

**ROYAL BOROUGH OF  
KENSINGTON AND  
CHELSEA**

**DOCUMENT TYPE**

**APPLICATIONS  
LATE UPDATE**

PP/99/01262

TO: SEE DISTRIBUTION LIST

FROM: EXECUTIVE DIRECTOR OF  
PLANNING &  
CONSERVATION

MY REF(S): PA/HD/PP/99/1262

YOUR REF:  
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ROOM NO: 324

EXTN: 2081

DATE: 2.2.00

TOWN AND COUNTRY PLANNING ACT. 1990

APPEAL 37/39 ABINGDON ROAD, W8

I attach for your information a copy of the decision for the appeal on the above-mentioned premises.

EXECUTIVE DIRECTOR OF PLANNING AND CONSERVATION

**DISTRIBUTION LIST:**

CHAIRMAN, PLANNING & CONSERVATION COMMITTEE  
VICE CHAIRMAN, PLANNING & CONSERVATION COMMITTEE  
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LAND CHARGES..... J. STEVENS B1  
COUNCIL TAX ACCOUNTS MANAGER..... T. RAWLINSON RM: G29  
TRANSPORTATION..... B.MOUNT  
EXECUTIVE DIRECTOR OF PLANNING & CONSERVATION  
HEAD OF DEVELOPMENT CONTROL  
APPEALS OFFICER  
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FORWARD PLANNING..... G. FOSTER  
DESIGN..... D. MCDONALD  
STATUTORY REGISTER  
FILE(S)  
SYSTEMS..... C.PEACH



# The Planning Inspectorate

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Houlton Street  
Bristol BS2 9DJ

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GTN 1374-8930

Ms H Divett  
Kensington And Chelsea R B C  
Dept Of Planning & Conservation  
The Town Hall  
Hornton Street  
London  
W8 7NX

Your Ref:  
PP/99/01262

Our Ref:  
APP/K5600/A/99/1030565

31 January 2000

Dear Madam

**TOWN & COUNTRY PLANNING ACT 1990  
APPEAL BY WHITEHALL ESTATES SA  
SITE AT 37/39 ABINGDON ROAD, LONDON W8**

I enclose a copy of our Inspector's decision letter.

Yours faithfully

*[Handwritten signature]*

Mr D Shorland

212A

ENC1

RECEIVED BY PLANNING SERVICES							
EX DIR	HDC	N	C	SV	SE	ENF	AO ACK
<i>[Handwritten initials]</i> 1 - FEB 2000							
FEES	IO	REC	ARB	FWD PLN	CON DES	FEES	

*(of) DT 1/2/00*



# The Planning Inspectorate

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Houlton Street  
Bristol BS2 9DJ

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E-mail enquiries.pins@gtnet.gov.uk

DTZ PIEDA CONSULTING  
1 CURZON STREET  
LONDON  
W1A 5PZ

*Your reference*  
Philip Atkins  
*Our reference*  
T/APP/K5600/A/99/1030565/P8

*Date* 31 JAN 2000

Dear Sir

**TOWN AND COUNTRY PLANNING ACT 1990, SECTION 78 AND SCHEDULE 6  
APPEAL BY WHITEHALL ESTATES SA  
APPLICATION NO: PP/99/01262**

1. I have been appointed by the Secretary of State for the Environment, Transport and the Regions to determine your client's appeal against the decision of the Royal Borough of Kensington and Chelsea to refuse planning permission for a traditional slate Mansard roof extension to enlarge a one bedroom flat (planning permission granted) on the second floor at 37-39 Abingdon Road, London W8. I have considered the written representations made together with all the other material submitted to me. I inspected the site on 10 January 2000.

2. The site lies within the Edwardes Square Scarsdale and Abingdon Conservation Area. There is a statutory duty when considering proposals for development in conservation areas to pay special attention to the desirability of preserving or enhancing the character and appearance of such areas.

3. From my inspection of the site and its surroundings, and from my considerations of the representations made, I consider there are two main issues. Firstly, the effect of the proposed extension on the character and appearance of the conservation area; and, secondly, the effect on the living conditions of occupiers of dwellings to the rear of the site with regard to loss of light.

4. The development plan comprises the Kensington and Chelsea Unitary Development Plan (1995). Policy CD28 seeks to ensure that extensions do not reduce light to adjoining dwellings; policy CD38 seeks to prevent roof alterations which would harm the character or appearance of the building or terrace; policy CD39 permits roof extensions where these would help unite a group of buildings which has been severely compromised by such extensions; policy CD52 seeks to ensure that development in conservation areas preserves or enhances its character or appearance; and policy CD53 which seeks to ensure that new development in conservation areas is of a high standard and compatible with its surroundings. I have also had regard to the Conservation Area Policy Statement published

by the Council, and to the English Heritage leaflets '*Mansard Roofs*' and '*London Terrace Houses*' .

5. Development along Abingdon Road comprises a mixture of forms and styles but one of the principal features is the provision of parapet walls to the front elevations and this forms an important part of the character of the conservation area. The appeal building forms part of a group which includes the adjacent public house and nos. 27, 29, 31 and 35 Abingdon Street. These are all three storey buildings set close to the road whilst the development to the north and south has a markedly different character. Although no. 29 has a Mansard roof the other buildings in the group have parapet walls with flat roofs behind and the group retains a cohesive character.

6. The conservation area statement indicates that there is a presumption against additional storeys within the conservation area, notwithstanding that the appeal site is not identified specifically as being unsuitable for an additional storey on the roof lines map. The statement also identifies nos. 31 to 39 Abingdon Road as being buildings of local interest.

7. Local plan policy CD38 provides more detailed guidance on roof extensions and sets out a range of situations where additional storeys are not normally acceptable. Criterion (a) includes '*groups of buildings where the roofline is unimpaired by extensions*'. The corollary policy CD39 permits additional storeys where the character of a group of buildings has already been severely compromised by roof extensions and where infilling would help to re-unite the group.

8. The introduction of a Mansard roof on the appeal building would be clearly visible from Abingdon Street and Pater Street. The proposal would protrude above the parapet wall and detract from the appearance of the building by introducing an additional feature at roof level which would appear incongruous and out of keeping with the buildings on either side which retain their original roof forms. The group of buildings of which the appeal building is part is not unimpaired by extensions by virtue of the Mansard roof at no. 29. However I do not consider that the group is so impaired that infilling would help to re-unite the group. On the first issue therefore I conclude that the proposed extension would detract from the character and appearance of the conservation area in conflict with development plan policies.

9. Turning to the second issue, the Mansard roof would be set back behind the existing parapet wall by about 350 mm and the ridge would be in the order of one metre above the top of the wall. In view of this, and the height of the existing building, the Mansard would not, in my view, materially reduce the amount of light to 33 Abingdon Road or to the dwelling currently under construction to the rear of the appeal building.

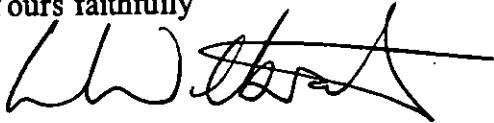
10. The rear windows in the dwellings at 61-70 Wynnstay Gardens are about 18 m from the rear of the appeal building. In view of this distance and the limited height of the Mansard above the parapet wall the extension would not materially affect the amount of light to the windows in those dwellings. On the second issue therefore I conclude that the extension accords with development plan policies and would not harm the living conditions of occupiers of dwellings to the rear with regard to loss of light.

11. Although I have found that the proposal would not harm the living conditions of occupiers of nearby dwellings with regard to light, this does not outweigh the harm which would result to the character and appearance of the conservation area.

12. I have also taken into account all the other matters raised in the written representations, but none of these are of such significance as to outweigh the considerations which have led to my conclusions on the main issue.

13. For the above reasons and in exercise of the powers transferred to me, I hereby dismiss your appeal.

Yours faithfully

A handwritten signature in black ink, appearing to read 'L Wilbraham', with a long horizontal stroke extending to the right.

L WILBRAHAM Dip TP MRTPI  
INSPECTOR

---

# PLANNING AND BOROUGH DEVELOPMENT

THE TOWN HALL HORNTON STREET LONDON W8 7NX

---

Executive Director David Prout

---

Haines Phillips Architects  
Tankerton Works  
12 Argyle Walk  
London  
WC1H 8HA

Switchboard: 020-7937-5464  
Extension: 2329  
Direct Line: 020-7361-2329  
Facsimile: 020-7361-3463  
Email: [erin.hooper@rbkc.gov.uk](mailto:erin.hooper@rbkc.gov.uk)  
Web: [www.rbkc.gov.uk](http://www.rbkc.gov.uk)

9 November 2007

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THE ROYAL  
BOROUGH OF



KENSINGTON  
AND CHELSEA

---

My reference:

Your reference:

Please ask for: Erin Hooper

Dear Ms Andrews

**37 Abingdon Road, W8  
Mansard Roof extension**

I write in response to your letter received on 24 September 2007 and my subsequent site visit.

I have considered your proposal, as set out in your letter and drawings provided, for the construction of a mansard roof extension. As you are aware a similar proposal was refused in 1999 and the decision was upheld by the Planning Inspectorate as the proposal was considered to harm the appearance of the conservation area.

The plans have been reviewed by a Design Officer who has commented that the principle of a roof addition is not opposed, however the current proposal does not overcome the concerns raised in the 1999 scheme regarding the height and visual impact of the proposal and the proposal could not be supported in its current form. The Design Officer has commented that the property has a substantial front and rear parapet wall which could obscure the majority of a mansard if it were designed to be set behind the parapet. It may be possible to accommodate a traditional flat top mansard, as outlined in the Unitary Development Plan, with out harming the appearance of the property or impacting on the roofscape to the terrace.

In summary, I consider that the principle of a mansard roof addition is acceptable, subject to addressing the concerns raised by the Design Officer in terms of the detailed design.

I trust the above information is of assistance and would remind you that where opinions are expressed, they are intended to help you with your application, and do not prejudice the Council's decision on any forthcoming applications.



INVESTOR IN PEOPLE

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THE ROYAL  
BOROUGH OF

If you have any queries regarding this matter, please do not hesitate to contact the above named officer.

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Yours sincerely



KENSINGTON  
AND CHELSEA

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David Prout  
Executive Director, Planning and Borough Development

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TO: SEE DISTRIBUTION LIST

FROM: EXECUTIVE DIRECTOR OF  
PLANNING &  
CONSERVATION

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ROOM NO: 324

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APPEAL ..... 37/39 ABINGDON ROAD, W8

I attach for your information a copy of the decision for the appeal on the above-mentioned premises.

EXECUTIVE DIRECTOR OF PLANNING AND CONSERVATION

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DIRECTOR OF LEGAL SERVICES..... L. PARKER RM: 315  
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TRANSPORTATION..... B.MOUNT  
EXECUTIVE DIRECTOR OF PLANNING & CONSERVATION  
HEAD OF DEVELOPMENT CONTROL  
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Ms H Divett  
Kensington And Chelsea R B C  
Dept Of Planning & Conservation  
The Town Hall  
Hornton Street  
London  
W8 7NX

Your Ref:  
PP/99/01262

Our Ref:  
APP/K5600/A/99/1030565

31 January 2000

Dear Madam

**TOWN & COUNTRY PLANNING ACT 1990  
APPEAL BY WHITEHALL ESTATES SA  
SITE AT 37/39 ABINGDON ROAD, LONDON W8**

I enclose a copy of our Inspector's decision letter.

