form.
2. An appended list of owners in respect of Certificate Under Section 11, Part 1.
3. Appended Marked up photographs of the building elevations indicating the full scope of the works.
4. A Schedule of Cleaning & Repair Works to indicate the intended approach.

The full scope of the works is as follows:-

- i) Cleaning the existing terracotta and brickwork.
- ii) Repairing the existing terracotta and brickwork.
- iii) Maintenance Repairs to external joinery.
- iv) Re-decoration of external joinery.
- v) Modest re-ordering of unsightly drainage vent-pipes.
- vi) Re-ordering of trailing cables.

The intention is to carry out the works this Autumn, prior to winter weather setting-in. We would therefore be grateful if we might discuss the intended works with you in more detail at your earliest convenience.



We have prepared a Schedule of Cleaning and Repair Works, and also marked-up reference photographs which we enclose for your information.

Please do contact us if you require anything further.

Yours faithfully,

Martin Ashley
Martin Ashley Architects

Encs.

LBC SHEET 1 OF 1
DEVELOPMENT CONTROL
 TECHNICAL INFORMATION

THE ROYAL
 BOROUGH OF



(M)

**KENSINGTON
 AND CHELSEA**

ADDRESS 11 Collingham Gardens
SWS

TP981442

Sw

- HB Buildings of Architectural or Historic interest
- AMI Area of Metropolitan Importance
- MDO Major Sites with Development Opportunities
- MOL Metropolitan Open Land
- SBA Small Business Area
- PSC Principal Shopping Centre (Core or Non core)
- LSC Local Shopping Centre
- AI Sites of Archeological Importance
- SV Designated View of St. Paul's From Richmond
- SNCI Sites of Nature Conservation Importance
- REG 7 Restricted size and use of Estate Agent Boards
- ART IV Restrictions of Permitted Development Rights

Conservation Area	HB	CPO	TPO	AMI	MDO	MOL	SBA	Unsuitable for Diplomatic use	PSC	LSC	AI	SV	SNCI	REG 7	ART IV	
									C	M						
11B	<input checked="" type="checkbox"/>														<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Density	
Site Area	
Habitable rooms proposed	
Proposed Density	

Plot Ratio	
Site Area	
Zoned Ratio	
Floor Area proposed	
Proposed Plot Ratio	

Daylighting	Complies	<input type="checkbox"/>
	Infringes	<input type="checkbox"/>

Car Parking	spaces required	
	spaces proposed	

Notes

30 JUL 1999

11 COLLINGHAM GARDENS

Property Card N° : 0185 013 00

Sitename :
 Comment :
 TP Arch/History : H 2790
 See Also :

Xref :
 Notes :

TP No	TP/96/1902	Brief Description of Proposal	1	of	1	Adverts & History No
REFURBISHMENT OF RESIDENTIAL BASEMENT FLAT TO INCLUDE REAR WINDOWS (LISTED BUILDING CONSENT)						
Received	20/08/96	Decision & Date		Appeal		Works
Completd	29/08/96	Conditional	12/02/97	Lodged		Completed
Revised	25/11/96	LBC				25/03/98Y

REFURBISHMENT OF RESIDENTIAL BASEMENT FLAT TO INCLUDE REAR
WINDOWS
(LISTED BUILDING CONSENT)

Received	20/08/96	Decision & Date		Appeal		Works
Completd	29/08/96	Conditional	12/02/97	Lodged		Completed
Revised	25/11/96	LBC				25/03/98Y

**PLANNING SERVICES APPLICATION
DRAFT REPORT**

To Planning Applications Committee

To Planning and Conservation Committee

APPLICANT:

Martin Ashley Architects,
The Stables,
Friars Stile Road,
Richmond,
Surrey TW10 6NE

2036

Application No: DPS/DCSW/TF	Agenda Item /98/1442	Application dated 23/07/98	Revised date
---------------------------------------	--------------------------------	--------------------------------------	---------------------

SITE: 11 COLLINGHAM GARDENS,
S.W.5

<p>NATURE OF PROPOSAL and brick cleaning, joinery repair and other items.</p> <p>LISTED BUILDING CONSENT</p>	<p>Application complete</p> <p align="right">30/07/98</p>
	<p>Date to be decided by</p> <p align="right">24/09/98</p>
	<p>Date Acknowledged</p> <p align="right">30/07/98</p>

ON BEHALF OF
INTEREST

DISTRICT PLAN PROPOSALS MAP (2)	CONS AREA	CAPS	ARTICLE 4 DIRECTION	LISTED BUILDING	HBMC DIRECTION	A/O CONSULTED	OBJECTORS (TO DATE)
---------------------------------------	--------------	------	------------------------	--------------------	-------------------	------------------	------------------------

RECOMMENDED DECISION:-

at
as shown on submitted drawing(s) no(s)
applicants drawing(s) no(s)

CONDITIONS/REASONS/ INFORMATIVES

MEMORANDUM

From: EXECUTIVE DIRECTOR,
PLANNING AND CONSERVATION

To: FOR FILE USE ONLY

My Ref: TP/98/1442/HC

Your Ref:

P.A.X.No. 2733

Date: 04/08/98

DEVELOPMENT

11 COLLINGHAM GARDENS, S.W.5

Terracotta and brick cleaning, joinery repair and other items. LISTED
BUILDING CONSENT

Would you please advertise the above development under:-

1. Section 73 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (development affecting the character or appearance of a Conservation Area or adjoining Conservation Area).
4. Town and Country Planning (LISTED BUILDINGS AND CONSERVATION AREAS) Regulations, 1990 (applications for listed building consent).

M.J. FRENCH
EXECUTIVE DIRECTOR, PLANNING AND CONSERVATION

PLANNING AND CONSERVATION

THE TOWN HALL • HORNTON STREET • LONDON W8 7NX

THE ROYAL
BOROUGH OF



KENSINGTON
AND CHELSEA

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS

Director of Planning Services

English Heritage,
Historic Buildings & Monuments Commission,
London & South East Region,
23 Savile Row,
London W.1X 1AB

Switchboard: 0171-937 5464
Direct Line: 0171-361 2733
Facsimile: 0171-361 3463

Date: 04/08/98

My reference:

Your reference:

Please ask for:

DPS/DCSW/HC/TP/98/1442

TOWN AND COUNTRY PLANNING ACT, 1990 PART III

11 COLLINGHAM GARDENS, S.W.5

I enclose a copy of an application received by the Council (with the relevant drawings) and should be pleased to receive your observations for the reason set out below.

I intend to present this application to the Town Planning Committee prior to 24/09/98.

Application relates to a Circular 30/85 Listed Building.

Yours faithfully,

M.J. FRENCH

Executive Director, Planning and Conservation

PLANNING AND CONSERVATIONTHE TOWN HALL HORNTON STREET LONDON W8 7NX

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS

Director of Planning Services

**THE ROYAL
BOROUGH OF****KENSINGTON
AND CHELSEA**

COUNCIL NOTIFICATION OF DEVELOPMENTTHE OCCUPIER
FILE COPY

Switchboard: 0171 - 937 5464

Direct Line:

0171-361 2079/2080

Facsimile: 0171 - 361 3463

Date: 05/08/98

My reference:

Your reference:

Please ask for:

Planning Information Office

DPS/DCSW/HC/TP/98/1442

**THIS LETTER INVITES YOU TO COMMENT ON A PLANNING APPLICATION /
LISTED BUILDING APPLICATION WHICH MAY AFFECT YOUR PROPERTY**

Dear Sir/Madam,

The Council has received a planning application for development at a property which is close to yours. The address of that property is set out below, together with brief details of the development for which permission is sought. The Council's Planning Applications Committee, in considering the proposal, will welcome comments, for or against the scheme from those who live in or own property nearby. I should therefore be pleased to know, in writing, if you as the occupier/owner of neighbouring property have any comments.

Address of application property11 COLLINGHAM GARDENS,
S.W.5**Proposal for which permission is sought**Terracotta and brick cleaning, joinery repair and other
items.
LISTED BUILDING CONSENT

PLEASE NOTE: WHEN INFORMATION OFFICE IS CLOSED PLANS RELATING TO PROPERTIES IN
SW7, SW5 & W8 CAN BE VIEWED AT THE CENTRAL LIBRARY, PHILLIMORE WALK, W8 0171-361-3036

Further details are printed overleaf.

Yours Sincerely,

M.J. FRENCH

Executive Director, Planning and Conservation

TOWN AND COUNTRY PLANNING ACTS, 1990

The Council is required by the Secretary of State for the Environment to consider all planning applications expeditiously. Any letter of support or objection should be received as soon as possible within 21 days of the date of this letter, although later objections, if received in time, will be reported to the Council Committee meeting which decides the application. An early response gives the Council's Officers the opportunity to encourage applicants to amend their plans in the light of objections received, and the application may therefore be amended before it is decided. If you cannot formulate your detailed objections within 21 days you should acknowledge this letter so that your interest can be noted.

The reasons for any objection should be clearly stated.

Objections relating to party walls and inconveniences which may be caused by building operations should however be taken up, either by yourself or your professional representative, with the applicant.

All correspondence received will be available to members of the determining Committee when the application is considered.

It must be clearly understood that any comments you may choose to make will be made available to the applicant, his agent and any other interested party, pursuant to the requirements of the Local Government (Access to Information) Act, 1985.

Should there be any tenants in the buildings of other persons likely to be affected by this application, would you please be good enough to bring this letter to their attention.

If you are not the owner of the property to which this notice is addressed will you kindly forward this letter to the owner.

WHERE TO EXAMINE THE PLANS

The plans and/or application details referring to this proposal may be inspected at the Planning Information Office on the 3rd floor at the Town Hall, Hornton Street, W8 7NX, between the hours of 9.00 a.m. and 4.45 p.m., Mondays to Thursdays and 9.00am to 4.15pm Fridays.

Alternatively, copies of all planning applications relating to:

- (a) the Chelsea area can be examined at the Reference Library, Chelsea Old Town Hall, King's Road, SW3. Tel. 0171-361-4158. Any questions you have regarding Planning matters should be directed to the Planning Department at the Town Hall, Hornton Street, W8. Tel. 0171-361-2079/2080
- (b) the postal areas W10, W11, or W12 can be examined at the 1st Floor, North Kensington Library, 108 Ladbrooke Grove, W11. Tel. 0171-727 6583

Please telephone the Chelsea and Westway offices to check opening times.

Please quote the T.P. reference number on all written replies.

- Please note:**
- i) In the interest of economy, letters in agreement or without objections to the proposals will not be acknowledged.
 - ii) Should you be interested in attending the Committee Meeting at which the application is to be determined, you are advised to contact the Planning Information Office.

THE ROYAL
BOROUGH OF

NOTICE OF A PLANNING APPLICATION



KENSINGTON
AND CHELSEA

TOWN AND COUNTRY PLANNING ACT 1990
PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990

Notice is hereby given the Royal Borough of Kensington and Chelsea Council have received an application:

- (a) for development of land in or adjacent to a Conservation Area.
- (d) for consent to demolition and/or alteration of a building which is of architectural or historic interest.

Details are set out below.

Members of the public may inspect copies of the application, the plans and other documents submitted with it at:

The Planning Information Office, 3rd Floor, The Town Hall, Hornton Street, W8 7NX between the hours of 9.15 and 4.45 Mondays to Thursdays and 9.15 to 4.30 Fridays;

For applications in the Chelsea area: The Reference Library, Chelsea Old Town Hall, Tel. 0171-361-4158.

For postal areas W10, W11, and W2: The 1st floor, North Kensington Library, 108 Ladbroke Grove, W11. Tel. 0171-727-6583.

Anyone who wishes to make representations about this application should write to the Executive Director of Planning and Conservation at the Town Hall (Department 705) within 21 days of the date of this notice.

SCHEDULE

Reference: TP/98/1442/HC

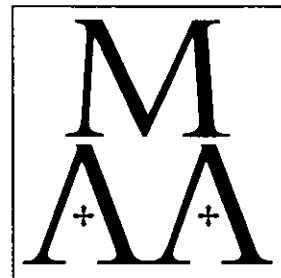
Date: 14/08/98

11 COLLINGHAM GARDENS,
S.W.5

Terracotta and brick cleaning, joinery repair and other items.
LISTED BUILDING CONSENT

APPLICANT Collingham Services Limited

Rankings 18/8 om

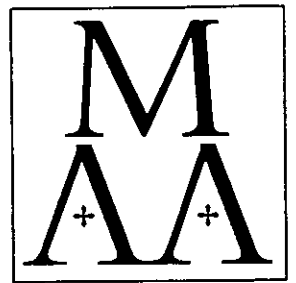


TP981412

R.B. & J.C.
TOWN PLANNING
29 JUL 1998
RECEIVED

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

WEST (ROAD) FRONT



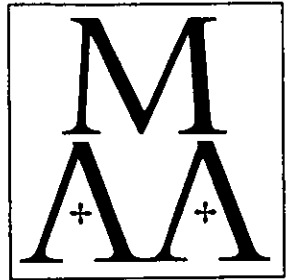
TP981442

R.B.K. & C
TOWN PLANNING
29 JUL 1998
RECEIVED

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

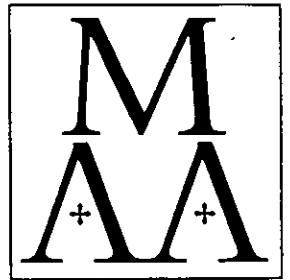
NORTH-WEST (ROAD) FRONT

12981442



11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

WEST (ROAD) FRONT



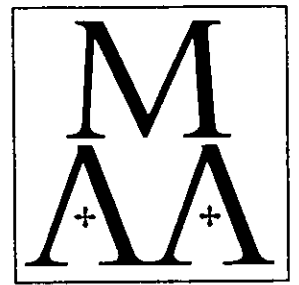
TP981442



B.R.K. & C.
TOWN PLANNING
29 JUL 1998
RECEIVED

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

WEST (ROAD) FRONT
Basement Bay



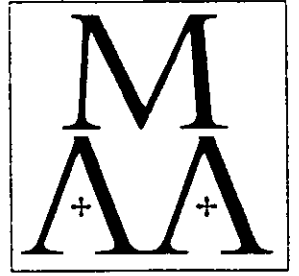
TP981442



R. B. K. & C.
TOWN PLANNING
29 JUL 1998
RECEIVED

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

WEST (ROAD) FRONT
Basement

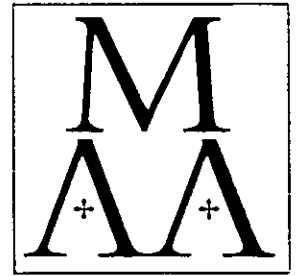


TP981442

R.B.K. ³⁵C
TOWN PLANNING
29 JUL 1998
RECEIVED

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

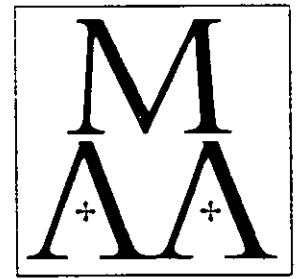
SOUTH FLANK
From Road



R.B.K. & C.
TOWN PLANNING
29 JUL 1998
RECEIVED

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

SOUTH FLANK
From Road

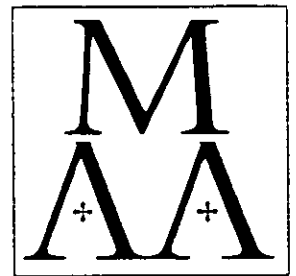


TP981442

J. K. & C.
PLANNING
29 JUL 1998
RECEIVED

JK COLLINGHAM GARDENS
Terracotta & Brick Cleaning & Repair

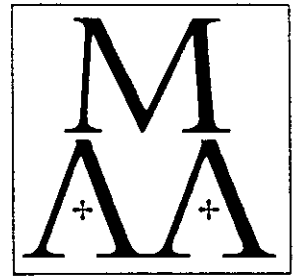
EAST (GARDEN) FRONT



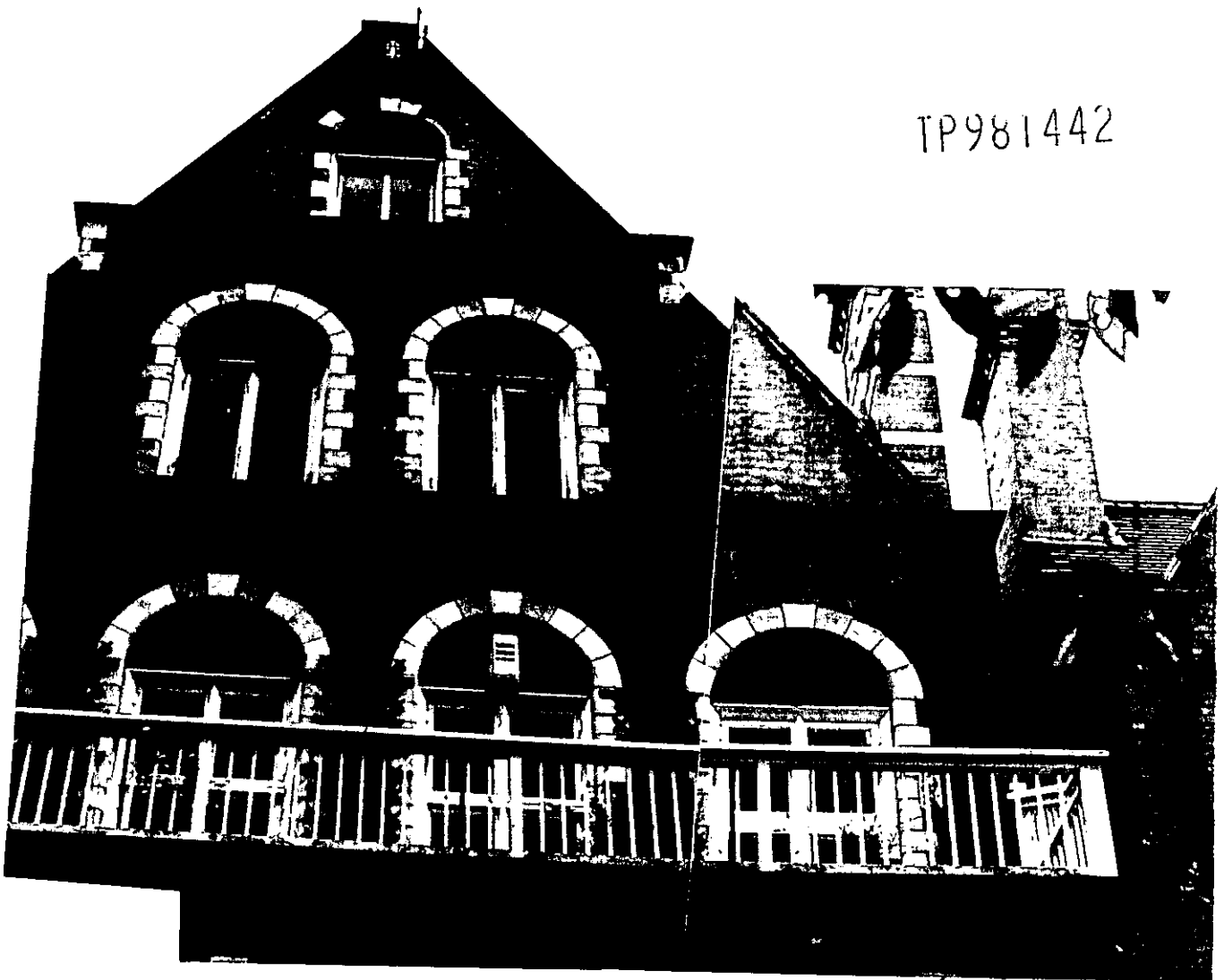
R.B.K. & C.
TOWN PLANNING
29 JUL 1998
RECEIVED

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

EAST (GARDEN) FRONT
1st, 2nd & 3rd Floors



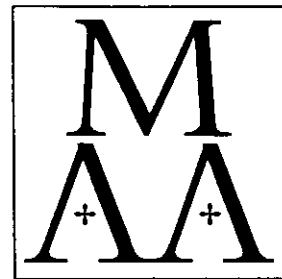
TP981442



R.B.K. & C.
TOWN PLANNING
29 JUL 1998
RECEIVED

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

EAST (GARDEN) FRONT
1st, 2nd & 3rd Floors

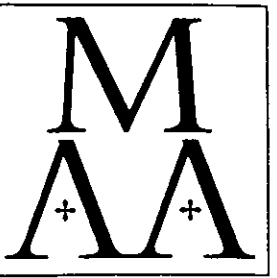


TP981442

R.B.K. & C
TOWN PLANNING
29 JUL 1998
RECEIVED

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

NORTH FLANK
From Garden



TP981442

R.B.K. & C.
TOWN PLANNING
29 JUL 1998
RECEIVED

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

EAST (GARDEN) FRONT
Basement & Ground Floors



PLANNING (LISTED BUILDINGS & CONSERVATION AREAS) ACT, 1990
APPLICATION FOR LISTED BUILDING CONSENT / CONSERVATION AREA CONSENT

1. Name and Address of applicant (i.e. developer) (IN BLOCK LETTERS) PLANNING SERVICE
SW SE ENF AO
ACK

Name COLLINGHAM SERVICES LTD.

Address P.O. BOX 45
CRAWLEY, WEST SUSSEX, RH10 3YD 29 JUL 1998

Applicant's Telephone No. 01342 717233 REC ARB FWD CON FEES
PLN DES

(If applicable) TP981442

Name and Address of applicant's agent to whom notices or other documents in respect of this application should be sent MARTIN ASHLEY ARCHITECTS

Agent's telephone No. 0181 948 7788

I/We* hereby apply for consent to carry out the works described in this application and on the attached plans and drawings.

Signed M. Ashley on behalf of MARTIN ASHLEY ARCHITECTS Date 23-07-98

2. Full address or location of the land to which application relates

11 COLLINGHAM GARDENS, LONDON, SW5 0HS

3. (a) Brief particulars of the proposed works. (a) TERRACOTTA & BRICK CLEANING, JOINERY REPAIR & OTHER ITEMS.

(b) State what the proposal involves (Delete the items which do not apply)

(i) ~~Demolition of the building(s)~~

(ii) ~~Alterations and/or Extensions~~

4. State the purpose for which the land is

(a) now used, or (a) RESIDENTIAL.

(b) if vacant, the last known use (b) N/A

(c) proposed to be used (c) RESIDENTIAL.

5. State (a) suitable location on building or within curtilage of building for display of statutory notice in respect of this application; and (b) name and address of person to whom application should be made for facilities to display notice.

(a) FRONT RAILINGS

(b) P. K. MANKLOW & CO.
P.O. BOX 45, CRAWLEY, W. SUSSEX.
RH10 3YD

6. List of drawings and plans submitted with the application. (See Notes).
- DRAWINGS & PLANS NOT APPLICABLE.
 - MARKED-UP PHOTOGRAPH SHEETS, Nos 1-3, 5-13 incl ENCLOSED.
 - SCHEDULE OF CLEANING & REPAIR

CERTIFICATE UNDER SECTION 11, PART I OF THE PLANNING (LISTED BUILDINGS & CONSERVATION AREAS) ACT, 1990

CERTIFICATE A (See Notes).

I hereby certify that no person other than myself/the applicant* was an owner of the building to which the application relates at the beginning of the period of 20 days before the date of the accompanying application.

Signed _____ on behalf of _____ Date _____

*Delete where appropriate

PLANNING (LISTED BUILDINGS & CONSERVATION AREAS) ACT, 1990

CERTIFICATE UNDER SECTION 11, PART 1

CERTIFICATE B I hereby certify that

~~I have~~/the applicant* has given requisite notice to all the persons other than myself/the applicant* who, 20 days before the date of the accompanying application, were owners (a) of the building to which the application relates

Name of Owner Address
SEE ATTACHED LIST Date of Service of Notice

CERTIFICATE C I hereby certify that

1. I am/the applicant is unable to issue a certificate in accordance with either sub-paragraph (a) or sub-paragraph (b) of Section 11 Part 1 of the Planning (listed building and Conservation Areas) Act, 1990, in respect of the application dated

2. I have/the applicant has* given the requisite notice to the following persons other than myself who, 20 days before the date of application were owners (a) of the building to which the application relates, viz.

Name of Owner Address
N/A Date of Service of Notice

3. I have/the applicant has* taken the steps listed below, being steps reasonably open to me/him*, to ascertain the names and addresses of the other owners (a) of the building and have/has* been unable to do so.

(b)
.....
.....

4. Notice of the application as set out below has been published in the (c)
..... on (d)

OR CERTIFICATE D I hereby certify that

1. I am/the applicant is* unable to issue a certificate in accordance with sub-paragraph (a) of Section 11 Part I of the Planning (Listed Buildings and Conservation Areas), Act 1990, in respect of the accompanying application dated and have/has* taken the steps listed below, being steps reasonably open to me/him* to ascertain the names and addresses of all the persons other than myself/himself* who, 20 days before the date of the application were owners (a) of the building to which the application relates and have/has* been unable to do so:

(b)
.....

2. Notice of the application as set out below has been published in the (c)
..... on (d)

Signed *On behalf of Date

- NOTES**
- (a) Owner means a person having freehold interest or leasehold interest the unexpired term of which was not less than 7 years.
 - (b) Insert description of steps taken.
 - (c) Insert name of local newspaper circulating in the locality in which the land is situated.
 - (d) Insert date of publication (which must not be earlier than 20 days before the application).

*Delete where appropriate

11 COLLINGHAM GARDENS, SW5

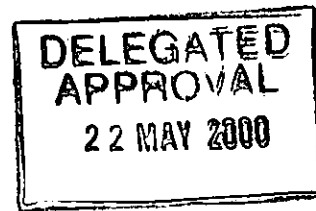
Planning (Listed Buildings & Conservation Areas) Act, 1990
CERTIFICATE UNDER SECTION 11, PART 1

List of all persons other than the applicant whom 20 days before the date of the accompanying application were owners of the building to whom the application relates

<u>Name of Owner</u>	<u>Address</u>	<u>Date of Service of Notice</u>
Mr. & Mrs Frank Schroeder	11 Collingham Gardens, London SW5 0HS	23 rd July 1998
Mrs Jennifer Sevaux	11 Collingham Gardens, London SW5 0HS	23 rd July 1998
Mr. Philip Challinor	11 Collingham Gardens, London SW5 0HS	23 rd July 1998
Mr. John Kurkjian	11 Collingham Gardens, London SW5 0HS	23 rd July 1998

11 COLLINGHAM GARDENS, LONDON, SW5

**SCHEDULE OF WORK FOR BRICK AND TERRACOTTA
CLEANING, REPAIR AND REPLACEMENT APPLICATION FOR
LISTED BUILDING CONSENT.**



IF/01442A

**Martin Ashley Architects
2A Friars Stile Road
Richmond
Surrey
TW10 6NE
0181 948 7788**

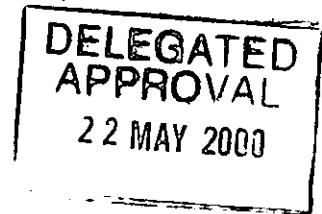
1.0 SCAFFOLDING AND TEMPORARY PROTECTION

Provide, erect, adapt as necessary all scaffold required to carryout the works.

Upon completion carefully remove the scaffold.

The extent of the scaffold is to be limited to the following;

- Entire front elevation to include tops of bay windows and chimney stack.
- Rear elevation up to the first floor balcony terrace.
- Flank elevation and right hand chimney stack.
- Left hand chimney stack.
- Rear elevation from first floor balcony to top of gable.



Provide Monoflex sheeting to enclose front elevation.

Scaffold may have to span over the adjacent property's roof to provide access to flank wall and chimney stack.

2.0 MORTAR REPAIRS

Mortar repair to terracotta units as specification to be carried out in the following quantities. Priority being given to high level repairs on the front elevation. All quantities are provisional and subject to site survey when scaffold is erected.

- | | |
|---|---------|
| • Moulded terracotta units on front elevation | 180 No. |
| • Moulded terracotta units on rear elevation | 90 No. |
| • Plain terracotta units on front elevation | 20 No. |
| • Contingency | 50 No. |

Cut back face of eroded terracotta unit by a minimum of 25mm, carry out plastic repair as specified and apply Keim mineral application using tints to simulate vitrified surface.

IP201542A

3.0 CONSOLIDATION

Where surface of terracotta units are friable, carry out consolidation using Wacker OH or equivalent approved. Allow for 50 No. terracotta units to be treated in this manner. Individual unit are to be identified on site subject to access priority will be given to high level repairs on the front elevation.

4.0 RE-POINTING TERRACOTTA UNITS

Where joints in terracotta units are unsound, open or defective they should be re-pointed using 1:1:6 Cement:Lime:Sand mortar as specified. Rake out joints by a minimum of 25mm remove all loose particles prior to re-pointing. Joints

are to be finished slightly recessed from face of terracotta. Priority for these repairs is to directed at the horizontal string courses and the cills, on both elevations. Allow for 550 No. joints in terracotta units to be re-pointed.

5.0 REPAIR OF FRACTURED TERRACOTTA UNITS

Where terracotta units are severely fractured they are to be repaired using resin injected into the cracked unit. This method is to be limited to only a few units where it is not possible to replace the defective unit. These are found at high level on the front elevation around the tops of the bay windows. Allow for 15 No. resin repairs in total. Individual units to be identified on site subject to access

6.0 REPLACEMENT BRICKS

Where joints in horizontal terracotta string courses have failed the bricks immediately below have suffered from excessive wetting, subsequently these areas of brick work have failed. The most defective bricks are to be replaced with new imperial bricks obtained from Lambs Bricks and Arches, Bulmar Bricks or other approved supplier. 5No. Samples are to be submitted following the suppliers inspection of the building. Brick replacements are to be carried out in accordance with the specification, care shall be taken to avoid damage to adjacent terracotta units. The individual bricks for replacement will be identified on site subject to access. The Contractor should allow for a minimum of 200 No. replacement bricks located in various positions of all elevations.

7.0 BRICK RE-POINTING

In addition to replacement of bricks there are some isolated areas of re-pointing to brickwork required. Where joints are unsound rake out mortar by a minimum 25mm and re-point using a 1:1:6 Cement:Lime:Sand mix as specified. Mortar samples to be approved prior to complete works being undertaken. These areas of repointing are to be limited to above first floor the exact areas are to be identified on site subject to access. Allow for a total of 50 sq m in total to comprise of 1m sq areas of re-pointing in various locations.

IP 2015/20A

8.0 WORK TO CHIMNEY STACKS.

It is proposed to make full use of the high scaffold on the front elevation to obtain access to both chimneys and carry out general repairs. The contractor shall indicate in item 1.0 the additional cost to the scaffold to reach these areas.

Remove defective flaunching from the tops of both stacks, inspect chimney pots for cracks, assume at least 2No. pots will need to be replaced with new to match existing.

9.0 FAÇADE CLEANING

The Front façade is to be cleaned using a mild detergent and hand scrubbing with medium pressure rinsing using the DOFF superheated water system. Lightly spray individual areas followed by gentle scrubbing with compact bristle headed brushes. Trial areas of cleaning will be carried out and agreed on site. The intention of the cleaning process is to remove as much dirt and staining as possible, however, to avoid damage, it will be acceptable that some discoloration of heavily soiled areas will remain. The entire front and rear elevations is to be cleaned on all storeys including the tops of the bay windows.

10.00 LEAD WORK

The leading edge of the rear first floor balcony is to be covered with a lead cover flashing to protect it from further deterioration. Carryout mortar repairs and re-pointing before laying the lead covering. Use Code 4 lead dressed over terracotta leading edge in accordance with the guidelines of the Lead Development Association.

11.00 DECORATION

All external timber windows, cills, soffits and facias on the front elevation are to be decorated. On the rear elevation allow for decorating timber windows, cills, railings, soffits and facias on the basement, ground and first floors only. All timber is to be prepared by rubbing down to remove all loose or friable paint work, all bare timber is to be primed and painted with two coats of undercoat and one top coat.

All external metal windows to be decorated, prepare by rubbing down to remove all loose and flaking paint, apply metal primer, two undercoats and one top coat.

12.00 MISCELLANEOUS

Allow access for the client's own workman to use the scaffold to gain access to the front roof slope, to carry out work on the existing soil vent pipe and to re-order the loose cables that run across the slope.

IP 2010/2A

IP 201

13.00 RAINWATER GOODS

Remove one existing defective cast iron down pipe and hopper from rear side elevation and replace with new cast iron down pipe and hopper in a matching design. While rain water pipe is removed carry out any re-pointing and brick replacements necessary exact areas to be identified on site.

14.00 PARAPET WALLS ON ENTRANCE

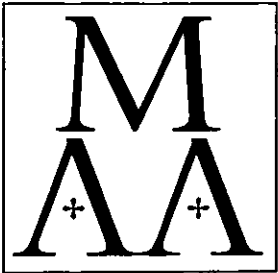
Remove existing surface covering from coping and pillars, consolidate terracotta units using Wacker OH or similar approved. Apply Keim mineral application to surface in colour to match terracotta.

15.00 WINDOW REPAIRS

Allow a **provisional sum of £750** for the repair of timber windows where they are rotten. Report to architect any rotten timber windows prior to decorating, carry out timber repairs as instructed.

IP201442A

DELEGATED
APPROVAL
22 MAY 2009



Re-point open joints
between terracotta
units.

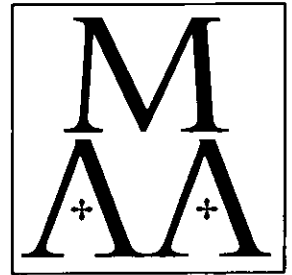
Replacement of two
missing terracotta
scroll brackets.

180 No. mortar
repairs to moulded
terracotta units on
the front elevation.

1870.11.14

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

WEST (ROAD) FRONT



**DELEGATED
APPROVAL**
22 MAY 2008

**Decoration to timber
windows.**

**Façade cleaning
using mild detergents
and hand scrubbing
with medium
pressure rinsing
using the DOFF
superheated water
system.**

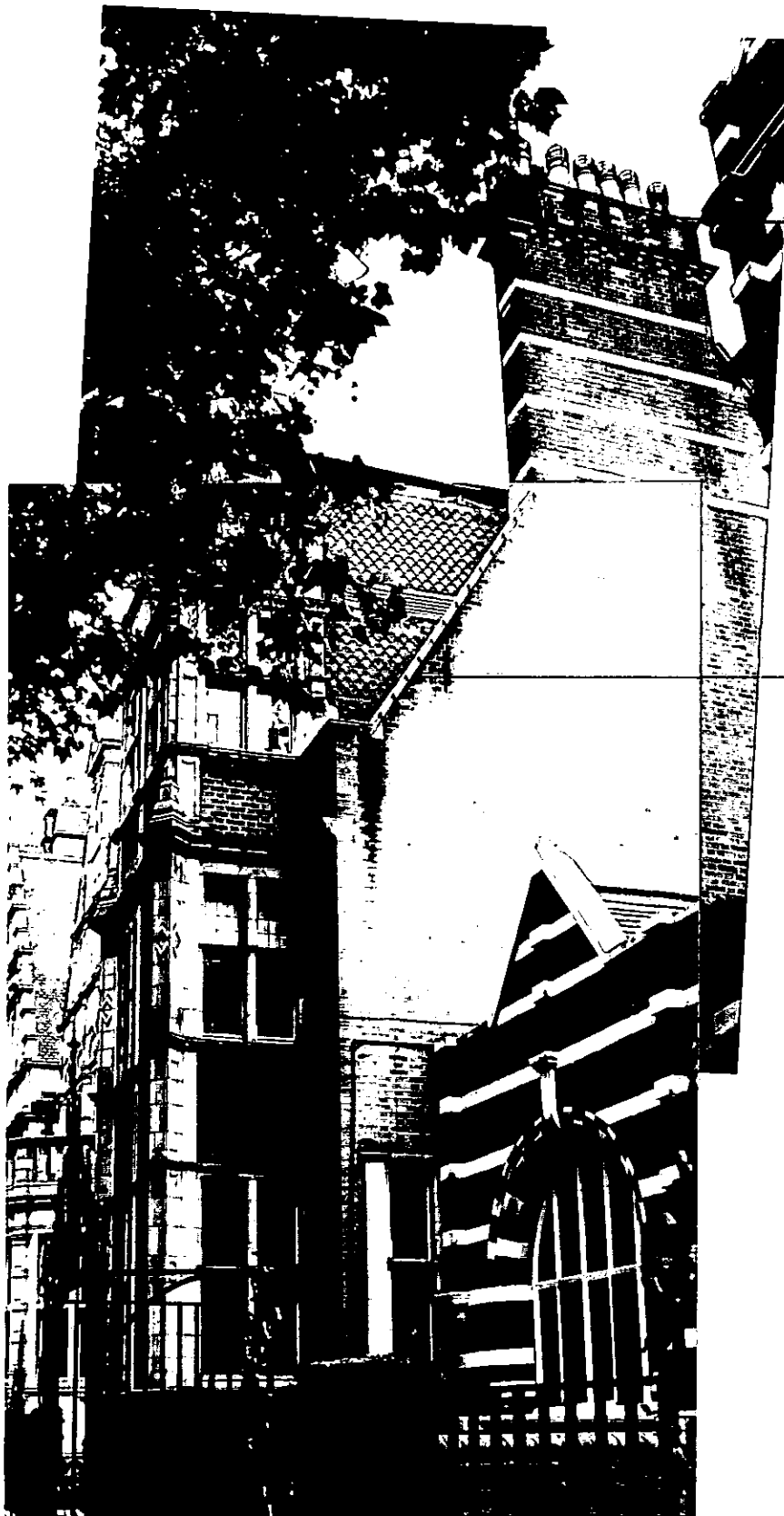
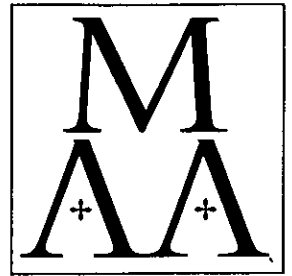
**180 No. mortar
repairs to moulded
terracotta units on
the front elevation.**

15901-0A

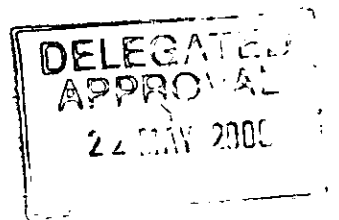
15901-0A

**11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair**

NORTH-WEST (ROAD) FRONT



Flaunching to chimney stacks.