Yours faithfully

*Ally Pegg*  
*PS*

Mr D Shorland

212A

ENC1

RECEIVED BY PLANNING SERVICES									
EX DIR	HDC	N	C	SW	SF	ENF	AO ACK		
<i>(Signature)</i>		1 - FEB 2000							
		FEES	IO	REC	ARB	FWD PLN	CON DES	FEES	

*(copy) to DT 1/2/00*



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---

DTZ Piedad Consulting  
1 Curzon Street  
LONDON  
W1A 5PZ

*Your reference*  
Philip Atkins  
*Our reference*  
T/APP/K5600/A/99/1030565/P8

*Date* 31 JAN 2000

---

Dear Sir

**TOWN AND COUNTRY PLANNING ACT 1990, SECTION 78 AND SCHEDULE 6  
APPEAL BY WHITEHALL ESTATES SA  
APPLICATION NO: PP/99/01262**

1. I have been appointed by the Secretary of State for the Environment, Transport and the Regions to determine your client's appeal against the decision of the Royal Borough of Kensington and Chelsea to refuse planning permission for a traditional slate Mansard roof extension to enlarge a one bedroom flat (planning permission granted) on the second floor at 37-39 Abingdon Road, London W8. I have considered the written representations made together with all the other material submitted to me. I inspected the site on 10 January 2000.

2. The site lies within the Edwardes Square Scarsdale and Abingdon Conservation Area. There is a statutory duty when considering proposals for development in conservation areas to pay special attention to the desirability of preserving or enhancing the character and appearance of such areas.

3. From my inspection of the site and its surroundings, and from my considerations of the representations made, I consider there are two main issues. Firstly, the effect of the proposed extension on the character and appearance of the conservation area; and, secondly, the effect on the living conditions of occupiers of dwellings to the rear of the site with regard to loss of light.

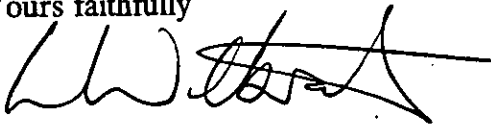
4. The development plan comprises the Kensington and Chelsea Unitary Development Plan (1995). Policy CD28 seeks to ensure that extensions do not reduce light to adjoining dwellings; policy CD38 seeks to prevent roof alterations which would harm the character or appearance of the building or terrace; policy CD39 permits roof extensions where these would help unite a group of buildings which has been severely compromised by such extensions; policy CD52 seeks to ensure that development in conservation areas preserves or enhances its character or appearance; and policy CD53 which seeks to ensure that new development in conservation areas is of a high standard and compatible with its surroundings. I have also had regard to the Conservation Area Policy Statement published

11. Although I have found that the proposal would not harm the living conditions of occupiers of nearby dwellings with regard to light, this does not outweigh the harm which would result to the character and appearance of the conservation area.

12. I have also taken into account all the other matters raised in the written representations, but none of these are of such significance as to outweigh the considerations which have led to my conclusions on the main issue.

13. For the above reasons and in exercise of the powers transferred to me, I hereby dismiss your appeal.

Yours faithfully

A handwritten signature in black ink, appearing to read 'L Wilbraham', written over a horizontal line.

L WILBRAHAM Dip TP MRTPI  
INSPECTOR

ROYAL BOROUGH OF KENSINGTON & CHELSEA

148 149

REPORT BY EXECUTIVE DIRECTOR, PLANNING & CONSERVATION

MEMBERS PANEL APP NO. PP/99/01262/ CHSE/25  
AGENDA ITEM NO. 223

ADDRESS  
37/39 Abingdon Road,  
Kensington, W8 6AH  
*Donec*  
*15/9*

APPLICATION DATED 16/06/1999  
APPLICATION COMPLETE 23/06/1999  
APPLICATION REVISED N/A

APPLICANT/AGENT ADDRESS: CONSERVATION AREA Edwardes Square/Scar CAPS Yes

Child Graddon  
Lewis Limited,  
33 Fitzroy Street,  
London, W1P 6ED

ARTICLE '4' No WARD Abingdon

LISTED BUILDING N/A  
HBMC DIRECTION N/A  
CONSULTED 16 OBJECTIONS 0  
SUPPORT 0 PETITION 0

**DELEGATED REFUSAL**  
16 SEP 1999

Applicant Whitehall Estates SA

PROPOSAL:

Erection of additional storey to provide additional residential accommodation for the top flat.

RBK&C Drawing No(s): PP/99/01262  
Applicant's drawing(s) No(s): 9898C/PL/120, 9898C/PL/121, 9898C/PL/122,  
9898/PL/200/A, 9898/PL/201/A, 9898/PL/202/A, 9898/PL/203/A, 9898/PL/230,  
9898/PL/231 and 9898/PL/232

RECOMMENDED DECISION: Refuse planning permission

REASONS FOR REFUSAL

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1. **The additional storey, by virtue of its bulk and design would detract from the appearance of the building and the street scene, and would constitute an unwelcome and obtrusive feature to the detriment of the character and appearance of the Conservation Area, contrary to the Council's policies as set out in the Unitary Development Plan, in particular Policies CD38, CD52 and CD53.**
  
2. **The additional storey, by virtue of its height and bulk, would result in additional enclosure to properties to the rear, in particular those immediately behind, to the detriment of levels of amenity presently enjoyed, contrary to the Council's policies as set out in the Unitary Development Plan, in particular Policy CD28.**

180 151

## 1.0 SITE

- 1.1 No. 37 Abingdon Road is a three storey plus basement building on the East side of Abingdon Road. It is currently in office use (within Class B1) on all floors.
- 1.2 The property is within the Edwardes Square, Scarsdale and Abingdon Conservation Area.

## 2.0 THE PROPOSAL

- 2.1 Planning permission is sought for the erection of an additional storey in the form of a mansard roof to provide additional accommodation to the top flat approved in the conversion scheme under Reference PP/99/0296.

## 3.0 PLANNING HISTORY

- 3.1 Planning permission was granted on 13th July 1977 for the rebuilding and extension of the single storey first floor side addition to a two storey side addition for office use.
- 3.2 Planning permission was refused on 25th April 1978 for the extension of the building by two storeys for office use, including as an architect's studio.
- 3.3 Planning permission was refused on 17th July 1978 for the erection of an additional storey for use as an architect's studio.
- 3.4 Planning permission was refused on 20th December 1985 for the erection of an additional storey for office use.
- 3.5 Planning permission was granted in April 1999 for the erection of 2 x 2 storey houses, provision of 2 parking spaces and associated landscaping at the rear of No. 37 Abingdon Road, on the site of an existing flat with 4 parking spaces under.
- 3.6 Planning permission was granted in May 1999 for the conversion of the existing offices into 5 self-contained flats, together with elevational alterations to the rear.

## 4.0 PLANNING CONSIDERATIONS

- 4.1 The main considerations are the design of the proposed additional storey and

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its effect on the appearance of the building and the street scene, its effect on the character and appearance of the Conservation Area, and the effect of extending the building upwards on levels of amenity enjoyed by the occupiers of surrounding residential properties.

- 4.2 The relevant policies are included in the 'Conservation and Development' chapter of the Unitary Development Plan in particular Policies CD28, CD38, CD52 and CD53.
- 4.3 The proposed additional accommodation would be in a mansard storey, and forms an extension to the top flat of the conversion scheme already approved. No objection is raised to the provision of additional residential accommodation within the building.
- 4.4 The building is one of the tallest in Abingdon Road, and stands adjacent to the Kensington Arms Public House. It has a flat roof at present, with brick parapets, and forms the southern termination of a group of similar modern buildings in the street.
- 4.5 The proposed additional storey would take the form of a mansard roof with three dormers at the front, two dormers at the rear and two rooflights in the North elevation, with slated roofslopes to three sides.
- 4.6 The building is a prominent one and can be seen in views down Abingdon Road and from Pater Street, since it lies almost opposite the junction. To the rear, it can be viewed from Allen Mansions, a mansion block to the East.
- 4.7 It is considered that by virtue of the bulk and height of the mansard roof, the extension would detract from the appearance of the building and the streetscape, and would be an unwelcome and obtrusive addition. The mansard roof on No. 29 at the opposite end of the modern block is not recent and, as such, is not considered to constitute a precedent for this development. Further, it is considered that the proposed mansard roof would conflict visually with the roof form of the adjacent Public House, which is of some architectural interest.
- 4.8 It is considered that an additional storey on this building would detract from the appearance of the building and the streetscape, and would thereby harm the character and appearance of the Conservation Area contrary to the aims of Policies CD52 and CD53.
- 4.9 Further, it is considered that to raise the height of the building by an additional storey would increase the enclosure to properties to the rear, including the flat immediately behind and to a lesser extent, the flats in Allen Mansions, to the detriment of levels of amenity presently enjoyed by the residents, contrary to Policy CD28.
- 4.10 Overall, it is considered that by virtue of its effect on the character and appearance of the Conservation Area and the effect on levels of residential amenity, a refusal of planning permission is justified.



~~152~~ 153

5.0 CONSULTATION

- 5.1 Occupiers of sixteen neighbouring properties were notified of the proposal.
- 5.2 To date, no representations have been received.

6.0 RECOMMENDATION

- 6.1 Refuse planning permission.

**M.J. FRENCH**  
**EXECUTIVE DIRECTOR, PLANNING AND CONSERVATION**

**PLANNING AND CONSERVATION**

THE TOWN HALL HORNTON STREET LONDON W8 7NX

154

THE ROYAL  
BOROUGH OF

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS

Child Graddon Lewis Limited,  
33 Fitzroy Street,  
London  
W1P 3ED

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Direct Line: 0171-361-2085  
Extension: 2085  
Facsimile: 0171-361-3463



KENSINGTON  
AND CHELSEA

17 SEP 1999

My Ref: PP/99/01262/CHSE/25/223  
Your Ref: 9898D

Please ask for: Central Area Team

Dear Sir/Madam,

FILE COPY

TOWN AND COUNTRY PLANNING ACT, 1990

TOWN AND COUNTRY PLANNING GENERAL DEVELOPMENT ORDER, 1988

REFUSAL OF PERMISSION TO DEVELOP (DP2)

The Borough Council in pursuance of their powers under the above mentioned Act and Order, hereby REFUSE to permit the development referred to in the under-mentioned Schedule as shown in the plans submitted. Your attention is drawn to the enclosed Information Sheet.

SCHEDULE

DEVELOPMENT: Erection of additional storey to provide additional residential accommodation for the top flat.