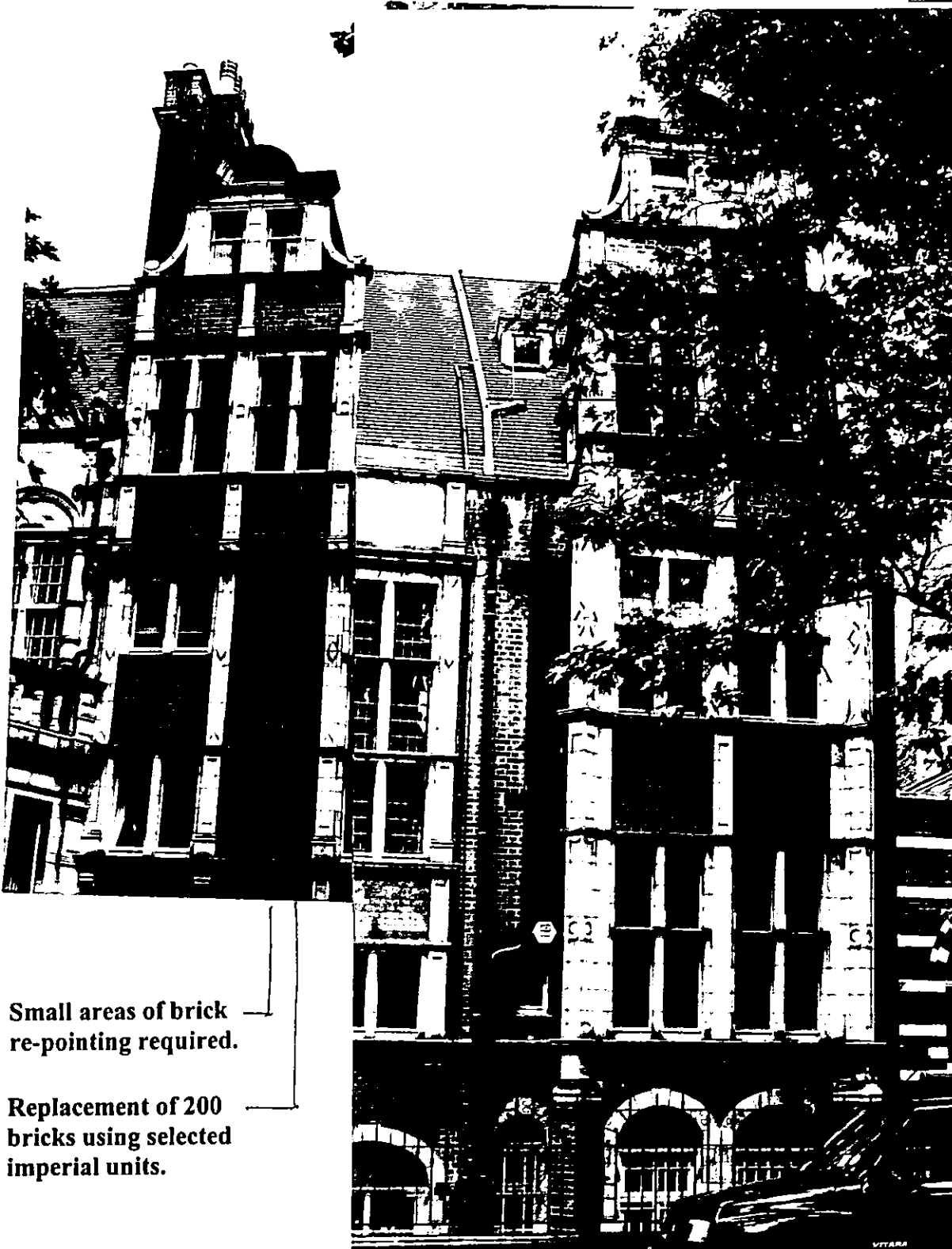
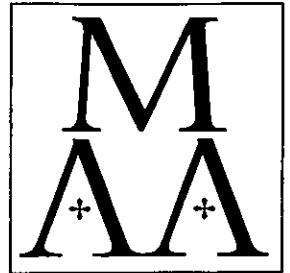


Re-pointing of joints between terracotta units.

IP581442A

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning & Repair

SOUTH FLANK
From Road



RECEIVED
APPROVA
22 MAY 20

Re-ordering of
unsightly draina
pipes.

Small areas of brick
re-pointing required.

Replacement of 200
bricks using selected
imperial units.

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

1790154K

WEST (ROAD) FRONT

Decoration to timber windows.



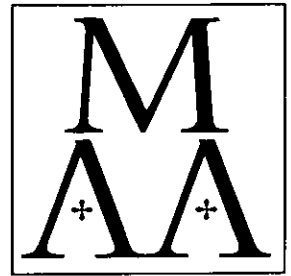
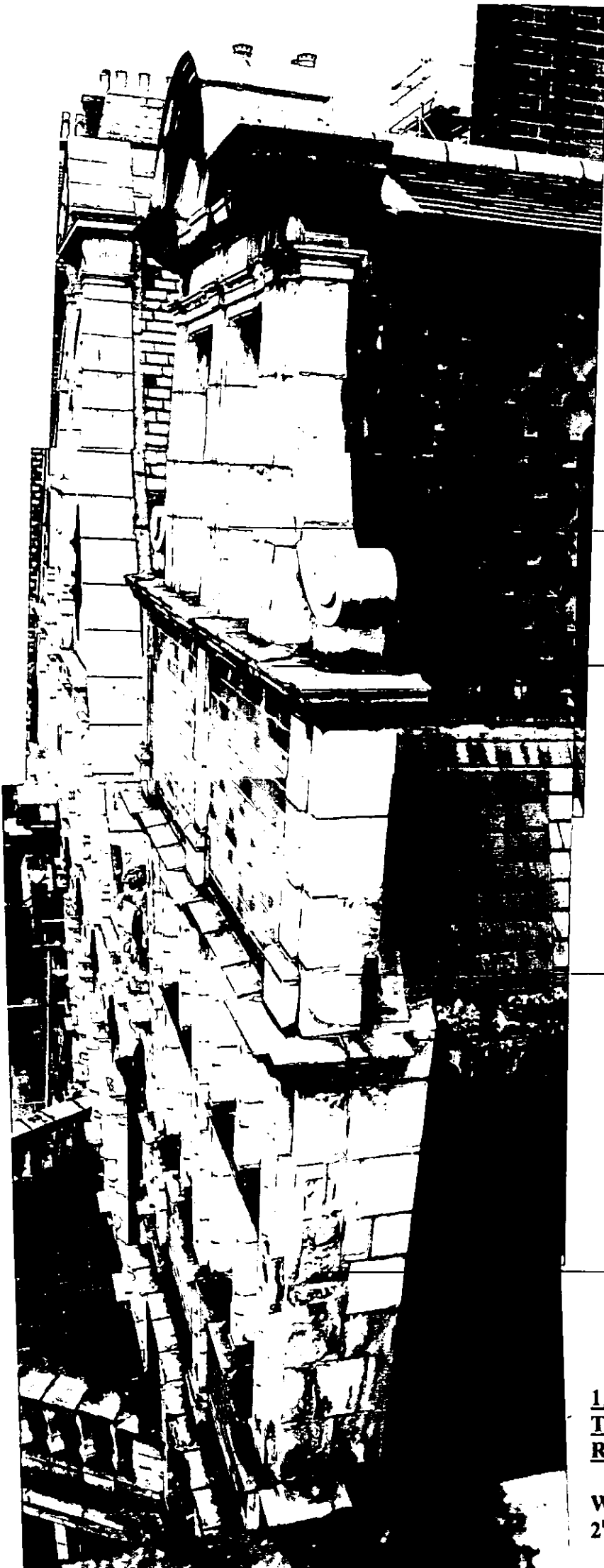
DELEGATED
APPROVAL
22 MAY 2000

20 No. Mortar
repairs to plain
terracotta units o
the front elevatio

IP701-42A

COLLINGHAM GARDEN
terracotta & Brick Cleaning &
repair

WEST (ROAD) FRONT
Bay 1st, 2nd & 3rd Floors



DELEGATED
APPROVAL
22 MAY 2000

Resin inject
fractured terracotta
units.

Re-point open joints
between terracotta
units.

Consolidation of 50
friable terracotta
units.

IP501342A

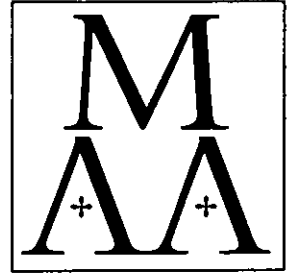
Replacement of two
missing terracotta
scroll brackets.

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

WEST (ROAD) FRONT
2nd and 3rd floor

Façade cleaning
using mild detergents
and hand scrubbing
with medium
pressure rinsing
using the DOFF
superheated water
system.

DECEASED
APPROVAL
22 MAY 2000



IP70142A

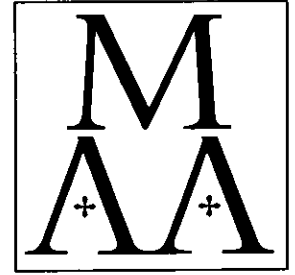
11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

WEST (ROAD) FRONT
Basement Bay

Façade cleaning using mild detergents and hand scrubbing with medium pressure rinsing using the DOFF superheated water system.

Consolidation of 50 friable terracotta units.

90 No. mortar repairs to moulded terracotta units on the rear elevation.



Flaunching to chimney stacks.



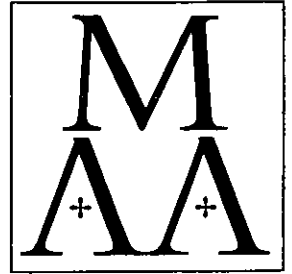
Decoration to timber windows.

Decoration to balustrade.

Lead cover flashing to leading edge of first floor balcony on rear elevation.

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning & Repair

EAST (GARDEN) FRONT
1st, 2nd & 3rd Floors

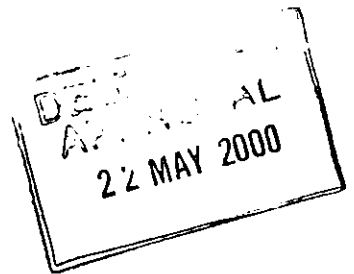


Decoration to balustrade.

Lead cover flashing to leading edge of first floor balcony on rear elevation.

Small areas of brick re-pointing required.

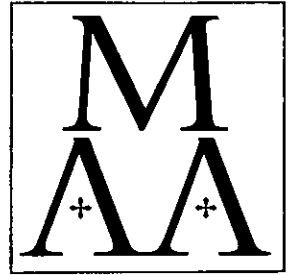
90 No. mortar repairs to moulded terracotta units on the rear elevation.



15201-2A

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning & Repair

EAST (GARDEN) FRONT
Ground & Basement 47.



Example of where mortar repairs to moulded terracotta units are required.

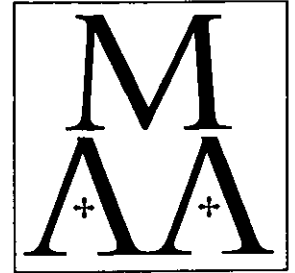


Re-pointing of joint between terracotta units.

15/20/00/24

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning & Repair

EAST (GARDEN) FRONT
Ground Floor window cills 31.



DELEGATED
APPROVAL
24 MAY 2000

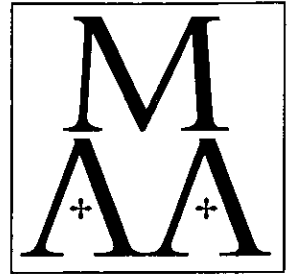


Replacement of 10
terracotta units to
basement window
cills.

1870146A

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

EAST (GARDEN) FRONT
Ground Floor window cills.



Consolidation of friable terracotta units.



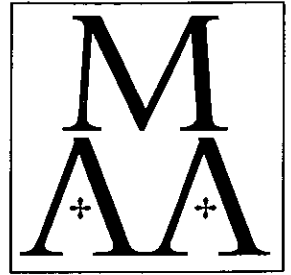
DELEGATED
APPROVAL
22 MAY 2000

Example of where mortar repairs to moulded terracotta units are required

1750172A

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning & Repair

EAST (GARDEN) FRONT
Ground Floor window cils



DELEGATED
APPROVAL
22 MAY 2000

Replacement of
drainage pipe.

15901942A

11 COLLINGHAM GARDENS
Terracotta & Brick Cleaning &
Repair

EAST (GARDEN) FRONT
Ground & 1st

48.

FACSIMILE MESSAGE

TO: LB. K&C. Planning Ms Hilary Bell
Fax No 0207-361-3463 Tel No:0207-361-2341
FROM: Eric Watts - Martin Ashley Architects
DATE: 25-11-03 Page 1



MARTIN ASHLEY
ARCHITECTS
THE STABLES
FRIARS STILE ROAD
RICHMOND
SURREY TW10 6NE
Tel: 020 8948 7788
Fax: 020 8948 5520
www.martinashley
architects.co.uk

SUBJECT: 11 Collingham Gdns London SW5

Copy to:

*Telephoned MAA 28.11.03.
Material alteration LBC required.
HFB 28.11.03*

Dear Hilary,

I enclose a copy of our drawing showing the south elevation and a sketch of roof glazing.

The client has asked if the existing georgian wired fixed panel could be changed for an opening roof light, to allow access to a drainage outlet, which blocks frequently due to 2 large rwps which discharge there.

We would like to know if this work would require listed building consent or whether this variation could be dealt with by an exchange of letters.

The roof glazing is not visible from the street nor from the adjacent property as it is hidden behind a brick parapet and the sloping roof to no. 10.

We propose installing a conservation rooflight, in a lead covered plywood surround.

I shall telephone you shortly to discuss this matter.

Regards

Eric Watts
Eric Watts
Martin Ashley Architects

EX DIR	HDC	TP	CAC	AD	CLU	AO AK	82
R.B. K.C.	27 NOV 2003				PLANNING		
N	C	SW	SE	APP	IO	REC	
			ARB	FPLN	DES	FEEs	

MARTIN ASHLEY
Dipl Arch RIBA
PETER SCOTT
B Arch RIBA
STEPHEN TWINE
B Arch (Hons) RIBA



GLAZING
TO
STAIRS
←

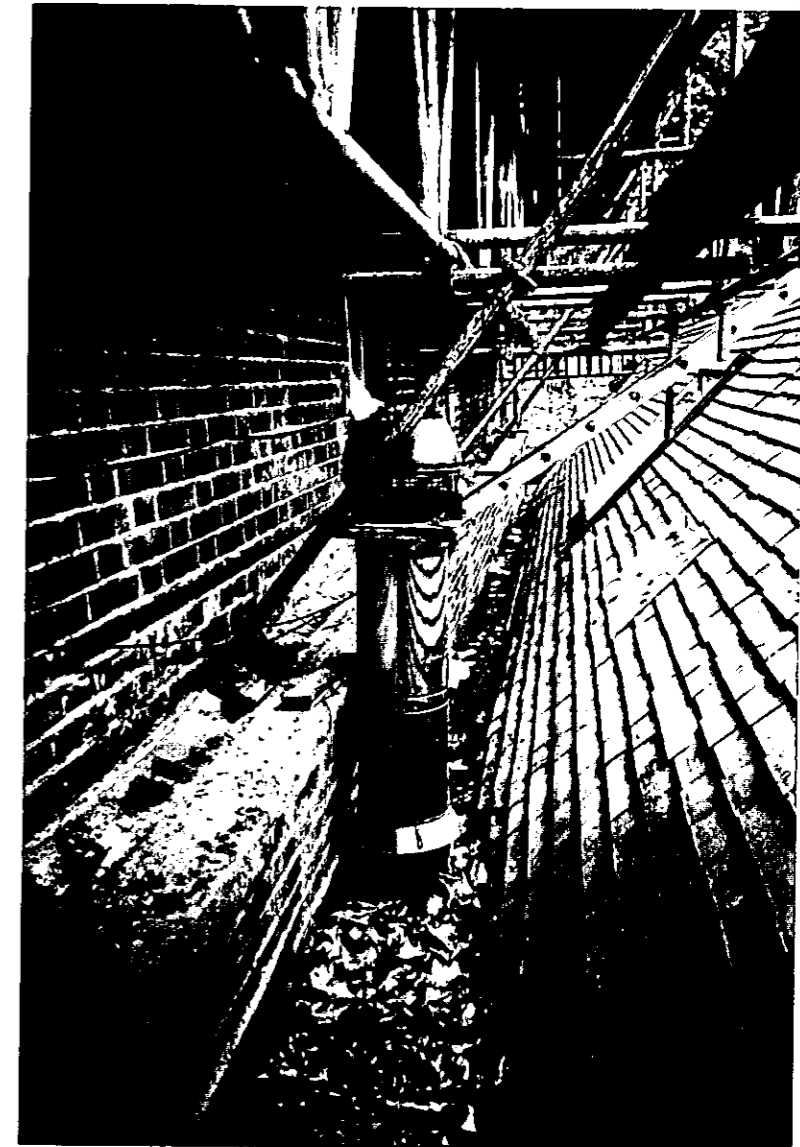
SLOPING
GLAZING →

PARAPET
WALL →

SLOPING GLAZING ↗



EAST
RWP



WALL
TO NO. 11 ↑

VALLEY
GUTTER ↑

ROOF TO
NO. 10 ↑

ELEVATION TO STAIR WINDOW

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B.	27 NOV 2003			PLANNING		
K.C.						
N	C	SW	SE	APP	IO	REC
			ARB	FPLN	DES	FEES

WEST
RWP →



SLOPING
GLAZING

VIEW EAST ALONG
SIDE OF NO. 11

EAST
RWP

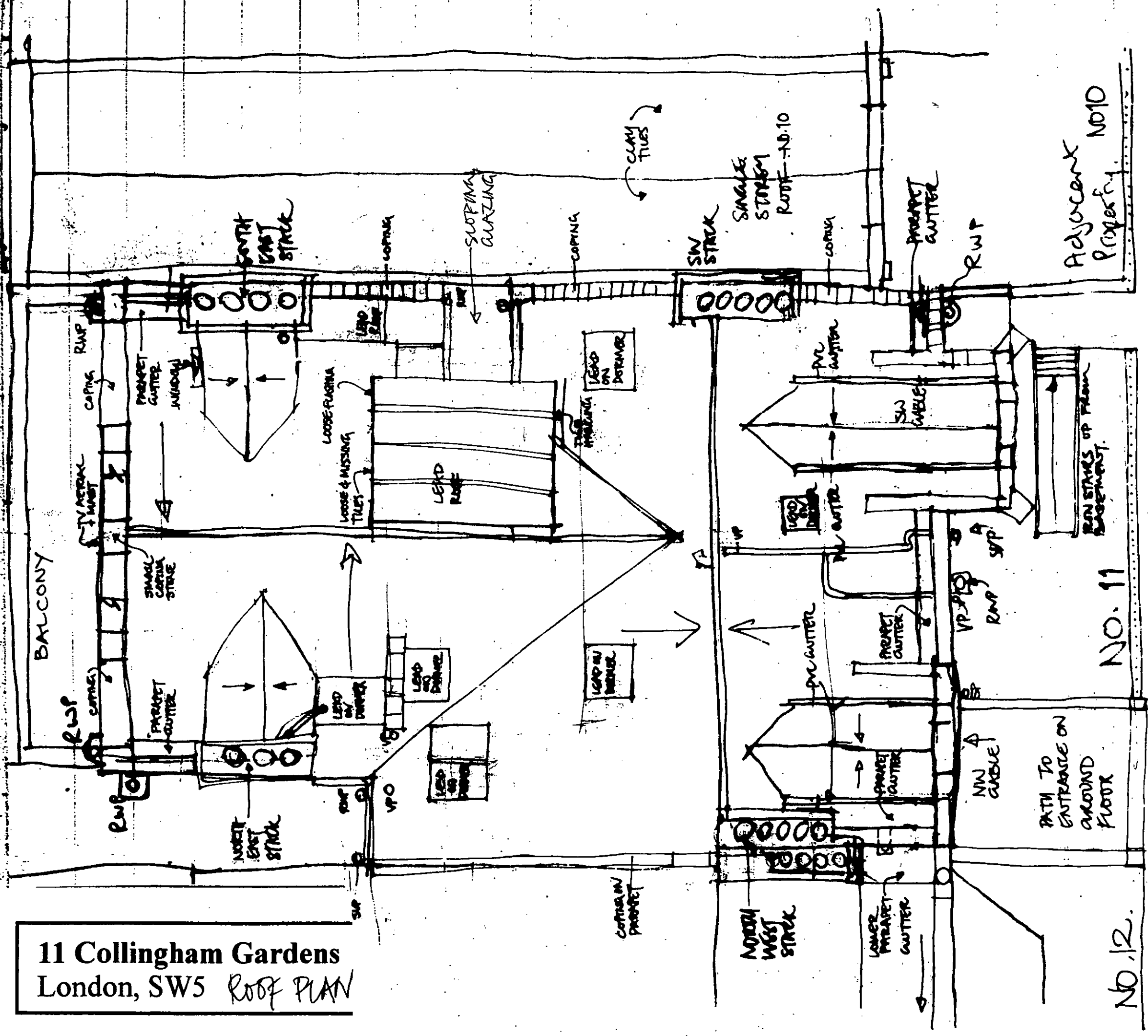
11 Collingham Gardens
London, SW5 - SOUTH STAIRS

PARAPET WALL ↑

CLIENT: Collingham Services Ltd
DATE: NOV 03
SCALE: 1/25
DWG: 2080



**11 Collingham Gardens
London, SW5 ROOF PLAN**



NO. 11

NO. 12

EX DIR	HBC	TP	CAC	AD	CLU	AO	AK
R.B.	K.C.	27 NOV 2003				PLANNING	
N	C	SW	SE	APP	IO	REC	
		ARB	FPLN	DES	FEES		

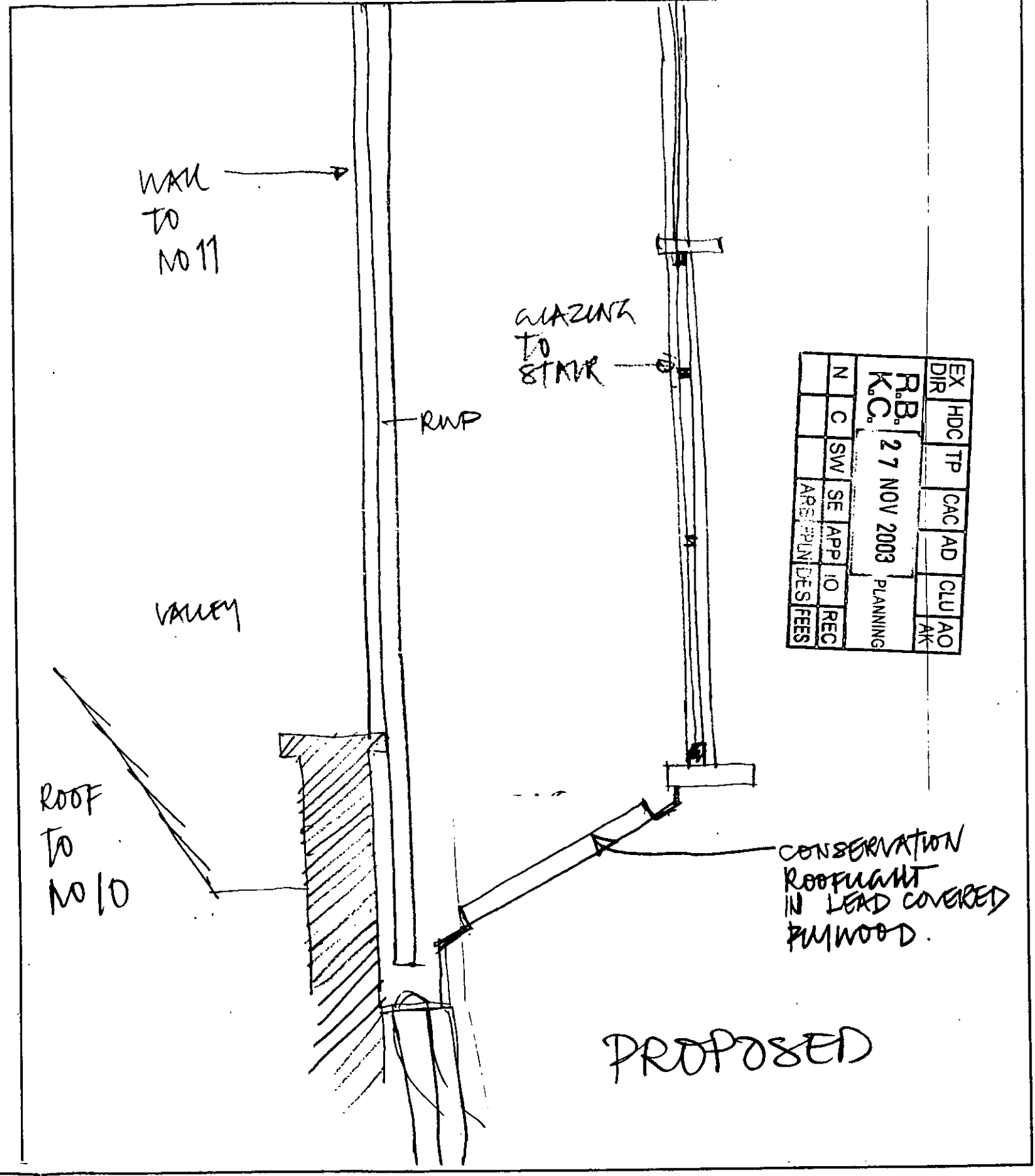
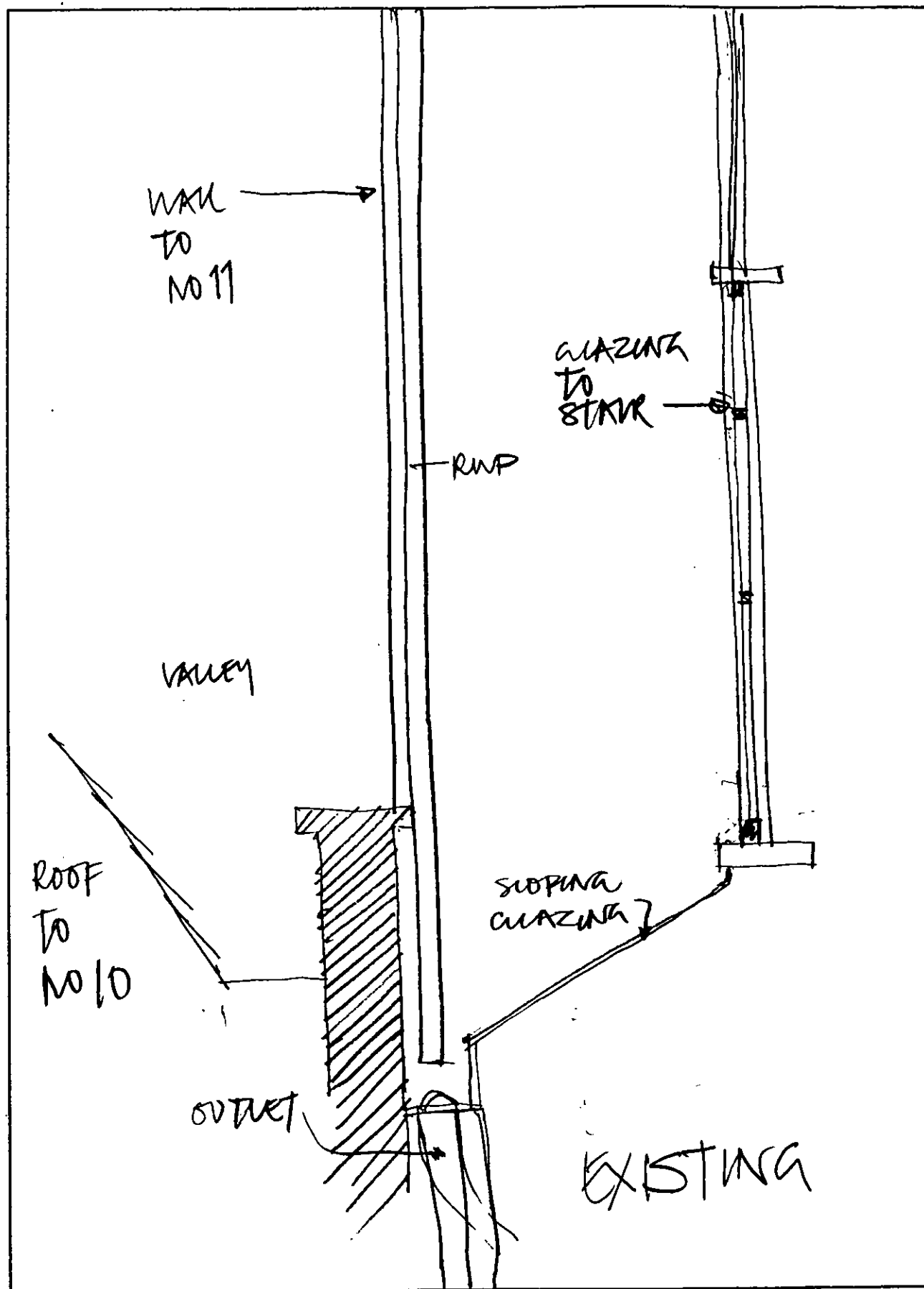
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CLIENT: Collingham Services Ltd
 DATE: NOV 03
 SCALE: NTS
 DWG: 2000

PAVEMENT

PATH TO ENTRANCE ON GROUND FLOOR

Adjacent Property NO.10



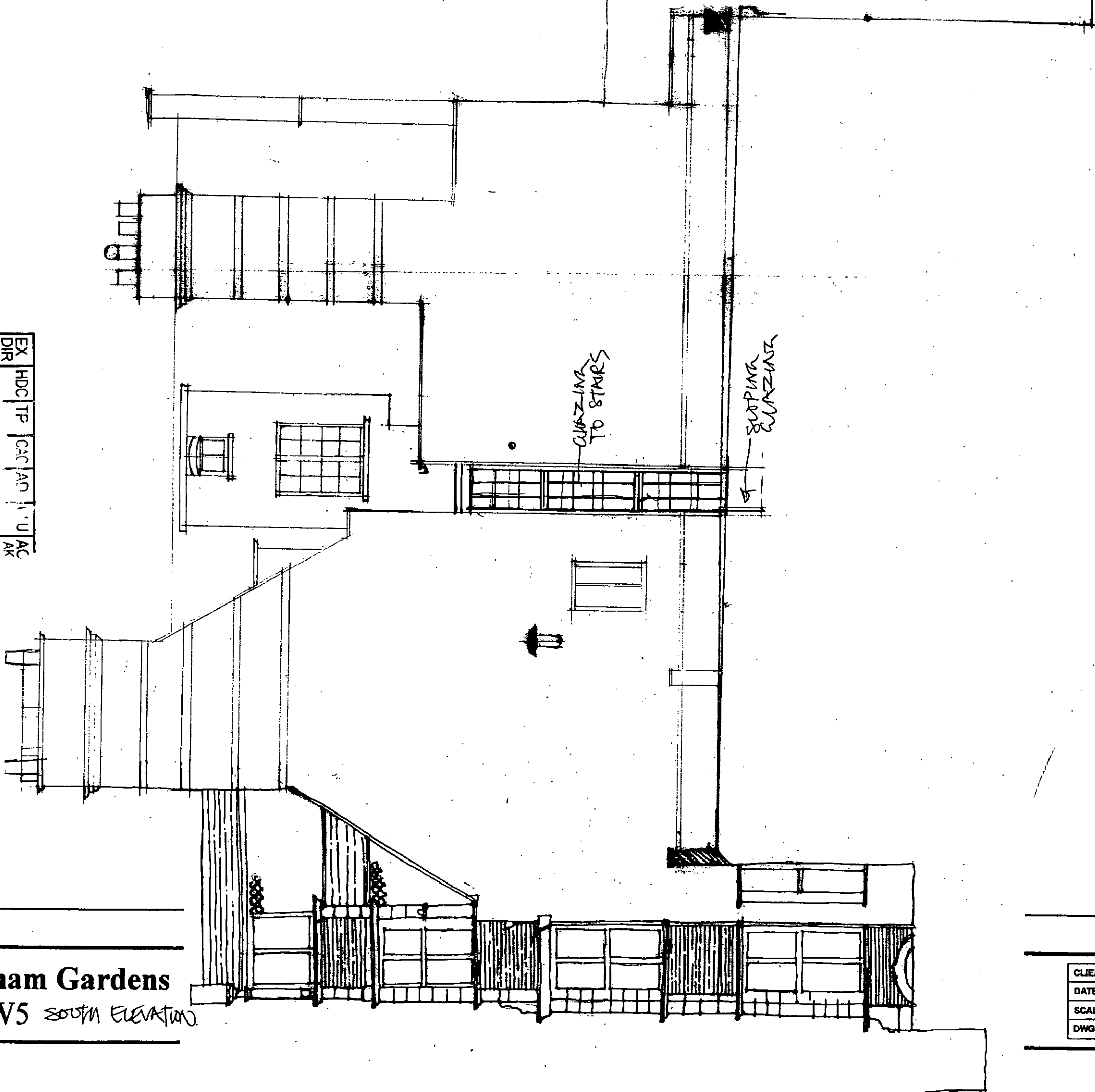
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R.B. K.C.			27 NOV 2003		PLANNING	

11 Collingham Gardens
London, SW5

DETAIL OF SLOPING GLAZING

CLIENT: Collingham Services Ltd
DATE: MV 03
SCALE: NTS
DWG: 2060





EX DIR	HDC	TP	CAC	AD	U	AC
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11 Collingham Gardens
 London, SW5 *south elevation*

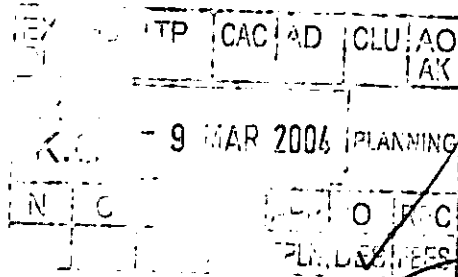
CLIENT: Collingham Services Ltd	
DATE: <i>MV 03</i>	
SCALE: <i>1/25</i>	
DWG: 2060	

2060/J/17

Ms.Hilary Bell
Development Control South West Team
Royal Borough of Kensington and Chelsea
Planning & Conservation
The Town Hall, Hornton Street
London W8 7NX

8th March 2004

Dear Hilary,



**11 COLLINGHAM GARDENS, LONDON SW5
TERRACOTTA & BRICK CLEANING REPAIRS**

Further to our telephone conversation on 3rd March, when the above premises were discussed.

As you will recall I informed you that the current situation of the works, on site is as follows. Following the JOS clean, a detailed condition survey of all elevations was carried with the contractor and a scheduled report was produced. Defective terracotta blocks were identified as requiring replacement, mortar repair or consolidation with Wacker OH solution.

All other repair work to brickwork, roofing & drainage was also recorded. The survey document was then used to obtain quotations from a terracotta manufacturer and firm prices from the main contractor.

When firm prices were received, they were found to be in excess of the client budget, and so other terracotta manufacturers have now been invited to quote for this work.

In order to progress the project we have suggested these various options to the client-

- 1-phase the work, one elevation at a time
- 2-reduce the number of replacement terracotta units & replace them with repairs.
- 3- use the budget on replacement terracotta at inaccessible high level areas.
- 4-carry out mortar repairs at low level,

We have informed our clients that not all defective terracotta could be replaced solely by plastic mortar repairs. In particular those units which are subject to frost attack like cills, copings, 2 sided units, and structural units such as lintels, & voussoirs to arches. Should repairs to these items fail then there would be a risk of falling debris.