SITE ADDRESS: 37/39 Abingdon Road, Kensington, W8 6AH

RBK&C Drawing Nos: PP/99/01262

Applicant's Drawing Nos: 9898C/PL/120, 9898C/PL/121, 9898C/PL/122, 9898/PL/200/A, 9898/PL/201/A, 9898/PL/202/A, 9898/PL/203/A, 9898/PL/230, 9898/PL/231 and 9898/PL/232

Application Dated: 16/06/1999

Application Completed: 23/06/1999

Application Revised: N/A

**REASON(S) FOR REFUSAL OF PERMISSION ATTACHED OVERLEAF**

**REASON(S) FOR REFUSAL:**

155

1. **The additional storey, by virtue of its bulk and design would detract from the appearance of the building and the street scene, and would constitute an unwelcome and obtrusive feature to the detriment of the character and appearance of the Conservation Area, contrary to the Council's policies as set out in the Unitary Development Plan, in particular Policies CD38, CD52 and CD53.**
  
2. **The additional storey, by virtue of its height and bulk, would result in additional enclosure to properties to the rear, in particular those immediately behind, to the detriment of levels of amenity presently enjoyed, contrary to the Council's policies as set out in the Unitary Development Plan, in particular Policy CD28.**

Yours faithfully,

**Michael J. French**  
Executive Director, Planning and Conservation

**RBKC**  
**Design Surgery Observations**  
**CONSERVATION AND DESIGN**

<b>Address:</b> 37 Abingdon Road	<b>Appl. No:</b> Pre-app	<b>D.C. Officer:</b> ER	<b>L.B.</b> na	<b>C.A.</b> 8	<b>Area:</b> C
<b>Description:</b> Roof addition			<b>C&amp;D Officer</b> JH		<b>Code:</b> AS

**Comments:**

It is proposed to construct a roof addition in the form of a mansard to this property located within the Edwards Square, Scarsdale and Abingdon conservation area.

Located on the east side of Abingdon Road this property is currently three storeys and one of the tallest properties within this terrace. Whilst the principle of a roof addition is not fully opposed the scheme submitted does not address the concerns raised with the previous reused scheme regarding the height and visual impact.

This property has a substantial front and rear parapet wall which could obscure the majority of a mansard if it were designed to be set back behind the parapet.

The plans submitted do not show clearly the full extent of the roof addition; however it may be possible to accommodate a traditional flat top mansard as shown the UDP with out harming the appearance of the property or impacting upon the roofscape of the terrace.

This scheme would not be supported if submitted as a formal application, significant amendments are required.

Jennie Humphrey  
2<sup>nd</sup> November 2007

*Jennie Humphrey*  
2/11/07

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**PLANNING AND BOROUGH DEVELOPMENT**THE TOWN HALL HORNTON STREET LONDON W8 7NX

---

Executive Director David Prout

---

Haines Phillips Architects  
Tankerton Works  
12 Argyle Walk  
London  
WC1H 8HA

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Extension: 2329  
Direct Line: 020-7361-2329  
Facsimile: 020-7361-3463  
Email: erin.hooper@rbkc.gov.uk  
Web: www.rbkc.gov.uk

9 November 2007

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**THE ROYAL  
BOROUGH OF****KENSINGTON  
AND CHELSEA**

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My reference:

Your reference:

Please ask for: Erin Hooper

Dear Ms Andrews

**37 Abingdon Road, W8  
Mansard Roof extension**

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I have considered your proposal, as set out in your letter and drawings provided, for the construction of a mansard roof extension. As you are aware a similar proposal was refused in 1999 and the decision was upheld by the Planning Inspectorate as the proposal was considered to harm the appearance of the conservation area.

The plans have been reviewed by a Design Officer who has commented that the principle of a roof addition is not opposed, however the current proposal does not overcome the concerns raised in the 1999 scheme regarding the height and visual impact of the proposal and the proposal could not be supported in its current form. The Design Officer has commented that the property has a substantial front and rear parapet wall which could obscure the majority of a mansard if it were designed to be set behind the parapet. It may be possible to accommodate a traditional flat top mansard, as outlined in the Unitary Development Plan, with out harming the appearance of the property or impacting on the roofscape to the terrace.

In summary, I consider that the principle of a mansard roof addition is acceptable, subject to addressing the concerns raised by the Design Officer in terms of the detailed design.

I trust the above information is of assistance and would remind you that where opinions are expressed, they are intended to help you with your application, and do not prejudice the Council's decision on any forthcoming applications.



INVESTOR IN PEOPLE

If you have any queries regarding this matter, please do not hesitate to contact the above named officer.

Yours sincerely



David Prout  
Executive Director, Planning and Borough Development



- (b) the design relationship of any additional storey to the building.

The Council's policies on additional storeys and roof level alterations are generally restrictive and CD44 indicates those circumstances in which planning permission will be refused. CD45 gives the limited circumstances in which permission may be granted. Policies CD44 and CD45 should therefore be read as a pair.

**CD44 To resist additional storeys and roof level alterations on:**

- a) complete terraces or groups of buildings where the existing roof line is unimpaired by extensions, even when a proposal involves adding to the whole terrace or group as a co-ordinated design;**
- b) buildings or terraces that already have an additional storey or mansard;**
- c) buildings that include a roof structure or form of historic or architectural interest;**
- d) buildings which are higher than surrounding neighbours;**
- e) buildings or terraces where the roof line or party walls are exposed to long views from public spaces, and where they would have an intrusive impact on that view or would impede the view of an important building or open space beyond;**
- f) buildings which, by the nature of the roof construction and architectural style are unsuitable for roof additions, e.g. pitched roofs with eaves;**
- g) mansion blocks of flats where an additional storey would add significantly to the bulk or unbalance the architectural composition;**
- h) terraces which are already broken only by isolated roof additions.**

- 4.4.3 Terraces that change their architectural style, character or height but are joined are considered as separate terraces. Roof extensions on one are not regarded as precedents for the adjoining terrace.

**CD45 To permit additional storeys and roof level alterations in the following circumstances:**

- a) where the character of a terrace or group of properties has been severely compromised by a variety of roof extensions and where infilling between them would help to re-unite the group; and**
- b) the alterations are architecturally sympathetic to the age and character of the building and would not harm its appearance.**

4.4.4 The Council will continue to produce detailed non-statutory guidance on roof additions and alterations in Conservation Area Proposals Statements and other reports.

4.4.5 Principles for the design of roof additions are illustrated in figure 2.6 §in the Planning Standards Chapter.

**Roof Terraces**

4.4.6 Terraces on roofs of main buildings or extensions can provide a valuable small area of open space for residents. They can also result in serious intrusion into the privacy and quiet enjoyment of neighbouring residential properties, and be visually intrusive. It is normally inappropriate to set back a mansard roof to provide a terrace.

**CD46 To resist the introduction of roof terraces if:**

- a) significant overlooking of, or disturbance to neighbouring properties or gardens would result; or**
- b) any accompanying alterations or roof alterations are not to a satisfactory design, would be visually intrusive or would harm the street scene.**

4.4.7 Account will be taken of whether the residential unit has access to any other amenity space.

**Extensions**

4.4.8 Buildings in the Borough are frequently difficult to extend without offending the light, privacy and outlook of adjoining buildings. The rear and sides of some buildings may also be distinguished architecturally. Where, for example, they overlook communal gardens, these elevations may be of as much importance as the front. Whilst these elevations of buildings are generally subordinate to the front, they often have a simple dignity and harmony which makes them attractive.



4.4.9 The following policies are applicable to development involving extension to buildings other than additional storeys and roof extensions (see CD44 and CD45). Policy CD47 is applicable to all proposed extensions with policies CD48 and CD49 indicating additional circumstances applying specifically to conservatories and side extensions respectively.

**CD47 To resist proposals for extensions if:**

- a) the extension would extend rearward beyond the existing general rear building line of any neighbouring extensions;**
- b) the extension would significantly reduce garden space of amenity value, or spoil the sense of garden openness when viewed from properties around (see also policy CD80);**
- c) the extension would rise above the general height of neighbouring and nearby extensions, or rise to or above the original main eaves or parapet;**
- d) the extension would not be visually subordinate to the parent building;**
- e) on the site boundary, the extension would cause an undue cliff-like effect or sense of enclosure to neighbouring property;**
- f) the extension would spoil or disrupt the even rhythm of rear additions. Full width extensions will not usually be allowed;**
- g) the adequacy of sunlight and daylight reaching neighbouring dwellings and gardens would be impaired, or existing below standard situations made significantly worse (see Planning Standards Chapter);**
- h) there would be a significant increase in overlooking of neighbouring properties or gardens;**
- i) the detailed design of the addition, including the location or proportions or dimensions of fenestration or the external materials and finishes, would not be in character with the existing building (some exception may be allowed at basement level).**

**j) the extension would breach the established front building line;**

**k) an important or historic gap or view would be blocked or diminished.**

*Conservatories*

4.4.10 In recent years, conservatories have become an increasingly popular way of adding to domestic accommodation. A small conservatory at garden level at the rear of a property may be considered to be an appropriate garden feature. However, it is important that such proposals fit in with the historic character of the Borough. In considering applications for conservatories their location in relation to the building and garden, their impact on neighbouring properties, their size and detailed design will be considered.

**CD48 To resist proposals for conservatories if:**

**(a) located at roof level;**

**(b) located significantly above garden level;**

**(c) covering the whole width of the property;**

**(d) located on a corner site;**

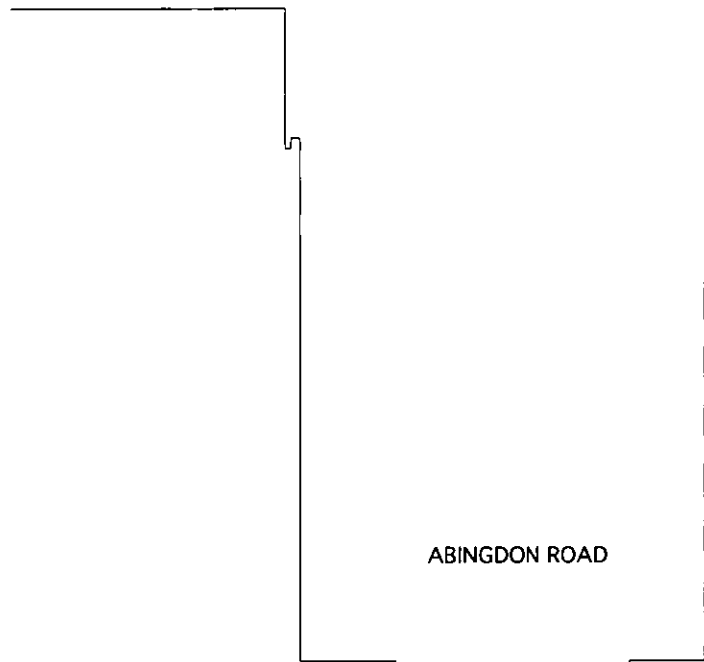
*Side Extensions and Gaps*

4.4.11 Many streets in the Borough are characterised by the presence of mature rear gardens. This greenery softens the dense urban scene and provides relief and visual interest when viewed from the street through gaps between buildings or when a corner building has an open return frontage. A similar pleasant contrast may occur by a view of the sky or rear elevations of nearby properties. Gaps are often a planned feature of the layout of a Victorian estate. Side extensions may have an unfortunate effect in unbalancing an otherwise symmetrical elevation of a terrace, detached or semi-detached property. Conservation Area Proposals Statements will, where appropriate, identify important gaps and vistas where infilling would be inappropriate. The policy below also applies to free-standing buildings in gaps.

**CD49 To resist side extensions to buildings if:**

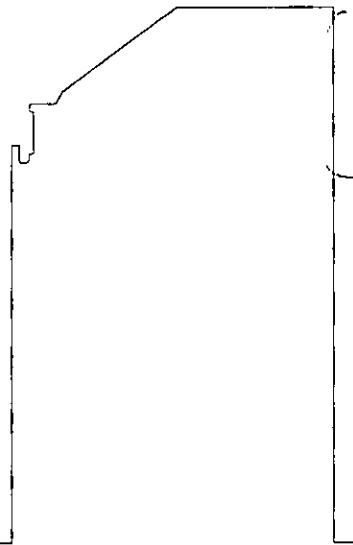
**(a) the architectural symmetry of a building, terrace or group of buildings would be impaired;**

ABINGDON MANSIONS

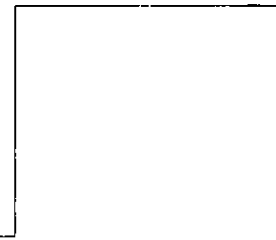


ABINGDON ROAD

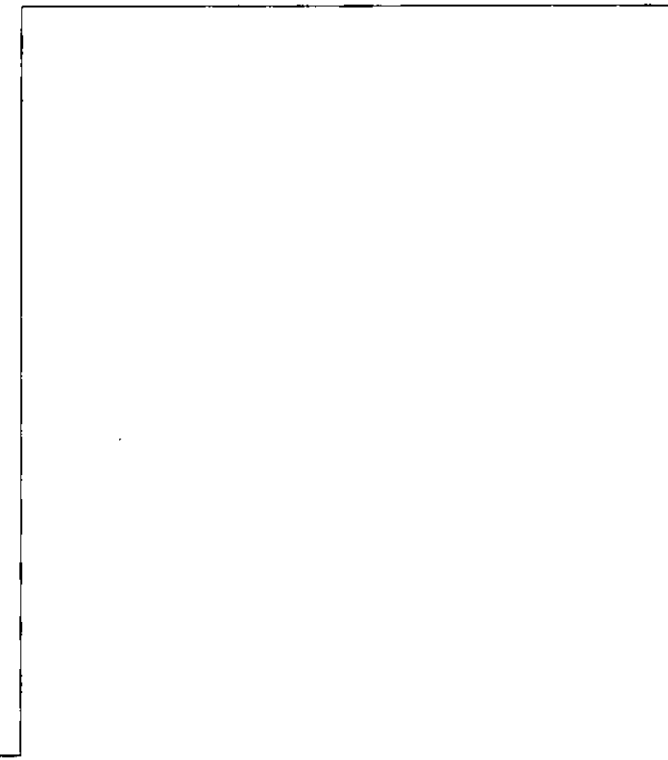
NO.37-39



NO.37A-39A



NO.61-70 WYNNSTAY GARDENS



### GENERAL NOTES

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 weatherings to be checked on site.  
 This drawing must not be used for land  
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 purposes unless accompanied by an  
 architect's instruction.  
 This drawing is copyright.

### REVISION

EX DIR	HDC	TP	CAC	AD	CLU	AC	AP
R.B.	17 SEP 2007				PLANNING		
K.C.							
N	C	S		APP	IO	REC	
HBS				RB	FPLN	DES	FELS

### PRELIMINARY

**HAINES  
 PHILLIPS  
 ARCHITECTS**

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

☎ 020 7833 9324  
 ☎ 020 7837 2864  
 ✉ office@hainesphillips.co.uk

#### JOB TITLE

**37 ABINGDON  
 ROAD,  
 LONDON W8**

#### DRAWING TITLE

**PROPOSED:  
 SECTION THROUGH  
 STREET**

DRAWN BY E.A.

SCALE 1:200

DATE 11.09.07

DRAWING N°

**3518-19**

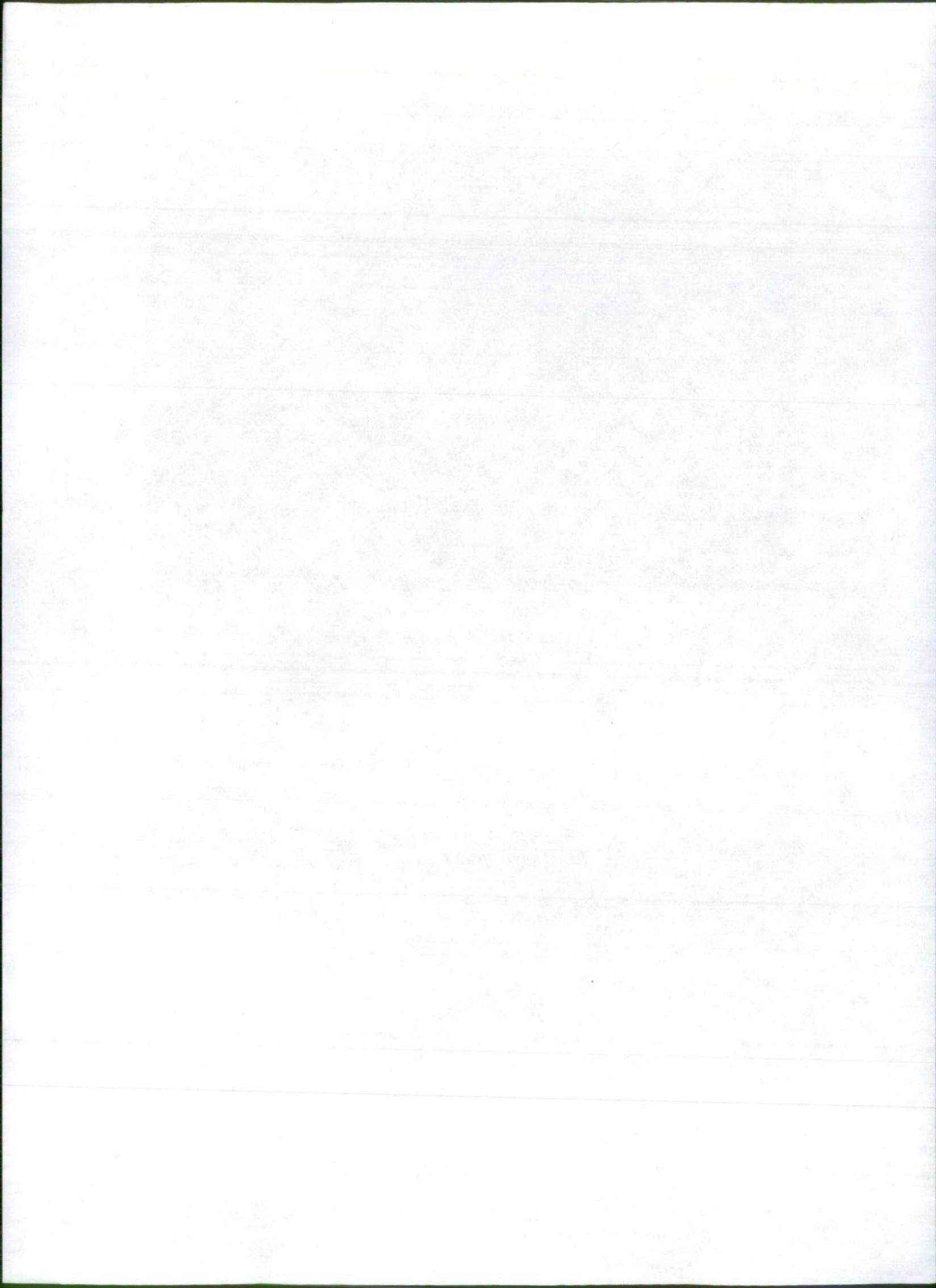
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K.C.:		N	C	S	APP	IO	REC
HBS		ARB	FPLN	DES	FEE		



37-39 ABINGDON ROAD, LONDON W8

KAYNES PHILLIPS ARCHITECTS





EX DIR	HDC	TP	CAC	AD	CLU	AO
						AK
PLANNING						
17 SEP 2007						
	APP	IO	REC			
	RB	FPLN	DES	FEES		



HAINES PHILLIPS ARCHITECTS

37A & 37B ABANDON ROAD, LONDON W8

PLANNING AND BOROUGH DEVELOPMENT

THE TOWN HALL HORNTON STREET LONDON W8 7NX

Executive Director David Prout

THE ROYAL  
BOROUGH OF



KENSINGTON  
AND CHELSEA

FAX COVER SHEET

To: Emily Andrews  
Organisation: Hainer Phillips  
Fax Number: 0207 837 2864

From: Erin Hooper  
Section: central Area  
Fax Number: 020 7361 3463  
Phone Number: 020 7 361 2329  
Email: erin.hooper@rbkc.gov.uk

Date: 16/10/07  
Pages (inc. this one): 8

Re: 37/39 Abingdon Rd.

Urgent     For your review     Reply ASAP     Please comment

*This message is confidential and may be legally privileged. It is intended solely for the person to whom it is addressed. If you are not that person, please notify the sender and destroy this copy immediately.*

Emily,

Please find attached a copy of the decision, plans and officers report for the previous refusal of the additional storey at 37/39 Abingdon Road.

Sorry for the delay.

Regards

Erin Hooper



# PLANNING AND CONSERVATION

THE TOWN HALL HORNTON STREET LONDON W8 7NX

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS

Child Graddon Lewis Limited,  
33 Fitzroy Street,  
London  
W1P 3ED

Switchboard: 0171-937-5464  
Direct Line: 0171-361-2085  
Extension: 2085  
Facsimile: 0171-361-3463

My Ref: PP/99/01262/CHSE/25/223  
Your Ref: 9898D

Please ask for: Central Area Team

Dear Sir/Madam,

## TOWN AND COUNTRY PLANNING ACT, 1990

## TOWN AND COUNTRY PLANNING GENERAL DEVELOPMENT ORDER, 1988

### REFUSAL OF PERMISSION TO DEVELOP (DP2)

The Borough Council in pursuance of their powers under the above mentioned Act and Order, hereby REFUSE to permit the development referred to in the under-mentioned Schedule as shown in the plans submitted. Your attention is drawn to the enclosed Information Sheet.

#### SCHEDULE

<b><u>DEVELOPMENT:</u></b>	Erection of additional storey to provide additional residential accommodation for the top flat.
<b><u>SITE ADDRESS:</u></b>	<b>37/39 Abingdon Road, Kensington, W8 6AH</b>
<b><u>RBK&amp;C Drawing Nos:</u></b>	PP/99/01262
<b><u>Applicant's Drawing Nos:</u></b>	9898C/PL/120, 9898C/PL/121, 9898C/PL/122, 9898/PL/200/A, 9898/PL/201/A, 9898/PL/202/A, 9898/PL/203/A, 9898/PL/230, 9898/PL/231 and 9898/PL/232
<b><u>Application Dated:</u></b>	16/06/1999
<b><u>Application Completed:</u></b>	23/06/1999
<b><u>Application Revised:</u></b>	N/A

**REASON(S) FOR REFUSAL OF PERMISSION ATTACHED OVERLEAF**

**REASON(S) FOR REFUSAL:**

1. **The additional storey, by virtue of its bulk and design would detract from the appearance of the building and the street scene, and would constitute an unwelcome and obtrusive feature to the detriment of the character and appearance of the Conservation Area, contrary to the Council's policies as set out in the Unitary Development Plan, in particular Policies CD38, CD52 and CD53.**
  
2. **The additional storey, by virtue of its height and bulk, would result in additional enclosure to properties to the rear, in particular those immediately behind, to the detriment of levels of amenity presently enjoyed, contrary to the Council's policies as set out in the Unitary Development Plan, in particular Policy CD28.**

Yours faithfully,

**Michael J. French**  
Executive Director, Planning and Conservation

QuickAid Extract Tuesday 9 October 2007 09:50

Officer's Report - Draft

PP/99/01262 37/39 Abingdon Road, Kensington, W8 6AH --

## **1.0 SITE**

- 1.1 No. 37 Abingdon Road is a three storey plus basement building on the East side of Abingdon Road. It is currently in office use (within Class B1) on all floors.
- 1.2 The property is within the Edwardes Square, Scarsdale and Abingdon Conservation Area.