MARTIN ASHLEY
ARCHITECTS

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PETER SCOTT
B Arch RIBA

STEPHEN TWINE
B Arch (Hons) RIBA

VAT REGISTERED: 649 3928 88



We have also advised our clients that although the mortar repairs will initially be a matching colour to the surrounding terracotta, they will fade with time and will not have the sheen of fireskin, and will darken when wet. The much shorter lifespan of repairs against using terracotta has also been explained .

We are aware that our clients budget will be the deciding factor in how much and what type of work will be carried out , but we are concerned that if they opt for repairs then the building could have a patchy appearance.

Lastly, I understood from you that it may be possible to have mortar repairs zero rated for VAT, if it is described as a new material.

Should you require further information, do let me know.

Yours sincerely

A handwritten signature in black ink that reads 'Eric Watts' with a smaller 'for' written below it.

Eric Watts
Martin Ashley Architects
CC.Mr. Mankelow

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Ask Hilary for note to file stating date of meetings & what was discussed or agreed. - anything other than schedule of works agreed?



RBKC
District Plan Observations
CONSERVATION AND DESIGN

Address 11, Collingham Gardens, S.W.5.	Appl. No. SW. TP/98/1442	L.B. II	C.A. 11B	N Q S ✓
Description Conditions of Consent.	Code			

The Conditions of Consent, as set out in the file (see Yellow slip attached) have now been carried out to the satisfaction of both myself & Don Binico of E.4.

A letter discharging consent will need to be sent to the Architect, [Martin Atkey], who will then pass a copy on to the freeholder of the property.

#18 31.10.03

FACSIMILE MESSAGE

TO: LB. K&C. Planning Ms Hilary Bell
Fax No 0207-361-3463 Tel No:0207-361-2341

FROM: Eric Watts - Martin Ashley Architects

DATE: 12-09-03 Page 1



MARTIN ASHLEY
ARCHITECTS
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SURREY TW10 6NE
Tel: 020 8948 7788
Fax: 020 8948 5520
www.martinashley
architects.co.uk

SUBJECT: 11 Collingham Gdns London SWS

Copy to:

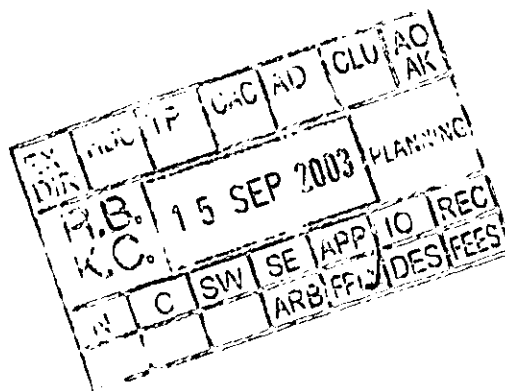
Dear Hilary,

Further to your telephone call today , I enclose a copy of the Planning Consent, dated 22 May 2000.

Regards

Eric Watts
Eric Watts
Martin Ashley Architects

Joss deary-



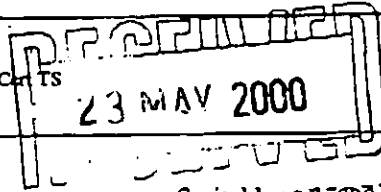
MARTIN ASHLEY
Dipl Arch RIBA
PETER SCOTT
D Arch RIBA
STEPHEN TWINE
B Arch (Hons) RIBA

VAT REGISTERED: 647 192A AN

PLANNING AND CONSERVATION

THE TOWN HALL HORNTON STREET LONDON W8 7NX

Executive Director M J FRENCH FRICS Dip TP MRTPI CILT TS



**THE ROYAL
BOROUGH OF**



Martin Ashley Architects,
The Stables,
Friars Stile Road,
Richmond,
Surrey TW10 6NE

Switchboard: 020-7937-5464

Direct Line: 020-7361-2699

Extension: 2699

Facsimile: 020-7361-3463

**KENSINGTON
AND CHELSEA**

22 MAY 2000

My Ref: TP/98/1442/CLBA/26/555
Your Ref:

Please ask for: South West Area Team

Dear Sir/Madam,

PLANNING (LISTED BUILDING AND CONSERVATION AREAS) ACT 1990- SECTION 7
WORKS OF BUILDINGS OF SPECIAL ARCHITECTURAL OR HISTORIC INTEREST
(DL1)

The Borough Council, hereby consent to the works to the Listed Buildings referred to in the undermentioned schedule, subject to the conditions set out therein and in accordance with the plans submitted, save in so far as may otherwise be required by the said conditions. Your attention is drawn to the enclosed Information Sheet.

SCHEDULE

DEVELOPMENT: Cleaning of terracotta and brickwork and repairs to joinery.

SITE ADDRESS: 11 COLLINGHAM GARDENS, KENSINGTON, S.W.5

RBK&C Drawing Nos: TP/98/1442/A

Applicant's Drawing Nos: Unnumbered Schedule of Work (received 28/06/99)

Application Dated: 23/07/1998

Application Completed: 30/07/1998

Application Revised: 28/06/1999

**FULL CONDITION(S), REASON(S) FOR THEIR IMPOSITION AND INFORMATIVE(S)
ATTACHED OVERLEAF**



MARTIN ASHLEY
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2060/J/13
Ms.Hilary Bell
Development Control South West Team
Royal Borough of Kensington and Chelsea
Planning & Conservation
The Town Hall, Hornton Street
London W8 7NX

02 September 2003

Dear Hilary,

**11 COLLINGHAM GARDENS, LONDON SW5
TERRACOTTA & BRICK CLEANING REPAIRS**

I enclose a copy of our photosheet 1 , showing the terracotta made by Golem for NBS and used at Harrods Depository.

The photos show the variation between blocks ,and the match between existing and new.

Should you require further information, do let me know.

Yours sincerely

Eric Watts
Martin Ashley Architects

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K.C.					
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77

MARTIN ASHLEY
Dipl Arch RIBA
PETER SCOTT
B Arch RIBA
STEPHEN TWINE
B Arch (Hons) RIBA

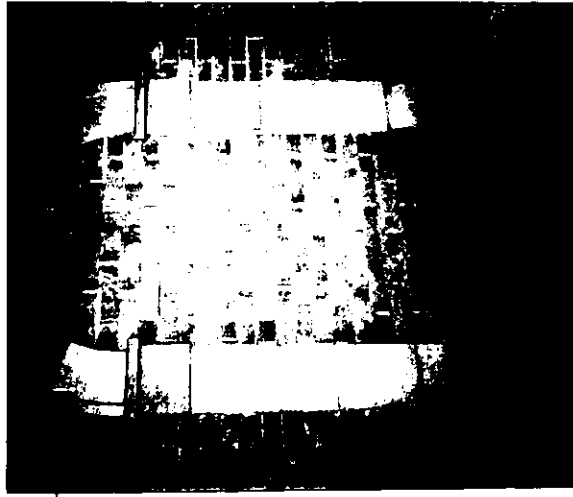


EXISTING TERRACOTTA

NEW TERRACOTTA & NEW BRICKWORK



NEW TERRACOTTA & NEW BRICKWORK - TO ROOF EXTENSION



NEW TERRACOTTA - NOTE COLOUR VARIATIONS IN BRICK WALLING



EXISTING TERRACOTTA & INFILL NEW UNITS

NEW TERRACOTTA - INFILL CUT ON SITE



NEW TERRACOTTA INFILL

EXISTING TERRACOTTA CWC

11 Collingham Gardens - VISIT TO HARRODS DEPOSITORY
NBS TERRACOTTA

CLIENT: Collingham Services Ltd
DATE: AUG 2003
SCALE: NTS
DWG: 2000 / PSI



FACSIMILE MESSAGE

TO: L.B. K&C. Planning Ms Hilary Bell
Fax No 0207-361-3463 Tel No:0207-361-2341
FROM: Eric Watts - Martin Ashley Architects
DATE: 10-09-03 Page 1



MARTIN ASHLEY
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SUBJECT: 11 Collingham Gdns London SW5

Copy to:

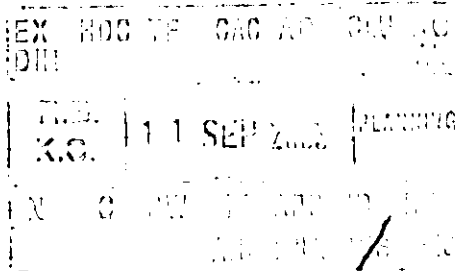
Dear Hilary,

Following our telephone conversation today, I spoke to the contractor PAYE, who informed me that the workmen were cleaning the east , garden elevation.

They informed that they have completed the west elevation, Doff clean. A Jos sample area will be carried out shortly and I have arranged to view it on 17th September 09.00, you would be welcome to attend. Perhaps you could let me know if you will be coming.

Regards

Eric Watts
Martin Ashley Architects



MARTIN ASHLEY
Dipl Arch RIBA
PETER SCOTT
B Arch RIBA
STEPHEN TWINE
B Arch (Hons) RIBA

VAT REGISTERED: 649 3926 88

Hilary Bell.

Hilary,

I enclose this, as your Fax
was not working

Regards

Tim ~~Walters~~

WITH COMPLIMENTS

18 - Aug 03



MARTIN ASHLEY
ARCHITECTS

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Fax: 020 8948 5520

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architects.co.uk

FACSIMILE MESSAGE

TO: LB. K&C. Planning Ms Hilary Bell
Fax No 0207-361-3463 Tel No:0207-361-2341
FROM: Eric Watts – Martin Ashley Architects
DATE: 18-08-03 Page 1




MARTIN ASHLEY
ARCHITECTS
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SURREY TW10 6NE
Tel: 020 8948 7788
Fax: 020 8948 5520
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architects.co.uk

SUBJECT: 11 Collingham Gdns London SW5
Copy to: Don Bianco English Heritage Fax No:0207-973-3792

Dear Hilary,

I enclose a copy of the technical data from NBS regarding Golem terracotta,
for your information.

Regards


Eric Watts
Martin Ashley Architects

EX DIR | HDC | TP | CAC | AD | CLU | AO | AK
R.B. | K.C. | 19 AUG 2003 | PLANNING
N | C | SW | SE | APP | IO | REC
ARB | FPLN | DES | FEES

MARTIN ASHLEY
Dipl Arch RIBA
PETER SCOTT
B Arch RIBA
STEPHEN TWINE
B Arch (Hons) RIBA

GOLEM Technical details: Hand Moulded Terracotta

Frost Resistance: Fully Frost Resistant to DIN 105

Water Absorption: Max 8% approx.

Density: 1900 Kg/m³ approx.

Tolerances: Dimensional tolerances are max. +/- 2%
(meets requirements in accordance with BS 5385 Part 2 1991)

Colour: Available in many colours (to approved colour sample).
It should be noted that all units are manufactured from natural clays, slight shade variations can therefore be expected from the approved reference sample. The acceptable range can be agreed prior to commencement of manufacture.

Joint width: Can be determined by the design team, from 10mm down to 5mm to suit design requirements.
It should be noted that joints less than 10mm wide will require better manufacturing tolerances than those produced as standard units (i.e. +/- 2%). Tighter tolerances can be achieved by machine cutting oversized units to approx. +/- 1mm, which will involve additional costs.

Fixings: Units can easily be manufactured to accommodate the majority of proprietary mechanical fixings. Stainless steel fixings should always be specified for use with terracotta.

For further information and material samples, etc please contact
NBS Leatherhead office Tel: 01372 224100.

GOLEM Hand Moulded Terracotta

Background: The Golem hand making factory located in Sierversdorf Germany has been producing high quality architectural terracotta, faience (glazed terracotta) and art nouveau tiles for over 40 years. Golem's sister factory located in Altgietzen Germany produces bespoke bricks, pavers and tiles.

The vast majority of Golem's work is purpose made using traditional hand moulded production methods and the products are often specified for high quality refurbishment of listed building facades throughout Europe, in addition to new build projects requiring the distinct aesthetics of this material.

Manufacture: The initial stage of manufacture involves the production of oversized timber moulds made to the exact shape and profile of either the piece to be matched or the new component, from which plaster moulds are then made. The oversizing is accurately calculated for each piece to allow for the shrinkage, which naturally occurs during the drying and firing cycles..

Specially prepared clay is then carefully hand pressed into the plaster moulds and built up in layers to the desired thickness to form a complete three dimensional component.

Golem use up to 30 different types and colours of clay to achieve the desired final specification and the components are first air dried in storage compartments located above the kilns, prior to being placed in either the gas fired periodical kilns or circular "Hoffmann" type kilns for firing.

The products are fired between 1000 degrees and 1240 degrees C depending upon the clay type.

The completed units are visually inspected under the factory quality control procedures prior to being packaged, protected and shrink wrapped on pallets, ready for delivery to site on air suspension articulated vehicles.

All products are regularly tested to meet the relevant German DIN standards for frost resistance, water absorption, strength etc.

FACSIMILE MESSAGE

TO: LB. K&C. Planning Ms Hilary Bell
Fax No 0207-361-3463 Tel No:0207-361-2341

FROM: Eric Watts - Martin Ashley Architects

DATE: 15-08-03 Page:1

SUBJECT: 11 Collingham Gdns London SW5

Copy to: PKM

Fax No:



MARTIN ASHLEY
ARCHITECTS

THE STABLES
PRIARS STILE ROAD
RICHMOND
SURREY TW10 6NE

Tel: 020 8948 7788

Fax: 020 8948 5520

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architects.co.uk

Dear Hilary,

We visited Harrods Depository with PAYE, yesterday, and viewed the replacement terracotta, made by Golem for NBS, which is the type that PAYE propose to use on this project.

Much of the terracotta had been installed, some as replacement between existing blocks other as part of the new roof extension. There were also blocks waiting to be installed, stacked on the roof, which we were able to handle. It was quite apparent that they were made from clay and had been fired.

Julie Dell, Project Engineer, showed us around, Mowlem are converting the building into luxury apartments. Julie told us that she had visited the factory in Eastern Germany, and was most impressed with quality of work. The manufacturing technique was the same as Shaws.

She also said, that Golem have another factory which produces extrude cold cast blocks, this product was not used, because it was considered to be too uniform in colour and was not made in the traditional way.

Julie said that the conservation officer, at Westminster, on this project was Keith O'Malley.

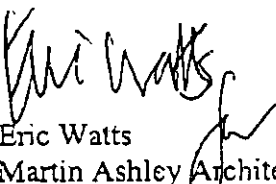
We were impressed by the quality of the terracotta, which had slight variations in colour, consistent with original blocks. PAYE pointed out that the blocks were installed by bricklayers, not familiar with terracotta- this would explain the uneven positions of blocks.

PAYE informed us that they intend to remove a defective block, of average colour, which will be sent to NBS for matching. Golem will then produce a range of samples for our approval.

We are awaiting technical data from NBS which we will send to you on receipt. I would suggest that you speak to Mr.O'Malley and perhaps he could arrange a site visit for you and Don Bianco.

The scaffolding should be completed by the end of next week, we could then arrange to meet you, and Don, on site to inspect the condition of the terracotta, prior to cleaning. We will also bring the sample of terracotta from Golem for you to see.

Regards


Eric Watts
Martin Ashley Architects

MARTIN ASHLEY
Dipl Arch RIBA

PETER SCOTT
D Arch RIBA

STEPHEN TWINE
R Arch (Hons) RIBA

VAT REGISTERED: 549 3928 91

FACSIMILE MESSAGE

TO: LB. K&C. Planning Ms Hilary Bell
Fax No 0207-361-3463 Tel No:0207-361-2341

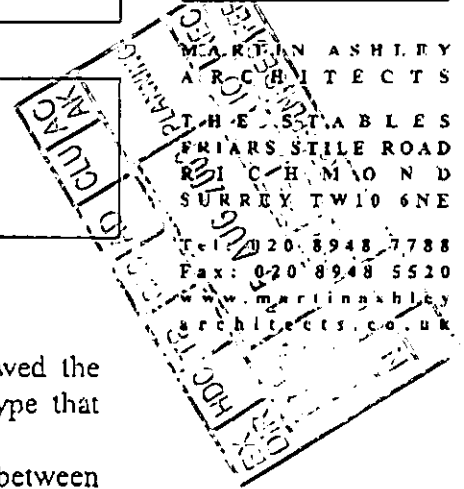
FROM: Eric Watts - Martin Ashley Architects

DATE: 15-08-03 Page 1



SUBJECT: 11 Collingham Gdns London SW5

Copy to: Fax No:



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Regards

Eric Watts
Martin Ashley Architects

MARTIN ASHLEY
Dipl Arch RIBA

PETER SCOTT
R Arch RIBA

STEPHEN TWINE
R Arch (Hons) RIBA

VAT REGISTERED. 649 3928 88

Miss Hilary Bell - Directorate of Planning

4-08-03



Dear Hilary,

I enclose letter from Faye

Received Today

Regards
Eri Wally

EX DIR	HDC	TP	CAC	AD	CLU	AD	AK
R.B. K.C.	5 AUG 2003		PLANNING				
N	C	SW	SE	APP	IO	REC.	
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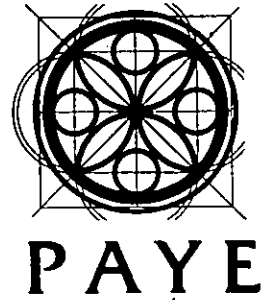
MARTIN ASHLEY
ARCHITECTS

THE STABLES
FRIARS STILE ROAD
RICHMOND
SURREY TW10 6NE

Tel: 020 8948 7788
Fax: 020 8948 5520
www.martinashley
architects.co.uk



By Appointment to
Her Majesty The Queen
Building Facade Restoration
and Conservation



RECEIVED
04 AUG 2003

Martin Ashley Architects
The Stables
Friars Stile Road
Richmond
SURREY.TW10 6NE

1st August 2003

Ref: CG/LAC/23005/L15130

For the attention of Mr. E. Watts

Dear Sirs,

RE: 11, COLLINGHAM GARDENS

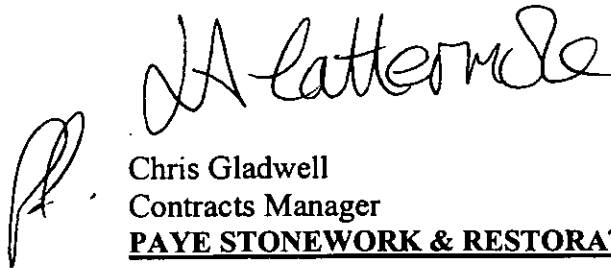
Please find enclosed additional information regarding the terracotta provided by NBS as requested.