## **2.0 THE PROPOSAL**

- 2.1 Planning permission is sought for the erection of an additional storey in the form of a mansard roof to provide additional accommodation to the top flat approved in the conversion scheme under Reference PP/99/0296.

## **3.0 PLANNING HISTORY**

- 3.1 Planning permission was granted on 13th July 1977 for the rebuilding and extension of the single storey first floor side addition to a two storey side addition for office use.
- 3.2 Planning permission was refused on 25th April 1978 for the extension of the building by two storeys for office use, including as an architect's studio.
- 3.3 Planning permission was refused on 17th July 1978 for the erection of an additional storey for use as an architect's studio.
- 3.4 Planning permission was refused on 20th December 1985 for the erection of an additional storey for office use.
- 3.5 Planning permission was granted in April 1999 for the erection of 2 x 2 storey houses, provision of 2 parking spaces and associated landscaping at the rear of No. 37 Abingdon Road, on the site of an existing flat with 4 parking spaces under.
- 3.6 Planning permission was granted in May 1999 for the conversion of the existing offices into 5 self-contained flats, together with elevational alterations to the rear.

#### **4.0 PLANNING CONSIDERATIONS**

- 4.1 The main considerations are the design of the proposed additional storey and its effect on the appearance of the building and the street scene, its effect on the character and appearance of the Conservation Area, and the effect of extending the building upwards on levels of amenity enjoyed by the occupiers of surrounding residential properties.
- 4.2 The relevant policies are included in the 'Conservation and Development' chapter of the Unitary Development Plan, in particular Policies CD28, CD38, CD52 and CD53.
- 4.3 The proposed additional accommodation would be in a mansard storey, and forms an extension to the top flat of the conversion scheme already approved. No objection is raised to the provision of additional residential accommodation within the building.
- 4.4 The building is one of the tallest in Abingdon Road, and stands adjacent to the Kensington Arms Public House. It has a flat roof at present, with brick parapets, and forms the southern termination of a group of similar modern buildings in the street.
- 4.5 The proposed additional storey would take the form of a mansard roof with three dormers at the front, two dormers at the rear and two rooflights in the North elevation, with slated roofslopes to three sides.
- 4.6 The building is a prominent one and can be seen in views down Abingdon Road and from Pater Street, since it lies almost opposite the junction. To the rear, it can be viewed from Allen Mansions, a mansion block to the East.
- 4.7 It is considered that by virtue of the bulk and height of the mansard roof, the extension would detract from the appearance of the building and the streetscape, and would be an unwelcome and obtrusive addition. The mansard roof on No. 29 at the opposite end of the modern block is not recent and, as such, is not considered to constitute a precedent for this development. Further, it is considered that the proposed mansard roof would conflict visually with the roof form of the adjacent Public House, which is of some architectural interest.
- 4.8 It is considered that an additional storey on this building would detract from the appearance of the building and the streetscape, and would thereby harm the character and appearance of the Conservation Area contrary to the aims of Policies CD52 and CD53.

**1.- REF Reasons for Refusal:**

The additional storey, by virtue of its bulk and design would detract from the appearance of the building and the street scene, and would constitute an unwelcome and obtrusive feature to the detriment of the character and appearance of the Conservation Area, contrary to the Council's policies as set out in the Unitary Development Plan, in particular Policies CD38, CD52 and CD53.

**2.- REF1 Reasons for refusal 1:**

The additional storey, by virtue of its height and bulk, would result in additional enclosure to properties to the rear, in particular those immediately behind, to the detriment of levels of amenity presently enjoyed, contrary to the Council's policies as set out in the Unitary Development Plan, in particular Policy CD28.

- 4.9 Further, it is considered that to raise the height of the building by an additional storey would increase the enclosure to properties to the rear, including the flat immediately behind and to a lesser extent, the flats in Allen Mansions, to the detriment of levels of amenity presently enjoyed by the residents, contrary to Policy CD28.
- 4.10 Overall, it is considered that by virtue of its effect on the character and appearance of the Conservation Area and the effect on levels of residential amenity, a refusal of planning permission is justified.

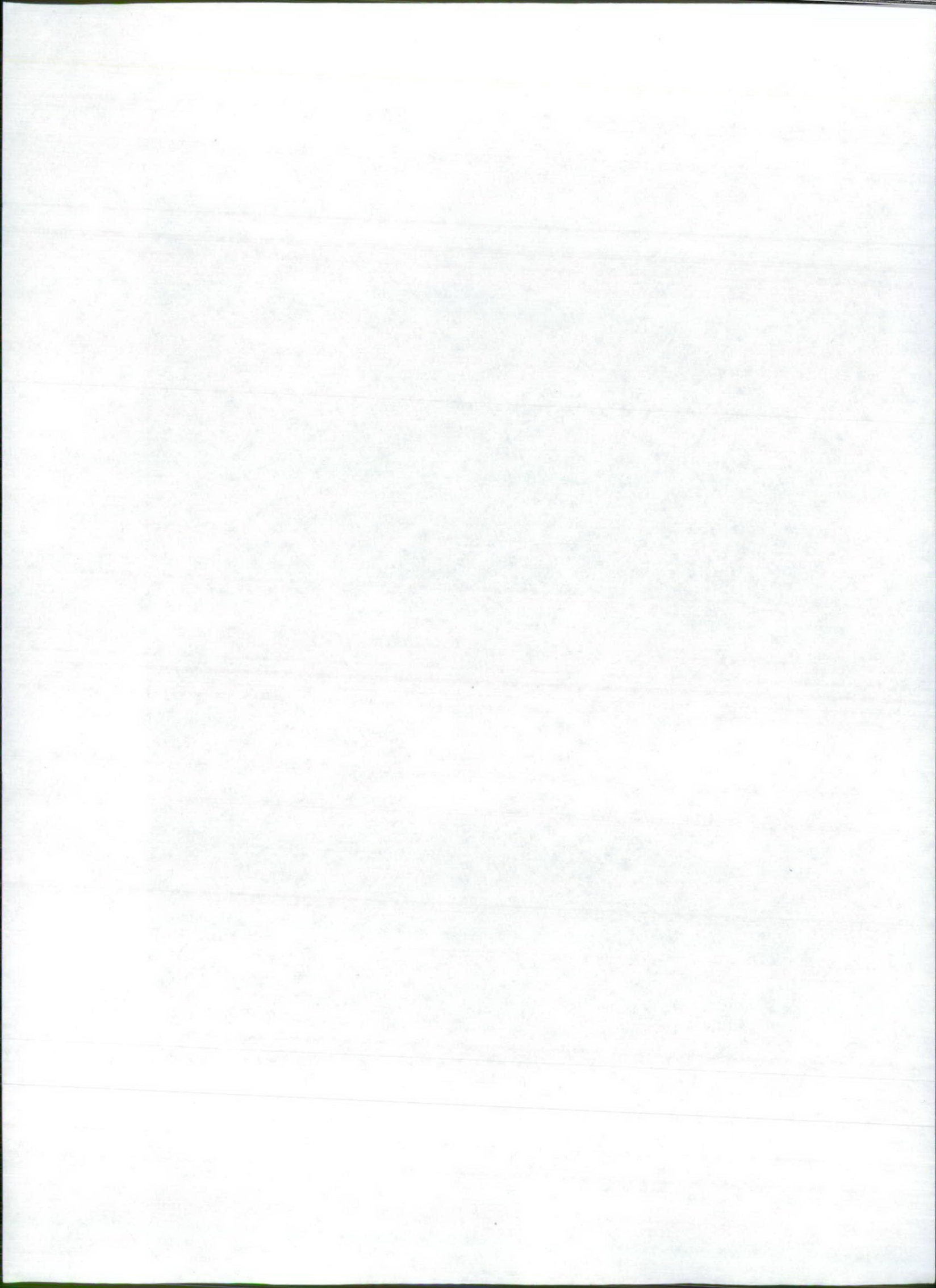
## **5.0 CONSULTATION**

- 5.1 Occupiers of sixteen neighbouring properties were notified of the proposal.
- 5.2 To date, no representations have been received.

## **6.0 RECOMMENDATION**

- 6.1 Refuse planning permission.  
--- End of Document//





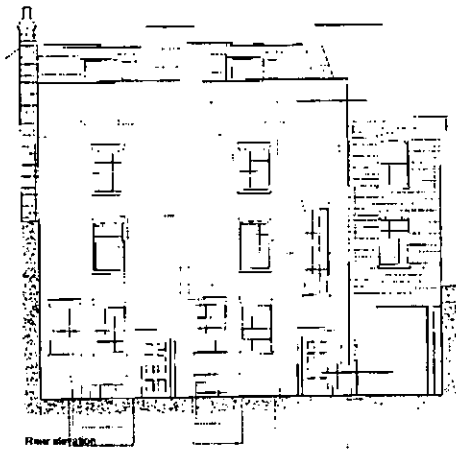


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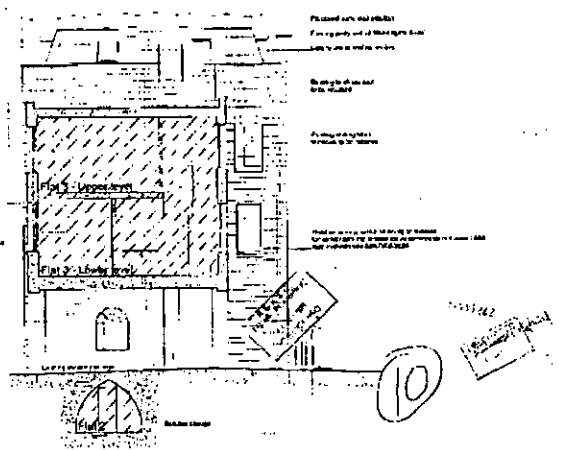
HAINES PHILLIPS ARCHITECTS

3A-39 ABINGDON ROAD, LONDON W8



Rear (East) Elevation

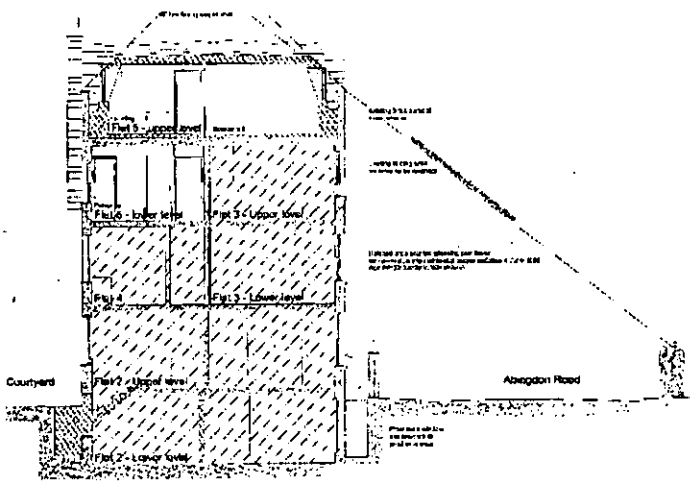
Notes:  
1. See also the other elevations  
2. Windows & doors are shown in section  
3. See also the other elevations  
4. See also the other elevations



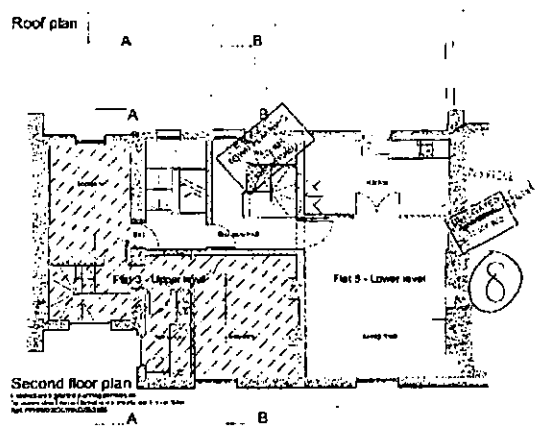
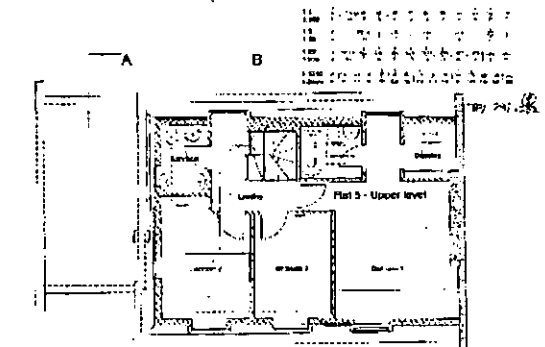
Side (North) Elevation / Section AA

Notes:  
1. See also the other elevations  
2. Windows & doors are shown in section  
3. See also the other elevations  
4. See also the other elevations

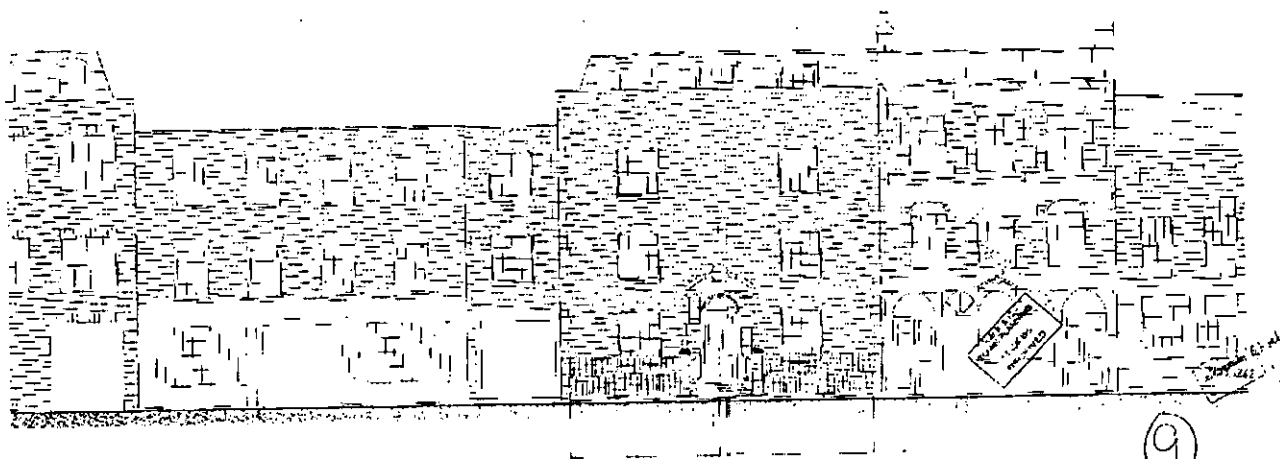
1. See also the other elevations	2. Windows & doors are shown in section
3. See also the other elevations	4. See also the other elevations



Section BB



Legend for Second floor plan:  
 Room  
 Wall  
 Door  
 Window  
 Staircase



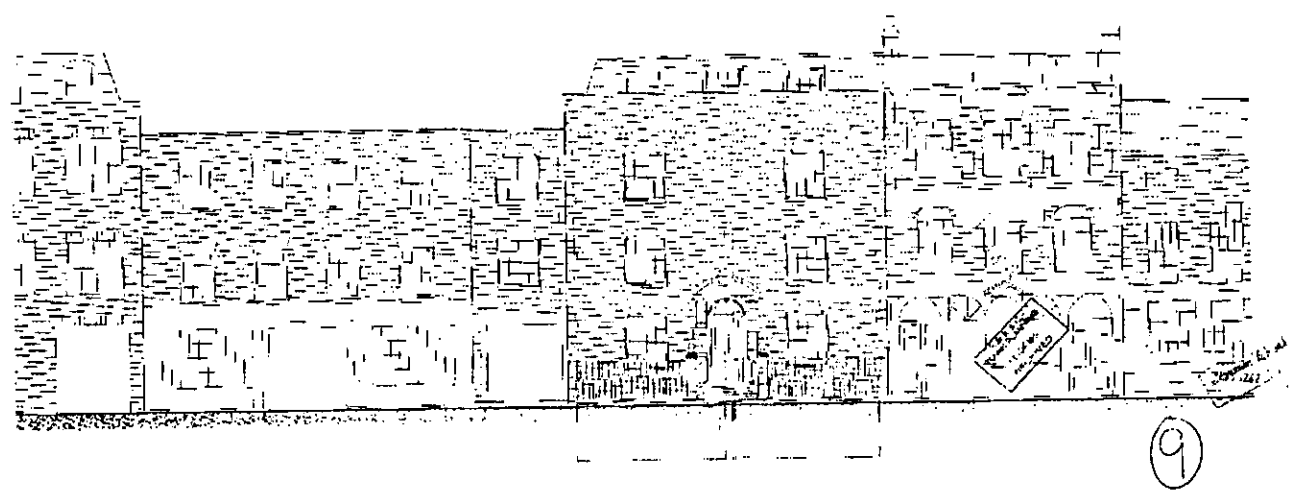
29 Abingdon Road X — 31-33 Abingdon Road — X — 37-39 Abingdon Road — X — 41 Abingdon Road (East of 40th St) X — 43 Abingdon Road

Abingdon Road - West Street Elevation

11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

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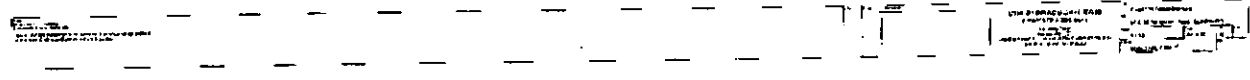
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20 Abingdon Road X — 31-42 Abingdon Road — X — 37-39 Abingdon Road — X — 41 Abingdon Road (See also page 21) X — 43 Abingdon Road

Abingdon Road - West Street Elevation

11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100



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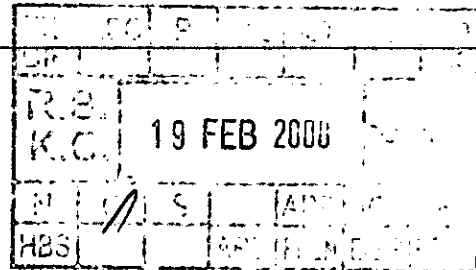
DATE OF DRAWING: 1988  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

EH

**Withers, Caroline: PC-Plan**

**From:** Hooper, Erin: PC-Plan  
**Sent:** 19 February 2008 10:20  
**To:** Planning: PC-PlanSvc  
**Subject:** FW: 37 Abingdon Road  
**Attachments:** 3518-Sk15B PROP Front Elev.pdf; 3518-Sk16B PROP Rear Elev.pdf; 3518-Sk18D PROP Secn BB.pdf; 3518-Sk14C PROP Roof Plan.pdf; 3518-SK19B Prop Street Secn.pdf; 3518-Sk12D PROP 3RD.pdf; 3518-SK19B Prop Street Secn.pdf; 3518-View 1.pdf; 3518-View 2.pdf

**From:** Connie Petrou [mailto:connie.petrou@dp9.co.uk]  
**Sent:** 18 February 2008 12:54  
**To:** Hooper, Erin: PC-Plan  
**Cc:** Oliver Sheppard  
**Subject:** 37 Abingdon Road



(33)

Dear Erin,

As agreed last week we have put together a package of drawings for you and the design officer to review in relation to the aforementioned site. This includes the following drawings:

Proposed Front Elevation (3518-SK15B)  
 Proposed Rear Elevation (3518-SK16B)  
 Proposed Section B-B (3518-SK18D)  
 Proposed Roof Plan (3518-SK14C)  
 Proposed Section Through Street (3518-SK19B)  
 Proposed Third Floor Plan (3518-SK12D)  
 Proposed Section Through Street (3518-SK19B)  
 View from Kensington High Street  
 View looking towards Kensington High Street

As you will note the proposed roof extension is now in a traditional flat top mansard (in accordance with the requirements of the UDP) and is mostly hidden behind the existing parapet. The additional height and bulk of the previous proposals has also been removed, as advised. The views attached also indicate that the proposed roof extension has been designed to respect the setting of the existing buildings and rooflines within this part of the conservation area.

Please do not hesitate to contact me should you require any further information/clarification at this stage. As discussed your comments on these current proposals would be greatly appreciated.