The photographs show units produced for the Harrods Depository project. A site visit has been arranged for 11am on 8th August 2003.

We can confirm the material is hand pressed kiln fired terracotta produced in the traditional manner. A sample of the material is enclosed.

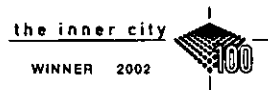
Should you have any queries please do not hesitate to contact the undersigned.

Yours faithfully,


Chris Gladwell
Contracts Manager
PAYE STONWORK & RESTORATION LTD.

EX DIR	HDC	TP	CAC	AD	CLU	AO	AK
R.B.	5 AUG 2003			PLANNING			
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HARB PLAN DES FEES							

Encl.



FS 58104

PAYE Stonework & Restoration Ltd
Stationmasters House, Mottingham Station Approach, London SE9 4EL
Tel: 020-8857 9111 Fax: 020-8857 9222
e-mail: PAYE@payestone.co.uk
Website: www.payestone.co.uk

Reg No. 2743908
VAT No. 608 0053 77



PAYE				
RECEIVED ON				
31 JUL 2003				
Original	CG	COPIES		

30th July, 2003

PAYSTONE AND RESTORATION
 Station Master House
 Mottingham Station Approach
 London
 SE9 4EL

For attention of Chris Gladwell

Dear Chris

RE: Collingham Gardens SW5

Further to our telephone conversation today we would confirm that there is no current European Standard existing for the manufacture of glazed terracotta, however all production from the Golem Factory is carried out in accordance with the current DIN standard.

The main difference between the British Standard and German DIN standards is that the frost resistance test for the BS is based upon 50 freeze/thaw cycles while the DIN is based upon 100 freeze/thaw cycles testing, DIN standard being a far more stringent procedure.

If you have any questions, or require further details please do not hesitate contact me at our London office.

Kind regards


 Paul Harvey



REGIONAL OFFICE:

Granary House
 18A North Street
 Leatherhead
 Surrey
 KT22 7AW
 Tel 01372 224100
 Fax 01372 224101

REGISTERED OFFICE:

Grainger House
 Acorn Business Centre
 Heaton Lane
 Stockport
 Cheshire
 SK4 1AT
 Tel 0161 476 0301
 Fax 0161 476 0302

Website:

www.british-brick.co.uk

E-mail:

nbs@nbs-group.co.uk
nbs@british-brick.co.uk

ALSO AT:

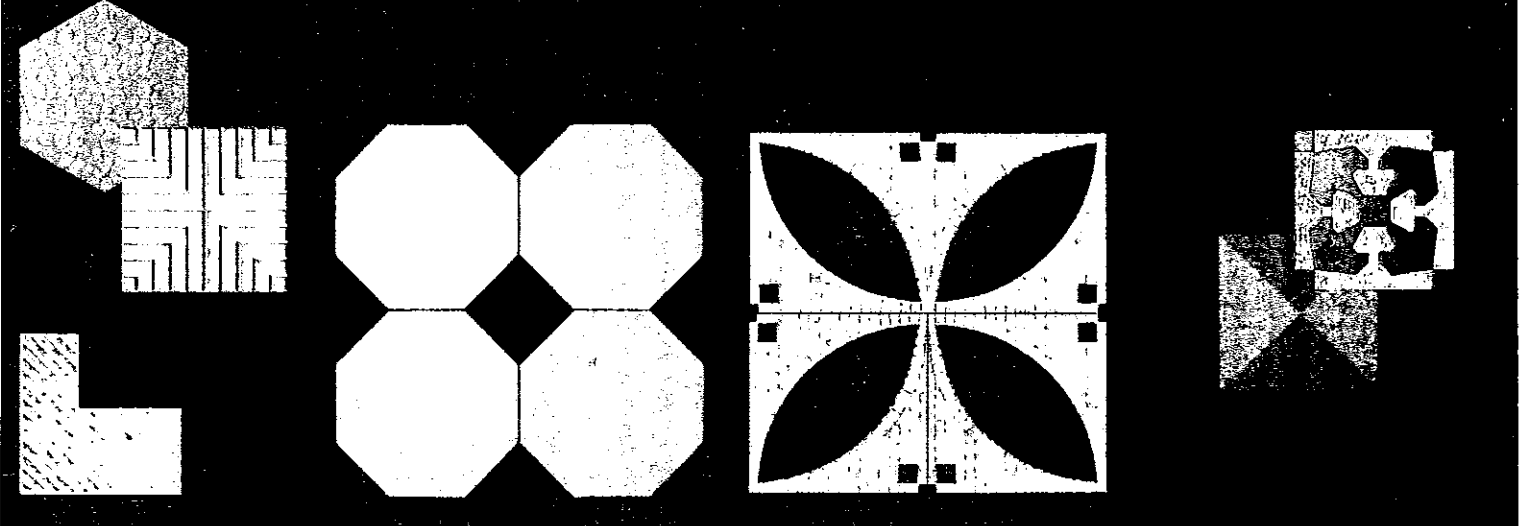
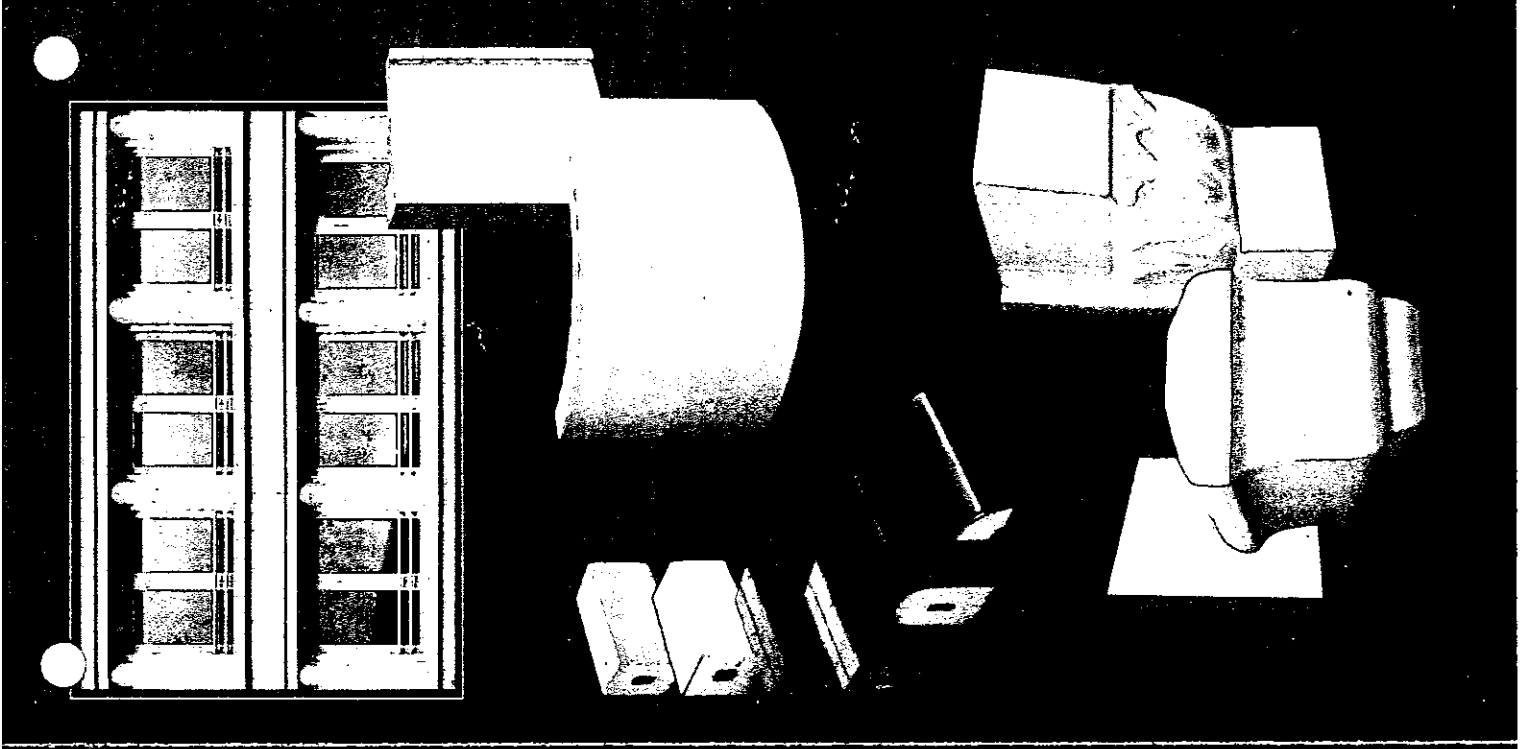
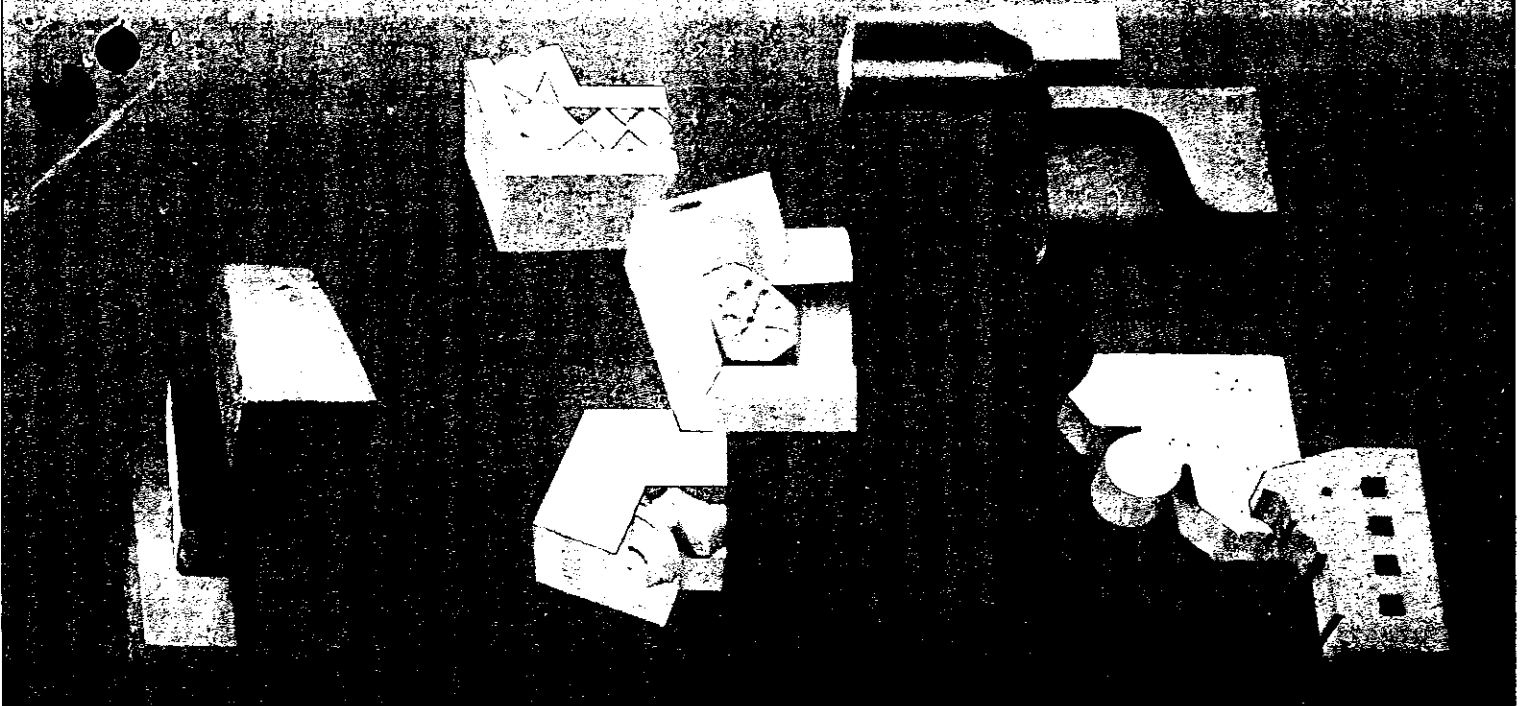
Bolton
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 Nottingham
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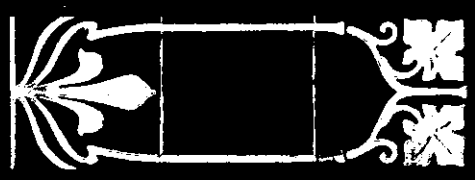
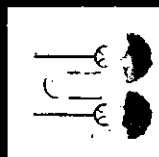
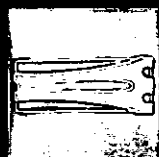
DIRECTORS

P. Bushell (*Managing*)
 D.J. Farrar (*Finance*)
 P. Anders
 C. Arnold
 P.J. Benson
 R. Cardus
 M. Roberts
 T. West
 R. Wilks
 B. Woods

Registered in England
 No.1710152
 Registered office as above
 VAT No. 611 609 370







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Vom einfachen Handstrichziegel, über maschinell produzierte Verblender, Steinzeugfliesen mit Relief oder Intarsien bis zu exaktierten Jugendstilfliesen entstehen die unterschiedlichsten Erzeugnisse in den zwei Betriebsstellen unserer Firma.

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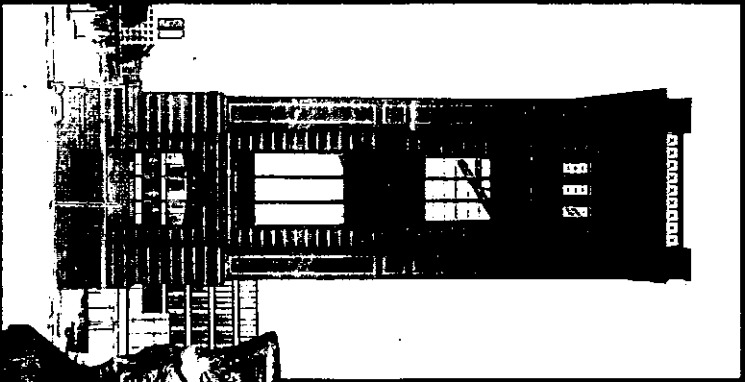
Firmensitz (Manufaktur)
15236 Sieversdorf
Gärtnerweg 1

Tel. 03 36 08 899 10
Fax 03 36 08 899 12

www.golemformziegel.de mail@golemformziegel.de

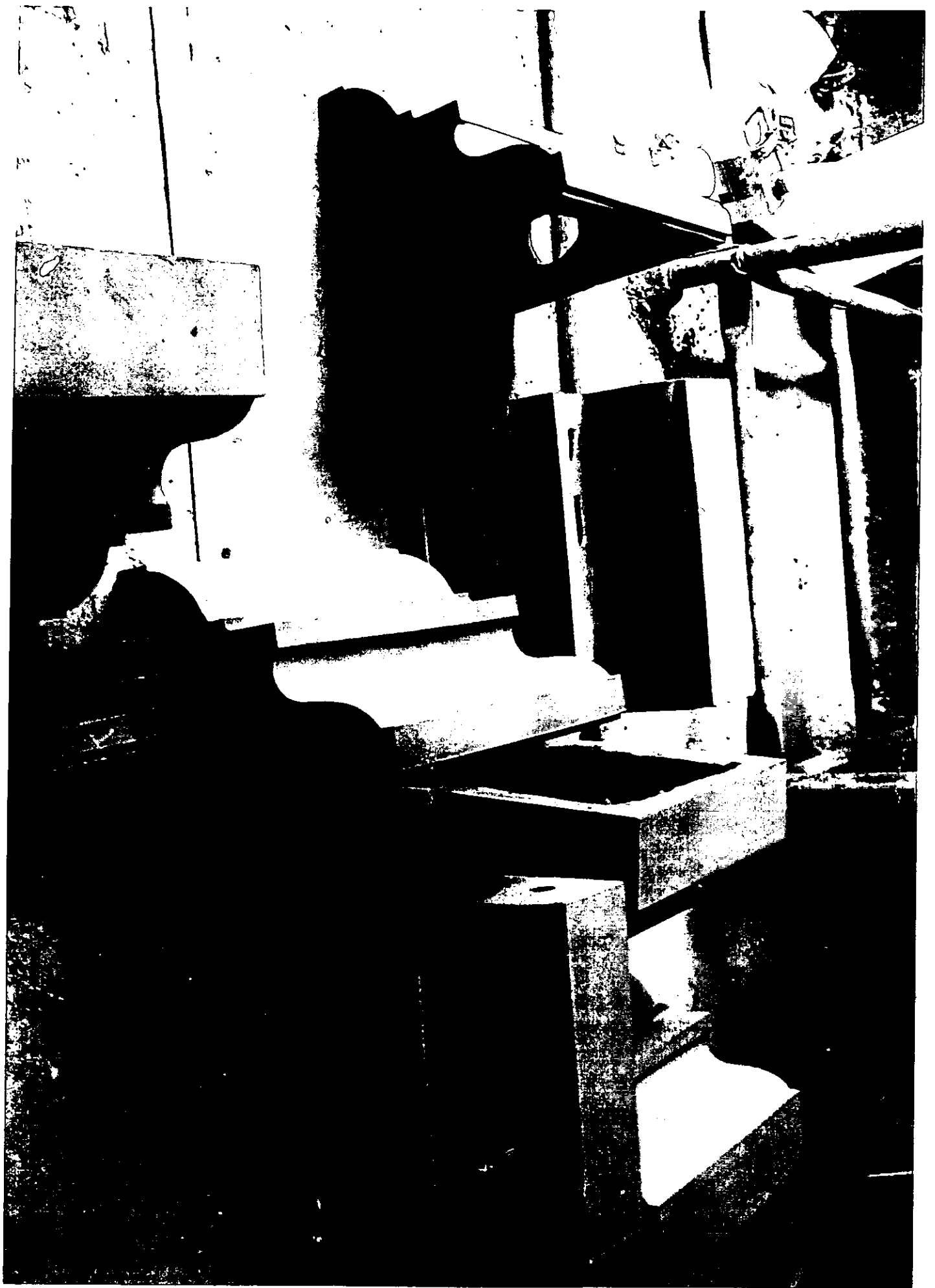
Zweigstelle (Ziegelei)
16259 Altglietzer
Chausseestraße 60

Tel. 03 33 69 7 52 43
Fax 03 33 69 7 52 44









Bell, Hilary: PC-PlanSvc

From: Don Bianco [Don.Bianco@english-heritage.org.uk]
Sent: 31 July 2003 16:52
To: Hilary.Bell@rbkc.gov.uk
Subject: Re: RE: Terracotta Repairs

Hilary

Correct on both counts - I have similar and other concerns about cold cast terracotta or alternative materials. And, yes, there are only 2 companies that make terracotta - that's Shaws and Ibstock - though Redbank do manufacture terracotta for specific products, such as chinmey pots.