Kind Regards

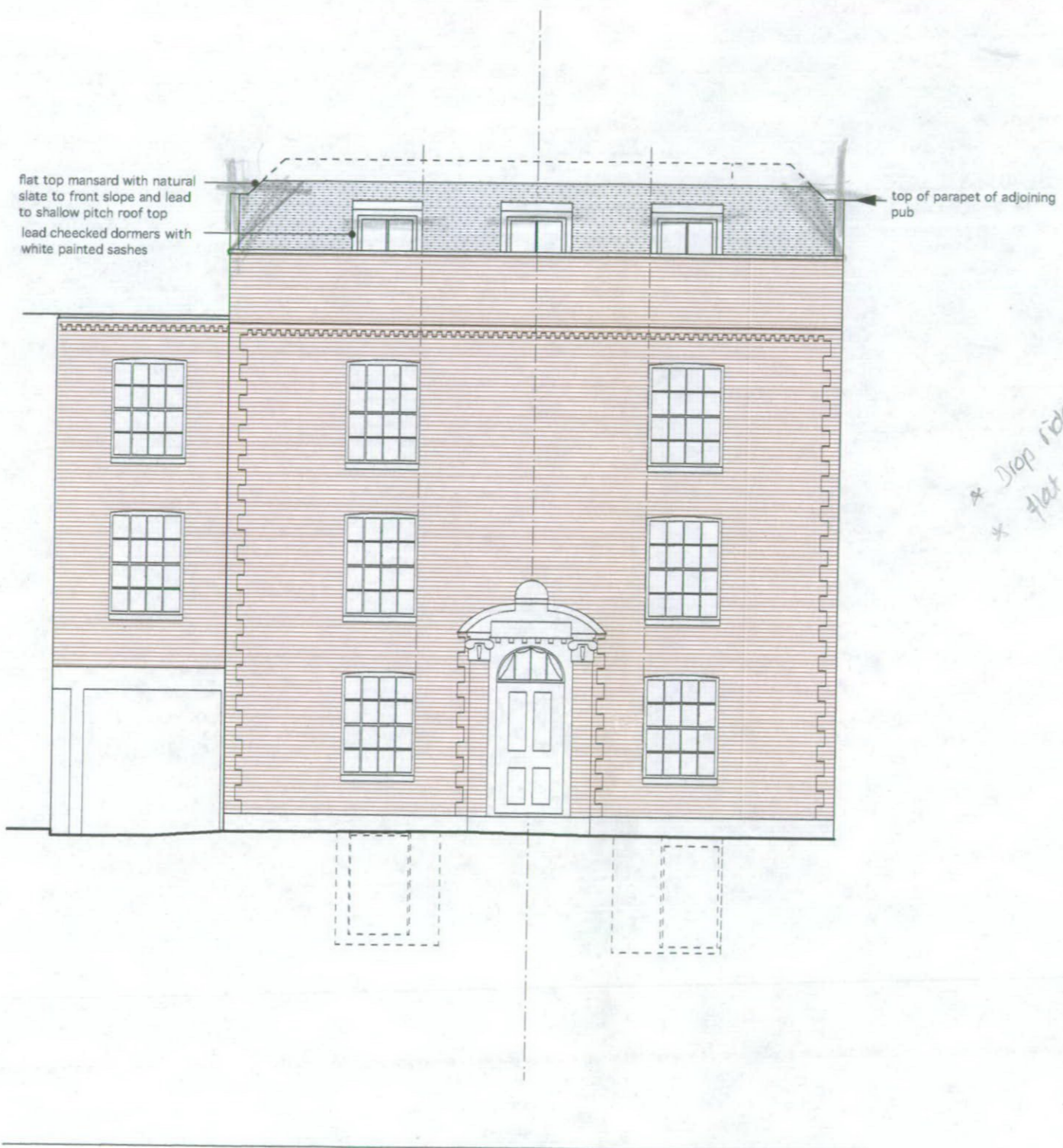
Connie

Connie Petrou

direct: 020 7004 1747  
 mobile: 07809 583747  
 e-mail: connie.petrou@dp9.co.uk

19/02/2008

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 CAD AD  
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 architect's instruction.  
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**REVISION**

- A 04.02.2008**  
Roof extension re-drawn to  
incorporate traditional true  
mansard.
- B 12.02.2008**  
Minor revisions to roof and  
dormers.

**PRELIMINARY**

**HAINES  
 PHILLIPS**  
 ARCHITECTS

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

t 020 7833 9324  
 f 020 7837 2864  
 e office@hainephillips.co.uk

**JOB TITLE**  
**37 ABINGDON  
 ROAD,  
 LONDON W8**

**DRAWING TITLE**  
**PROPOSED: FRONT  
 ELEVATION**

DRAWN BY Ma.P  
 SCALE 1:100  
 DATE 09.01.08  
 DRAWING N°  
**3518-SK15B**

FRANKLIN

MADE  
IN U.S.A.

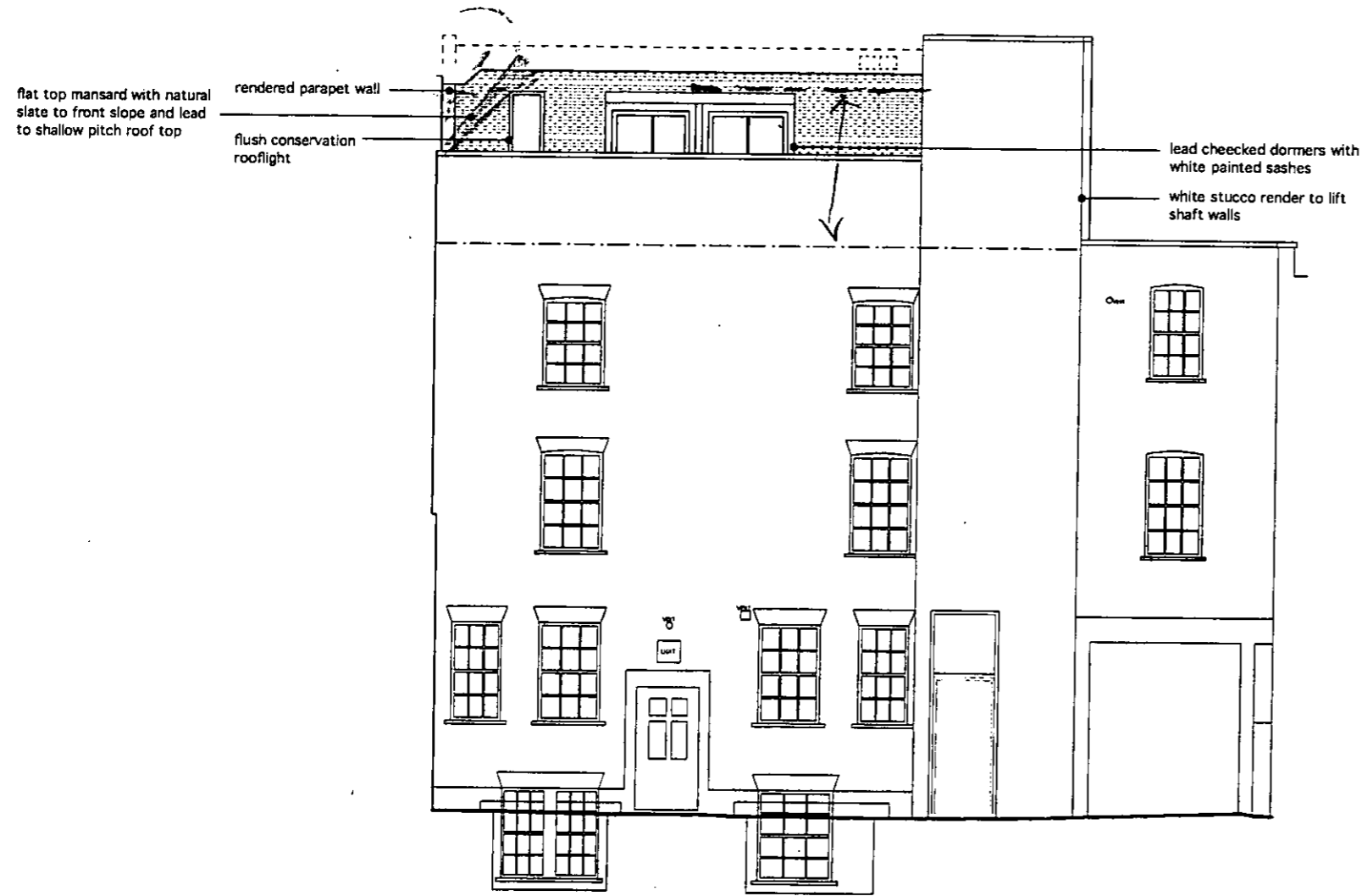
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 purposes unless accompanied by an  
 architect's instruction.  
 This drawing is copyright.

### REVISION

- A 07.02.2008**  
Mansard roof behind parapet to  
replace glass structure at roof level.  
Glazing omitted from lift shaft.
- B 12.02.2008**  
Minor revisions to roof.

## PRELIMINARY

**HAINES  
 PHILLIPS  
 ARCHITECTS**

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA  
 ☎ 020 7833 9324  
 ☎ 020 7837 2864  
 ✉ office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON  
 ROAD,  
 LONDON W8**

**DRAWING TITLE**  
**PROPOSED: REAR  
 ELEVATION**

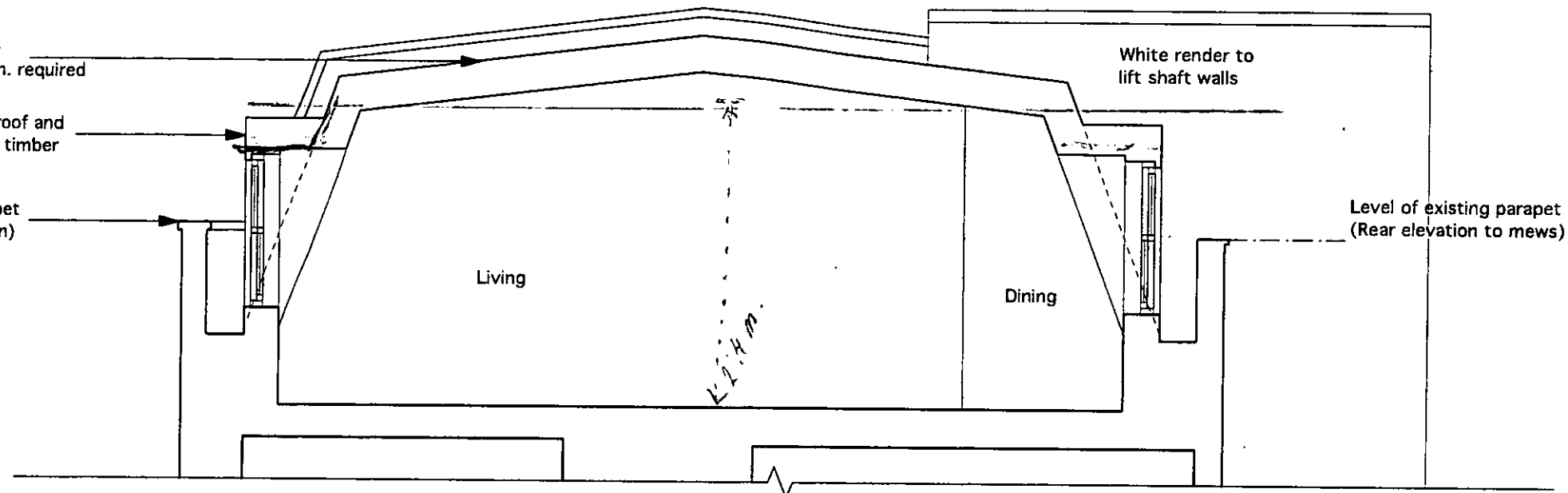
DRAWN BY Ma.P  
 SCALE 1:100  
 DATE 09.01.08  
 DRAWING N°  
**3518-SK16 B**

APR	FPLN	DES	FEIS				
APR	IO	REC		S	C	N	
PLANNING	19 FEB 2008						
EA	MD	TP	CAC	AD	CLU	AD	

Traditional lead top to mansard, 7° slope (min. required for lead)

Dormer window, lead roof and cheeks. White painted timber sash.