This e-mail is intended solely for the above-mentioned recipient and it may contain confidential or privileged information. If you have received it in error, please notify us immediately and delete the e-mail. You must not copy, distribute, disclose or take any action in reliance on it.

English Heritage
Telephone 020 7973 3000
Facsimile 020 7973 3001
www.english-heritage.org.uk

Bell, Hilary: PC-PlanSvc

From: Don Bianco [Don.Bianco@english-heritage.org.uk]
Sent: 30 July 2003 17:33
To: Hilary.Bell@rbkc.gov.uk
Subject: Re: Terracotta Repairs

Hilary

I did receive an enquiry about repairs of terracotta at Collingham Gardens and advised accordingly. One of the options the architect was pressing for was an alternative to the original terracotta, possibly cold cast as advised by PAYE on the basis that it was used at Harrods and has a short procurement time. I was not aware that PAYE had been engaged at Harrods (wasn't it Stonewest?) or that cold cast terracotta was used. I know, though, about the problem with a foreign product passing itself off as terracotta used at the Albert Hall and the noses that were put out of joint as a consequence.

I have not been invited to the Harrods Depository but would have no objection to coming along if it will help inform the appropriate decision at Collingham Gardens, particularly as I have reservations about cold cast terracotta.

On Bramham Gardens, I've already arranged a site visit and will assist the owner on this one-off visit. I don't need to keep you informed.

This e-mail is intended solely for the above-mentioned recipient and it may contain confidential or privileged information. If you have received it in error, please notify us immediately and delete the e-mail. You must not copy, distribute, disclose or take any action in reliance on it.

English Heritage
Telephone 020 7973 3000
Facsimile 020 7973 3001
www.english-heritage.org.uk

FACSIMILE MESSAGE

TO: LB. K&C. Planning Ms Hillary Bell
Fax No 0207-361-3463 Tel No:0207-361-2341
FROM: Eric Watts – Martin Ashley Architects
DATE: 30-07-03 Page 1



MARTIN ASHLEY
ARCHITECTS
THE STABLES
FRIARS STILE ROAD
RICHMOND
SURREY TW10 6NE
Tel: 020 8948 7788
Fax: 020 8948 5520
www.martinashley
architects.co.uk

SUBJECT: 11 Collingham Gdns London SWS

Copy to: Fax No:

Dear Ms. Bell,

Our Contractor has arranged a visit to Harrods Depository, for us to view the replacement terracotta, which they propose to use on this project.

The visit will be on 8th August at 11.00.

Should you wish to attend, perhaps you could let me know.

Regards

Eric Watts 
Martin Ashley Architects

EX 100 10 013 AD 011 001
DIR
30 JUL 03
L.

MARTIN ASHLEY
Dipl Arch RIBA
PETER SCOTT
B Arch RIBA
STEPHEN TWINE
B Arch (Hons) RIBA

VAT REGISTRARD: 649 3928 31

FAX FROM

NAME: Hilary Bell

THE ROYAL
BOROUGH OF

THE DIRECTORATE OF PLANNING SERVICES

DATE: 1st August 03

MAIN TELEPHONE NUMBER: 0171 937 5464

DIRECT LINE: 0171 361 2341



KENSINGTON
AND CHELSEA

FAX NUMBER (if different from below): -

TO

NAME: Eric Watt

OF: Martin Foley Architects

ADDRESS: The Stables, from Stone Road, Richmond, Surrey

POSTAL CODE: _____

FAX NUMBER: 020 8 948 5520

NUMBER OF PAGES TO FOLLOW: —

COMMENTS AND/OR INSTRUCTIONS (if any)

Dear Eric,

Don Brisco, of English Heritage, would very much like to attend the visit to the Harrodi Depository to view the replacement terracotta.

As the 8th August is the annual E.H. outcrop (to Norfolk this year), could the date possibly be rearranged?

Many thanks,

Kind regards Hilary
Hilary Bell RBKC

OUR FAX NUMBER IS: 071 361 3463

R B K C

JOB #856

DATE	TIME	TO/FROM	MODE	MIN/SEC	PGS	STATUS
001	8/01 11:36	02089485520	EC--S	00' 23"	001	OK L1

JT Noted & agreed.
 Don Bianco advising Martin Ashley Architects
 re. specification / notes on paper
 HLB 6-Feb-03



2060/J/07
 Ms. Hillary Bell
 Development Control South West Team
 Royal Borough of Kensington and Chelsea
 Planning & Conservation
 The Town Hall, Hornton Street
 London W8 7NX
 15 January 2003

Y	HDC	TP	CAC	AD	CLU	AO
R						AK
R.B.	16 JAN 2003					PLANNING
K.C.						
	C	SW	SE	APP	IS	REC
				IARB	FPL	DEC

MARTIN ASHLEY
 ARCHITECTS
 THE STABLES
 FRIARS STILE ROAD
 RICHMOND
 SURREY TW10 6NE
 Tel: 020 8948 7788
 Fax: 020 8948 5520
 www.martinashley
 architects.co.uk

Dear Ms. Bell

11 COLLINGHAM GARDENS, LONDON SW5
TERRACOTTA & BRICK CLEANING REPAIRS
 Your Ref: DPS/DCS/DCSW/TP/98/1442

Further to our telephone conversation of 9th December when the above project was discussed and I confirmed that this work will be carried out to all elevations. We have now received approval from our clients – the owners of this property to accept PAYE’s tender to carry out the above proposed works.

We have met with the clients and have discussed the alternative materials which might be used in order to replace the defective terracotta, and the conservation issues involved.

The clients have agreed to using traditional kiln-fired terracotta for the repair works.

We intend to hold the Pre-Contract meeting at the end of next week with a view to starting on site in early February, and will then be able to send you the contractor’s detailed programme.

However, the tender was based on the following outline of works:-

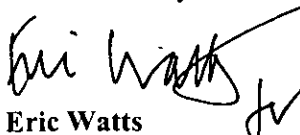
Scaffold erection	3 weeks
Clean down existing elevations-measure terracotta	3 weeks
Carry out mortar repairs, repoint brickwork, replace bricks	9 weeks
Carry out redecorations ,roof repairs, drainage repairs	4 weeks
Strike scaffold	
Re-erect scaffold	
Cut-out defective terracotta & replace with new blocks	4 weeks

The contractor has advised that the programme required for the production of replacement terracotta units is currently 40 weeks.

I propose that we meet on site, to inspect the condition of the works, when the scaffold has been erected and the sample panels are ready for your consideration

Should you wish to discuss any of the above items, please do not hesitate to contact me.

Yours sincerely


 Eric Watts
 Martin Ashley Architects
 CC.Don Bianco EH.

MARTIN ASHLEY
 Dipl Arch RIBA
 PETER SCOTT
 B Arch RIBA
 STEPHEN TWINE
 B Arch (Hons) RIBA

PLANNING AND CONSERVATION

THE TOWN HALL HORNTON STREET LONDON W8 7NX

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS

Martin Ashley Architects,
The Stables,
Friars Stile Road,
Richmond,
Surrey TW10 6NE

Switchboard: 020-7937-5464
Direct Line: 020-7361-2699
Extension: 2699
Facsimile: 020-7361-3463



**KENSINGTON
AND CHELSEA**

22 MAY 2000

My Ref: TP/98/1442/CLBA/26/555
Your Ref:

Please ask for: South West Area Team

Dear Sir/Madam,



PLANNING (LISTED BUILDING AND CONSERVATION AREAS) ACT 1990- SECTION 7

WORKS OF BUILDINGS OF SPECIAL ARCHITECTURAL OR HISTORIC INTEREST
(DL1)

The Borough Council, hereby consent to the works to the Listed Buildings referred to in the undermentioned schedule, subject to the conditions set out therein and in accordance with the plans submitted, save in sofar as may otherwise be required by the said conditions. Your attention is drawn to the enclosed Information Sheet.

SCHEDULE

DEVELOPMENT: Cleaning of terracotta and brickwork and repairs to joinery.

SITE ADDRESS: 11 COLLINGHAM GARDENS, KENSINGTON, S.W.5

RBK&C Drawing Nos: TP/98/1442/A

Applicant's Drawing Nos: Unnumbered Schedule of Work (received 28/06/99)

Application Dated: 23/07/1998

Application Completed: 30/07/1998

Application Revised: 28/06/1999

**FULL CONDITION(S), REASON(S) FOR THEIR IMPOSITION AND INFORMATIVE(S)
ATTACHED OVERLEAF**

CONDITIONS AND REASONS FOR THEIR IMPOSITION

1. **The works hereby permitted shall be begun before the expiration of five years from the date of this consent. (C201)**
Reason - As required by Section 18 of the Planning (Listed Buildings and Conservation Areas Act) 1990, to avoid the accumulation of consents. (R201)

2. **The works hereby permitted shall be carried out in their entirety exactly and only in accordance with the drawings, and other particulars, forming part of the Consent, and there shall be no variation therefrom without the prior written approval of the Local Planning Authority. (C205)**
Reason - In order to safeguard the special architectural or historic interest of the building. (R205)

3. **The position, type, and manner of installation of all new and relocated services and related fittings shall be adequately specified in advance of any work being carried out, and the prior written approval of the Local Planning Authority must be obtained wherever these installations are to be visible or where ducts or other methods of concealment are proposed. (C215)**
Reason - In order to safeguard the special architectural or historic interest of the building. (R215)

4. **No plumbing or pipes other than rainwater pipes shall be fixed on the external faces of the building other than those shown on the approved drawings. (C216)**
Reason - In order to safeguard the special architectural or historic interest of the building. (R215)

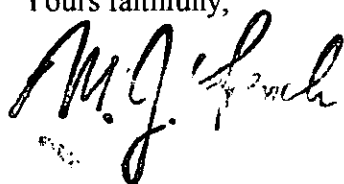
5. **Prior to the implementation of the Listed Building Consent hereby approved a sample panel shall be prepared for inspection, using the methods identified in the Schedule of Work, of the cleaning and re-pointing of the terracotta and brickwork and approved in writing by the Executive Director of Planning and Conservation.**
Reason - In order to safeguard the special architectural or historic interest of the building.

INFORMATIVE(S)

1. The works hereby approved are only those specifically indicated on the drawing(s) and/or other documentation referred to above.

2. Conditional Planning Permission is hereby granted for the development as shown on the approved drawings. Any alteration to the approved scheme, resulting from the requirements of the Building Regulations or for any other reason, may require further permission. You are advised to consult the Directorate of Planning Services before work commences if this is the case. (I09)
3. You are reminded that no work should commence on implementing this Listed Building Consent until all matters, samples, and details reserved by Condition have been submitted and approved by this Authority. It is an offence to carry out work to a Listed Building unless all such Conditions have been complied with. This Council will use its Enforcement powers, including use of Breach of Condition Notices or Prosecution, to ensure compliance with Conditions and prevent harm to the special historic character and historic interest of Listed Buildings. You are advised that there is currently a maximum fine of £20,000 if the offence is dealt with summarily, but if the offence is dealt with by indictment the fine is unlimited. (I10A)
4. Separate approval for the works forming the subject of this application may be required under the Building Act 1984 and/or the Building Regulations 1991, and this decision does not imply that such a consent will be given. The Director of Building Control, Town Hall, Hornton Street W8 7NX should be consulted before works commence. (I21A)
5. Demolition and building works are subject to the Environmental Protection Act, 1990, and appropriate controls over methods, screening, and protection of site, noise, or hours of work, may be imposed by the Council. You are advised to consult the Director of Environmental Health, Council Offices, 37 Pembroke Road, W8 6PW at an early stage. (I30)
6. Your attention is drawn to the British Standards Code of Practice for Demolition, and the Environmental Protection Act 1990 relating to nuisances, the observation of which should considerably reduce the risks and nuisance inherent in demolition work (particularly in relation to fire hazards arising from the practice of burning materials on site) both to operatives on site and to the general public. (I31)

Yours faithfully,



Michael J. French
Executive Director, Planning and Conservation

Extra Copy

DM Ac.

**THE ROYAL BOROUGH OF KENSINGTON AND CHELSEA
MEMORANDUM - SECTION 101 - LOCAL GOVERNMENT ACT, 1972**

To: Chief Administrative Officer (Planning)
From: The Executive Director, Planning & Conservation

Date: 17 May 2000
Our Ref: TP/98/01442 / CUBA-

Application Date: 23/07/1998 Complete Date: 30/07/1998 Revised Date: 28/06/1999
Agent: Martin Ashley Architects, The Stables, Friars Stile Road, Richmond,
Surrey TW10 6NE
Address: 11 COLLINGHAM GARDENS, S.W.5

26
555

This application is for a class of development to be determined under powers delegated to me by the Council on 21st July, 1976, and/or by the Town Planning Committee 6th November, 1979, and/or by the Town Planning Committee on 18th March 1986, 23rd May 1988 and 8th January 1990 and is not such as I wish to refer to the Planning Application Committee. No relevant planning objections have been received.

- Class (i) - 8th Schedule development
- Class (ii) - shop fronts
- Class (iii) - conversion from non s/c dwellings etc
- Class (iv) - amendments as required by T.P. Committee
- Class (v) - above classes after D.P. Committee agree
- Class (vi) - Listed building consent for above Classes.
- Class (vii) - approval of facing materials
- Class (viii) - grant of planning permission for a change from one kind of non-residential use except from one kind of non-residential use except where this would involve the loss of shop use
- Class (ix) - grant permission licence or no objection under Sections 73, 74, 138, 143, 152, 153, 177 & 180 of the Highways Act
- Class (x) - Crossover under S. 108 of the Highways Act 1980

**DELEGATED APPROVAL
22 MAY 2000**

Rec'd + off.

Consent under T&CP Control of Advertisement Regulations 1984-90; incl. refusal of consent for Reg. 15 applications.

DESCRIPTION OF PROPOSED DEVELOPMENT

→ Terracotta and brick cleaning and joinery repairs to

RECOMMENDED DECISION Grant listed building consent *conditionally*
RBK&C drawing(s) No. TP/98/1442/A
Unnumbered Schedule of Work (rec'd 28/06/99)

I hereby determine and grant/refuse this application (subject to ~~HBMC Direction~~/Historic Building authorisation) under the powers delegated to me by the Council, subject to the condition(s) indicated below imposed for the reason(s) appearing thereunder, or for the reasons stated.

Exec. Director, Planning and Conservation Head of Development Control Area Planning Officer

TP/98/01442: 1

[Signature]

*Howe
19/5/00*

[Signature]

CONDITIONS AND REASONS FOR THEIR IMPOSITION

- 1 **The works hereby permitted shall be begun before the expiration of five years from the date of this consent. (C201)**
Reason - As required by Section 18 of the Planning (Listed Buildings and Conservation Areas Act) 1990, to avoid the accumulation of consents. (R201)
- 2 **The works hereby permitted shall be carried out in their entirety exactly and only in accordance with the drawings, and other particulars, forming part of the Consent, and there shall be no variation therefrom without the prior written approval of the Local Planning Authority. (C205)**
Reason - In order to safeguard the special architectural or historic interest of the building. (R205)
- 3 **The position, type, and manner of installation of all new and relocated services and related fittings shall be adequately specified in advance of any work being carried out, and the prior written approval of the Local Planning Authority must be obtained wherever these installations are to be visible or where ducts or other methods of concealment are proposed. (C215)**
Reason - In order to safeguard the special architectural or historic interest of the building. (R215)
- 4 **No plumbing or pipes other than rainwater pipes shall be fixed on the external faces of the building other than those shown on the approved drawings. (C216)**
Reason - In order to safeguard the special architectural or historic interest of the building. (R215)
- 5 **Prior to the implementation of the Listed Building Consent hereby approved a sample panel shall be prepared for inspection, using the methods identified in the Schedule of Work, of the cleaning and re-pointing of the terracotta and brickwork and approved in writing by the Executive Director of Planning and Conservation.**
Reason - In order to safeguard the special architectural or historic interest of the building.

INFORMATIVES

- 1 **The works hereby approved are only those specifically indicated on the drawing(s) and/or other documentation referred to above.**
- 2 I09
- 3 I10A

I21A

I30

I31



ENGLISH HERITAGE

LONDON REGION

Director of Planning & Transportation
Royal Borough of Kensington & Chelsea
The Town Hall
Hornton Street
LONDON
W8 7NX

Your refs: 98/1442
Our ref: LRS/2851/11
Contact: David Stabb
Direct Dial: 020-7973-3775

For the attention of Helen Homard

19 APR 2000

Dear Sir/Madam

**Planning (Listed Buildings and Conservation Areas) Act, 1990:
11 COLLINGHAM GARDENS, SW5**

Applicant: Martin Ashley
Grade of building: II*
Proposed works: Terracotta and brick cleaning.

Drawing numbers: Schedule of works - Martin Ashley - TP/98/1442A

Date of application: 23.07.1998
Date of referral by Council: 24.07.1998
Date received by English Heritage: 27.07.1998
Date of revision(s) or amendment(s): 28.06.1999
Date of referral by Council: 11.04.1999
Date received by English Heritage: 11.04.1999
Date referred to D.o.E.: 13.04.2000

RECEIVED BY PLANNING SERVICES									
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40		25 APR 2000							
ISSUES	IO	REC	ARB	FWD	CON	DES	FEES		
				PLN					

English Heritage wishes to raise no objection to any parallel planning application.

If your authority is minded to grant listed building consent for the application referred to in the schedule above, you are hereby directed to attach the condition(s) set out overleaf, in addition to any which your Council is minded to impose.

The Secretary of State has considered the information given above and does not intend to require the application concerned to be referred to him.
Signed
Dated 18 April 2000

Yours faithfully

David Stabb
London Region



ENGLISH HERITAGE

LONDON REGION

Schedule of Conditions

Address **11 COLLINGHAM GARDENS, SW5**

Date of Decision **17 9 APR 2000**

Our ref: LRS/2851/11

1. **Informative:** The works hereby approved are only those specifically indicated on the drawing(s) and/or other documentation referred to above

DELEGATED REPORT

Address

11 Coughlan Gardens
SW5

Reference

98/1442

Conservation Area

yes

Listed Building Yes/No

No

Type of Application

~~Planning Permission/Approval of Materials/Variation of Condition/Listed Building Consent/Conservation Area Consent~~

Type of Development

Residential Extension

Roof

Rear

Storeys

Side

Front

Garden

Residential Alterations

Residential Conversion

From

To

Other

Shopfront

Non-Residential Extension

Listed Building Demolition

whole

part

Listed Building Alterations

Unlisted Building - Demolition

whole

part

continued

D4/51(a)

Objections (withdrawn etc.) (incl. internal – Design, Policy, Transportation etc.)

Who _____

Overcome by Amendment/Withdrawn/Not Relevant/Other _____

Existing

Issues/Policy/Precedent/Conditions/Third Schedule

see Award

Standards

satisfactory

- Light
- Privacy
- Room Sizes
- Parking
- Trees

HBMC Direction/Obs.

- Obs. Rec'd
- Direction Rec'd *Rec*
- Consultation Expired

GRANT/APPROVE

subject to conditions

Informatives

Report by

tm

Date

Agreed

AC/rows

1.0 Planning Considerations

- 1.1 The main considerations in this case relate to the effect of the proposal on the special architectural and historic interest of the listed building and the effect on the character and appearance of the conservation area.
- 1.2 The relevant planning Policies are contained in the 'Conservation and Development' Chapter of the Unitary Development Plan. Policies CD52, CD53, CD57 and CD58 are of particular relevance to this application.
- 1.3 English Heritage have advised the Council that they raise no objection to this proposal but require the imposition of an informative.
- 1.4 It is proposed to carry out terracotta and brick cleaning and joinery repair to the front and rear elevations. The applicants have submitted a detailed schedule of works detailing the methods of cleaning and repair. The Council's Design and Conservation Officer considers the works within the schedule are suitable for the level of cleaning and repair required. It is concluded that the proposal would preserve the special architectural and historic interest of the building and the character and appearance of the Conservation Area. The proposal is therefore considered to be consistent with the Council's Policies as contained in the Unitary Development Plan.

2.0 Public Consultation

- 2.1 14 letters of notification were sent to properties in Collingham Gardens and Bolton Gardens. No letters of objection have been received.

M.J. FRENCH

EXECUTIVE DIRECTOR, PLANNING AND CONSERVATION

List of Background Papers:

The contents of file TP/98/01442 save for exempt or confidential information in accordance with the Local Government (Access to Information) Act 1985.

Report Prepared By: HC

Report Approved By: HC/LAWJ

Date Report Approved:

hew

19.5.2000



RBKC
District Plan Observations
CONSERVATION AND DESIGN

Address 11, Collingham Garden, SW5.	Appl. No. TP/98/1442	L.B. II	C.A. ✓	N ✓
Description External works	Code			S

- The approved works to be carried out in accordance with the schedule & drawings submitted.
- Sample panels to be prepared for ^{inspection &} approval as follows:-
 - Cleaning of brickwork & terracotta.
 - Re-pointing of brickwork & terracotta.
- C215.
- C216

HSB

10. MAY. 00

Spoke
VOM
17/4



MARTIN ASHLEY
ARCHITECTS

THE STABLES
FRIARS STILE ROAD
RICHMOND
SURREY TW10 6NE

TEL (0181) 948 7788
FAX (0181) 948 5520
email MAA@btinternet.com

2060J05

Development Control South West Team
Royal Borough of Kensington and Chelsea
Planning & Conservation
The Town Hall
Hornton Street
London
W8 7NX

13th April 2000

For The Attention of Ms Helen Homard

Dear Sir/Madam

11 Collingham Gardens, SW5
Terracotta & Brick Cleaning & Repair
Your ref: DPS/DCS/DCSW/TP/98/1442

We understand that no decision has been given on the listed building application for brick and terracotta cleaning and repair to the above property submitted in July 1998.

At our request the application was held in abeyance from 18th September 1998 until our further submission of specification and schedule of work on 25th June 1999.

We have an acknowledgement that you received this submission, but have had no further correspondence from you on the matter. We are intending to start the work this Summer around the 1st June 2000 and would therefore appreciate your immediate decision on the application .

If you require any further information or have any queries regarding the above please do not hesitate to contact me.

Yours faithfully.

Joanna Carr
Martin Ashley Architects
CC Mr Mankelow

RECEIVED BY PLANNING SERVICES									
EX DIR	HDC	N		S	SE	ENF	AO ACK		
125 17 APR 2000									
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEEES			



ENGLISH HERITAGE

LONDON REGION

Director of Planning & Transportation
Royal Borough of Kensington & Chelsea
The Town Hall
Hornton Street
LONDON
W8 7NX

Your refs: 98/1442

Our ref: LRS/2851/11

Contact: David Stabb

Direct Dial: 0171-973-3775

For the attention of Heler Cazalet

Date: 27 July 1999

RECEIVED BY PLANNING SERVICES							
EX DIR	HDC	N	C	SW	SE	ENV	AO ACN
- 3 AUG 1999						79	
REC	IC	REC	RE	FWD PLN	CON DES	FEES	

Dear Sir

11 COLLINGHAM GARDENS, SW5

DEVELOPMENT PROPOSAL: Terracotta and brick cleaning

I refer to your letter of 04.08.1998 notifying English Heritage of the application for Listed Buildings Consent detailed above and of subsequent correspondence concerning the Specification and Schedule of Work. We have considered the development proposals and have the following observations to make on the scheme:

1. In our opinion the schedule of repair and treatment work forwarded by yourselves on 29.06.1999 requires to be *proved* on site once the surfaces have been thoroughly cleaned.
2. English Heritage suggests that only once a sample panel of cleaning is approved and the cleaning operation is complete may a schedule of work be accepted. English Heritage would attend on site and assist in the selection and marking of individual blocks/areas or in the providing of information for the preparation of a drawing indicating the same.
3. English Heritage notes from the Schedule of Works prepared by Martin Ashley Architects is attached.

Yours faithfully

DAVID STABB
London Region

LR32C

MEMORANDUM

To: David Stabb

cc:

From: Don Bianco

Date: 23 July 1999

11 COLLINGHAM GARDENS SW5

Ref the *Schedule of Work for Brick & Terracotta Cleaning, Repair & Replacement* prepared by Martin Ashley Architects, this needs to be read in conjunction with the Specification etc but the following comments are pertinent:-

1. The conservation interests of EH and RBKC will focus on the agent's response to perceptions of deterioration, decay and damage, in terms of decay mapping, the assessment of degree of risk and the range and type of treatments proposed.
2. EH will want to be assured of the survey's standard in advance of the work so as to prevent excessive replacement or patch repairs. A pilot survey should be undertaken and submitted to EH and RBKC for checking as soon as possible.
3. BS 6270:1982 Amendment G *The Cleaning and Surface Repair of Buildings: Architectural Terracotta and Faience*, BS 3826:1969, BRE Digest No.125 *Colourless Treatments for Masonry* (1971) are relevant here.
4. The cleaning systems for terracotta and brickwork may not necessarily be the same eg hydrofluoric acid washes are OK for brickwork but absolutely unsuitable for terracotta, and different masonry surfaces may need to be protected against the other.
5. Detergents may not shift any or all of the chemically attached dirt (as the BS recognises).
6. Terracotta is very susceptible to scratching, so brushing must be by bristle or nylon brushes only.
7. A suggested alternative cleaning system for terracotta would be:-
 - Prewet,
 - ProSoCo 425 Degreaser followed by
 - Sure Klean Limestone Afterwash left for a dwell time of up to 3 minutes, and repeated if necessary,
 - rinse,
 - test surfaces to confirm pH neutral and repeat rinse until pH level is achieved

8. The bedding and pointing mortar for both terracotta and brick is excessively strong and too inflexible for use in historic buildings repair, where structural strengths are not hugely important.

9. a) Mortar mixes for both repointing and patch repairs should be selected from the British Standards. It is preferable to distinguish between the word "lime" here meaning non-hydraulic lime (to BS 890) putty and "hydraulic lime" from the one indigenous and other imported sources. In the case of hydraulic limes, EH's recent case work suggests that one of the weakest/feebly-moderately hydraulic limes under the draft CEN standard work would be appropriate for conservation work. But contractors should always test for water setting characteristics before use as some material has been found to have no setting powers or have already gone off in the bag.

b) Trials to match colour and texture are going to be important here, but a binder to aggregate ratio of 1:3 is vital to maintain.

10. Single coat work is unacceptable for patch repairs. Weight batching of patch repairs is not good practice unless all the ratios of ingredients are changed to suit. All will be subject to EH approval.

11. Under-reaming the back of terracotta replacement blocks has site difficulties. Holes may need to be formed from the manufacturers already built in.

12. The method of fixing terracotta needs to be flexible, employing forgiving materials in order to avoid cracking. Lime-based mortars for bedding should be used over cements and epoxies/polyesters.

13. a) Generally, I am unconvinced that cracks of around 0.1mm wide and less need to be resin filled, glued or grouted.

b) If the block is not structural and there is no evidence of water ingress through this point, the crack could be face-filled with lime and silver sand mortar. Where cracks are larger and there are no structural concerns, again lime/aggregate mortars can be used.

c) Where it is important to keep moisture away from rusting buried metal armatures, then it may be necessary to employ resin grouts under pressure. But there are physical size parameters to nozzle introduction points for resin grouts and with pressure injection techniques a drilled entry hole is essential - which inevitable will have an effect on the appearance of the block. A sample pilot area of greater crack width needs to be treated first to test the overall feasibility and appropriateness of such an approach for EH approval.

d) A colour range for epoxies will have to be submitted.

14. a) Small blemishes should not be treated at all, as any and all treatments will exacerbate the loss of original fabric and the patch repairs will inevitably fail physically and aesthetically over time, leaving a pock-marked appearance. Some blemishes may not be causing further collateral damage, and may be acceptable as they stand.

b) Where patch repairs are appropriate, cavities must be at least 15-20mm deep and the side undercut (using a narrow quirk), not straight, to provide a key.

15. If a mortar analysis is specified (and it is desirable to do so), care needs to be taken of standard mortar analyses as provided by most test houses. The laboratory should be warned to look out for hydraulic lime and/or cements as well as non-hydraulic lime binders for this period of construction.

16. a) For pointing mortar the reductions in binder to aggregate ratios to achieve a *slight weakening* of the binder of the mortar mix needs to be set out.

b) Warnings are needed to replicate mortar joints in different textures and tones between two adjacent damaged areas of two separate blocks.

17. It should be well noted that weight batching does not give the same characteristics as volume batching in the same ratios. All BS mortars are based on volume batching.

18. If a mortar has to be cut out, then it does not need replacing. EH's *Practical Building Conservation Technical Handbook Series, Vol 2* provides good information in respect of correct tools, materials, processes and techniques.

19. The use of a colourless silicone-based water repellent to BS 3826:1969 Class A, spray or brush applied, requires re-application at least every 10 years in accordance with the advice of BRE Digest No 125. Whilst helping prevent water ingress through the more permeable material, such treatment affects the reflective indices of the surface layers, and may be disastrous if migrating soluble salts are trapped in the constructional system which will lead to exfoliation, cracking etc. An alternative treatment may be coating in a reversible system of microcrystalline polyethylene wax, though removal and re-application is required every 5 years.



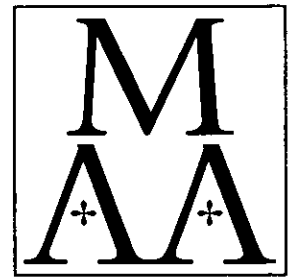
RBKC
District Plan Observations
CONSERVATION AND DESIGN

Address 11, Collyer Lane, SW5.	Appl. No. DPS/DCSW/TP/98/1442	Hz H	L.B. H	C.A. HB	N C S
Description Terracotta & Brick Cleaning, Joinery Repairs & associated work	Code				

The details of work, [Rec 28 June 99], is consistent with the conservation advice given on site by RBK Ltd & E.H. at pre-application stage - it is also wholly suitable for the level of clean/repairs, given that the building is overall in good order.

If a final doc. is required, could you advise?

H/S
5 July 99



MARTIN ASHLEY
ARCHITECTS

THE STABLES
PRIARS STILE ROAD
RICHMOND
SURREY TW10 6NE

TEL (0181) 948 7788
FAX (0181) 948 5520
email MAA@btinternet.com

PC ACK
→ HC NOM
27/6

2060J04

Development Control South West Team
Royal Borough of Kensington and Chelsea
Planning & Conservation
The Town Hall
Hornton Street
London
W8 7NX

25th June 1999

For The Attention of Ms Helen Cazalet

Dear Madam,

RECEIVED BY PLANNING SERVICES									
EX DIR	HDC	N	C	SN	SE	ENF	AO ACK		
(18)		28 JUN 1999							
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEEES			

11 Collingham Gardens, SW5
Terracotta & Brick Cleaning & Repair
Your ref: DPS/DCS/DCSW/TP/98/1442

Further to our telephone conversation earlier this week, I understand that a new application is not required, we would therefore, be grateful if you could proceed with the above application, which has been held in abeyance since September 1998.

A Specification and method statements were previously submitted with our application dated 23rd July 1998, we now submit for your attention a Schedule of Works, which indicates the full scope of the works proposed.

Please find enclosed 4 copies of the Schedule of Work for brick and terracotta cleaning, repair and replacement, together with Marked up Photographs of the building elevations.

The Schedule of work is based upon provisional quantities of repair and replacement judged from the ground and limited high level access from windows. Accurate survey of numbers and identification will be carried out from the scaffolding once in place.

The intention is to carryout the works this Autumn, starting on 13th September, we would therefore be grateful to receive your response at the earliest convenience. It



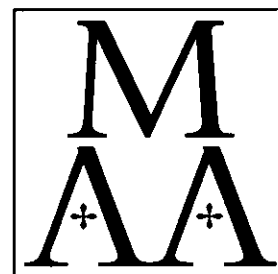
is intended that the works will be phased, with the first priority to clean and repair the Front Elevation.

If you require any further information or have any queries regarding the above please do not hesitate to contact me.

Yours faithfully.

Joanna Carr
Martin Ashley Architects

cc MR & MRS Schroeder



2060J03

Development Control South West Team
Royal Borough of Kensington and Chelsea
Planning & Conservation
The Town Hall
Hornton Street
London
W8 7NX

MARTIN ASHLEY
ARCHITECTS

THE STABLES
FRIARS STILE ROAD
RICHMOND
SURREY TW10 6NE

TEL (0181) 948 7788
FAX (0181) 948 5520
email MAA@btinternet.com

9th February 1999

BY FAX AND POST

For The Attention of Ms Helen Cazalet

Dear Madam,

11 Collingham Gardens, SW5
Terracotta & Brick Cleaning & Repair
Your Ref: DPS/DCSW/TP/98/1442

RECEIVED BY PLANNING SERVICES								
EX DIR	HDC	N	C	SW	SE	ENF	AO ACK	
26		12 FEB 1999						
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEES		

Thank you for your letter of 27th January 1999 in respect of the above application for Listed Building Consent held in abeyance.

I have heard today from the residents at 11 Collingham Gardens, who would be grateful for further time in order to hold a meeting of the resident members and to decide how to proceed.

Accordingly, and on behalf of the residents, I would be most grateful if you could hold this application in abeyance for a further thirty days, by the end of which I expect to have received further instructions.

Thank you once again for your help in this.

Yours faithfully,

Martin Ashley
Martin Ashley Architects

cc. F C Schroeder Esq.

VAT REGISTERED
6 4 9 3 9 2 8 8 8



MARTIN ASHLEY
ARCHITECTS

THE STABLES
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2060J03

Development Control South West Team
Royal Borough of Kensington and Chelsea
Planning & Conservation
The Town Hall
Hornton Street
London
W8 7NX

9th February 1999

BY FAX AND POST

For The Attention of Ms Helen Cazalet

Dear Madam,

11 Collingham Gardens, SW5
Terracotta & Brick Cleaning & Repair
Your Ref: DPS/DCSW/TP/98/1442

*PC ACK
→ HC ✓ AM
10/2*

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Accordingly, and on behalf of the residents, I would be most grateful if you could hold this application in abeyance for a further thirty days, by the end of which I expect to have received further instructions.

Thank you once again for your help in this.

Yours faithfully,

Martin Ashley
Martin Ashley Architects

R.B.K.&C.
TOWN PLANNING
10 FEB 1999
RECEIVED

cc. F C Schroeder Esq.

VAT REGISTERED
649 3928 88

PLANNING AND CONSERVATION

THE TOWN HALL HORNTON STREET LONDON W8 7NX

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS

Martin Ashley,
Martin Ashley Architects,
The Stables,
Friars Stile Road,
Richmond,
Surrey, TW10 6NE

Switchboard: 0171-937 5464
Extension: 2699
Direct Line: 0171-361 2699
Facsimile: 0171-361 3463



**KENSINGTON
AND CHELSEA**

27 January 1999

My reference: DPS/DCSW/TP/98/1442 Your reference:

Please ask for: Helen Cazalet

Dear Sir,

**Town and Country Planning Act 1990
Planning (Listed Building and Conservation Areas) Act 1990
Re: 11 Collingham Gardens, Kensington, SW5**

I refer to your Listed Building Consent application for works at the above premises.

This application has been held in abeyance following your letter of 18th September 1998. If I have not heard from you within 14 days from the date of this letter, I will assume that you no longer wish to proceed with the matter and your application will be withdrawn.

Yours faithfully

M.J. French
Executive Director, Planning and Conservation

R

2060J02

Development Control South West Team
Royal Borough of Kensington and Chelsea
Planning & Conservation
The Town Hall
Hornton Street
London
W8 7NX

18th September 1998

For The Attention of Ms. Helen Cazalet

Dear Madam,

11 Collingham Gardens, SW5
Terracotta & Brick Cleaning & Repair

Thank you for your telephone messages on Thursday 17th September.

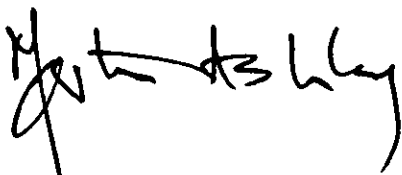
I do not have an instruction from the residents at 11 Collingham Gardens to pursue the application further yet.

I would be grateful if you could put this application on hold until I have received further instruction.

I would expect to have received an instruction within a month.

Thank you for your help with this application.

Yours faithfully,



Martin Ashley
Martin Ashley Architects

Encs.

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110		21 SEP 1998							
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				PLN	DES				

MARTIN ASHLEY
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RBKC
District Plan Observations
CONSERVATION AND DESIGN

Address	Appl. No.	L.B.	C.A.	N
11, Collingham Gardens, SW5.	TR DPS/DCSW/TR/18/1442	II	11B	C S
Description	Code			
External cleaning & repair.				

The cleaning & repair programme to this property was discussed at length, at pre-app stage, with Dominic Coxe of EH, & myself.

Would suggest a site meeting, to discuss the submitted Schedule of works with Mark Alley the architect, E.H. may also wish to attend.

HTB 24.8.18