Level of existing parapet (Abingdon Rd elevation)



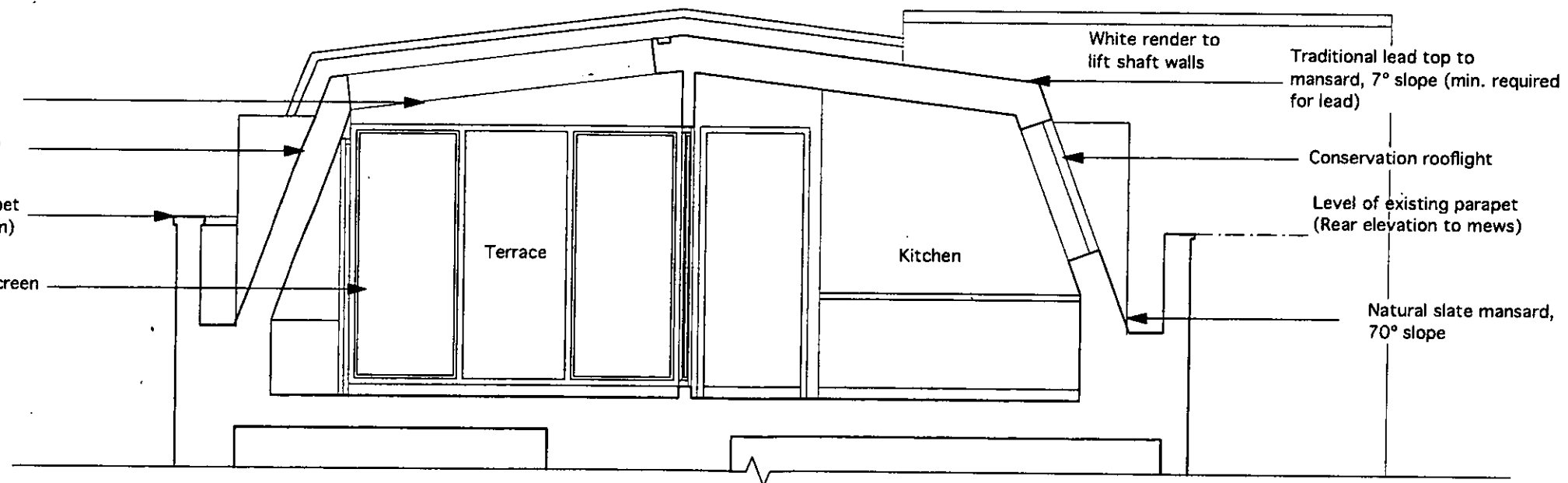
**SECTION A-A**

White painted render to wall surfaces

Natural slate mansard, 70° slope

Level of existing parapet (Abingdon Rd elevation)

Hardwood and glass screen



**SECTION B-B**

**GENERAL NOTES**

Do not scale from this drawing. All dimensions, levels, fixings and weatherings to be checked on site. This drawing must not be used for land transfer purposes, or for construction purposes unless accompanied by an architect's instruction. This drawing is copyright.

**REVISION**

- A 04.01.2008**  
Minor revisions to layout
- B 09.01.2008**  
Flat roof no. 3 shown
- C 10.01.2008**  
Revisions to flat roofs 2 and 3
- D 11.02.2008**  
Section BB redrawn. Section AA added

**PRELIMINARY**

**HAINES PHILLIPS ARCHITECTS**

Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

☎ 020 7833 9324  
☎ 020 7837 2864  
✉ office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD, LONDON W8**

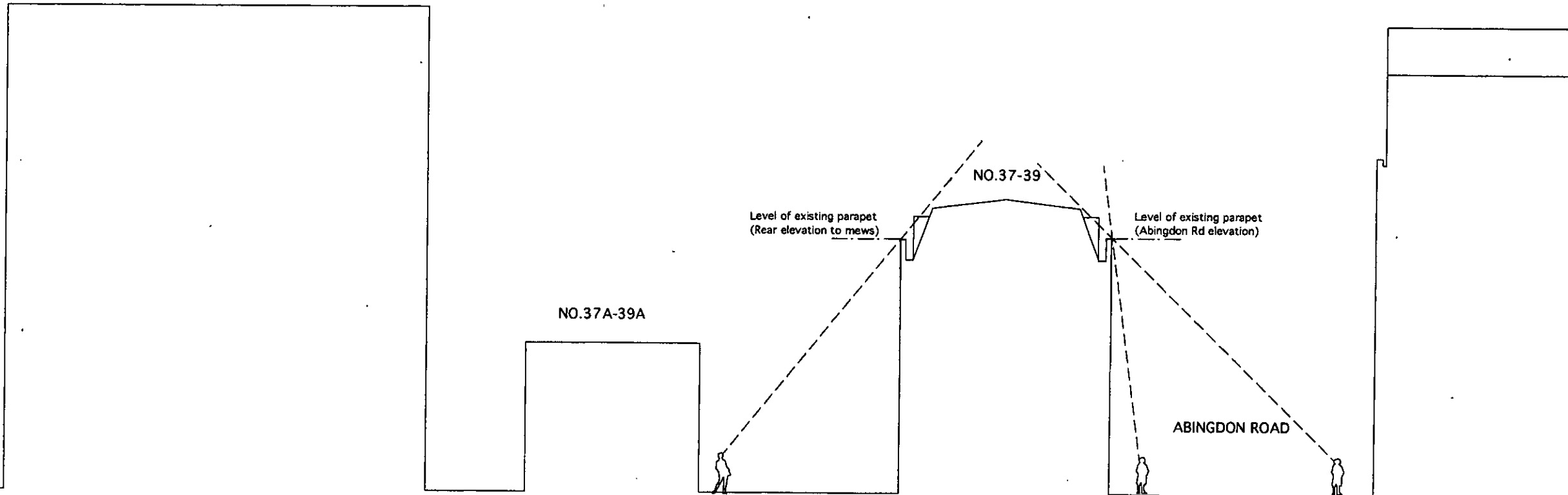
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**PROPOSED: SECTION B-B**

**DRAWN BY** E.A.  
**SCALE** 1:50  
**DATE** 19.12.07  
**DRAWING N°**  
**3518-SK18 D**

DESIGN	DESIGN	DESIGN	DESIGN	DESIGN	DESIGN
APPROVED	APPROVED	APPROVED	APPROVED	APPROVED	APPROVED
19 FEB 2008	19 FEB 2008	19 FEB 2008	19 FEB 2008	19 FEB 2008	19 FEB 2008
PLANNING	PLANNING	PLANNING	PLANNING	PLANNING	PLANNING

NO.61-70 WYNNSTAY GARDENS

ABINGDON MANSIONS



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 weatherings to be checked on site.  
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 transfer purposes, or for construction  
 purposes unless accompanied by an  
 architect's instruction.  
 This drawing is copyright.

**REVISION**

- A 10.01.2008**  
Minor revisions
- B 13.02.2008**  
Redrawn with new mansard

**PRELIMINARY**

**HAINES  
 PHILLIPS  
 ARCHITECTS**

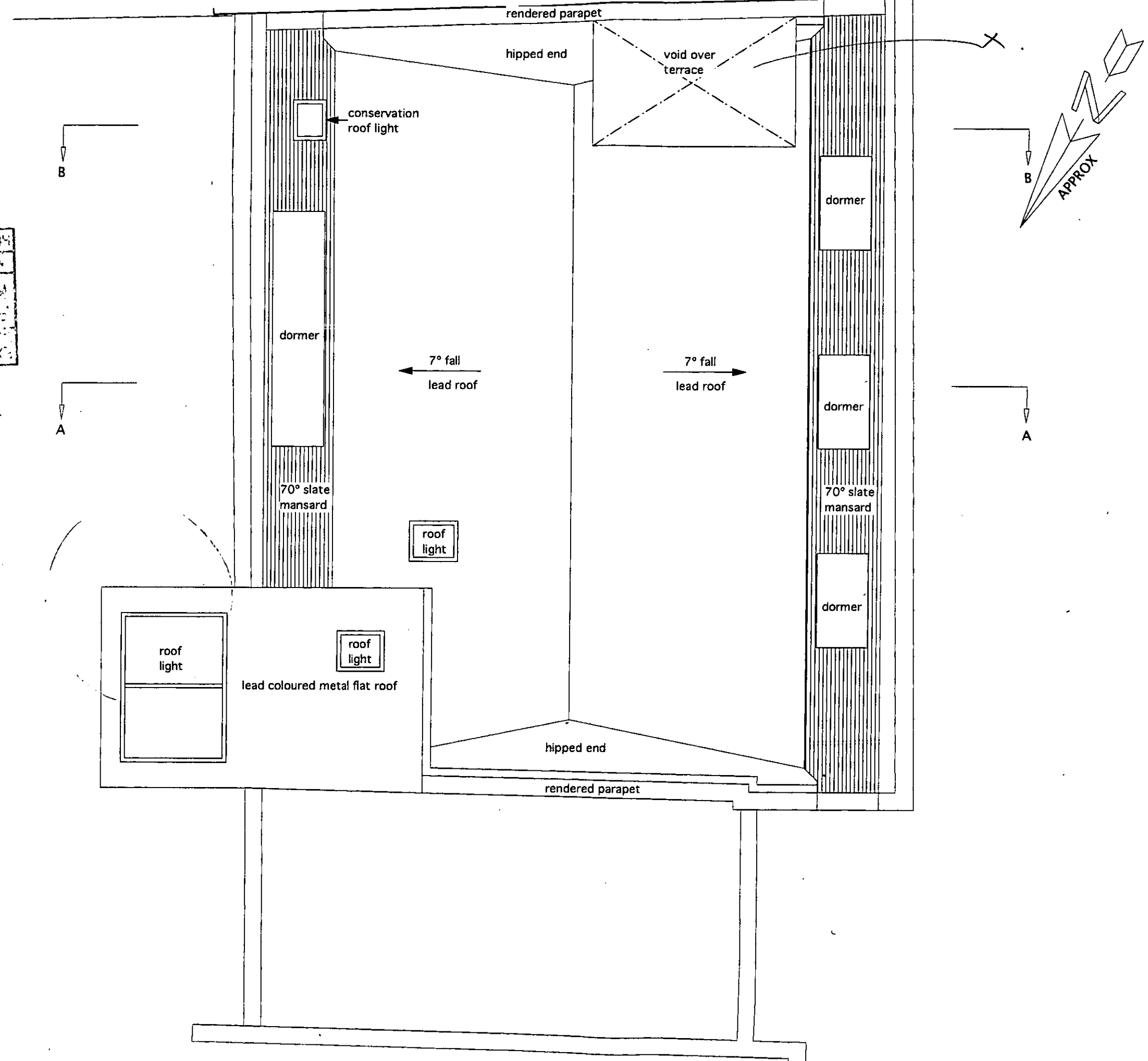
Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA  
 ☎ 020 7833 9324  
 ☎ 020 7837 2864  
 ✉ office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON  
 ROAD,  
 LONDON W8**

**DRAWING TITLE**  
**PROPOSED:  
 SECTION THROUGH  
 STREET**

**DRAWN BY** E.A.  
**SCALE** 1:200  
**DATE** 11.09.07  
**DRAWING N°**  
**3518-SK19B**

REV	NO	DATE	BY	CHKD
1	1	19 FEB 2008	ARB	ARB
2	2		ARB	ARB
3	3		ARB	ARB
4	4		ARB	ARB
5	5		ARB	ARB
6	6		ARB	ARB
7	7		ARB	ARB
8	8		ARB	ARB
9	9		ARB	ARB
10	10		ARB	ARB



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 All dimensions, levels, fixings and weathers to be checked on site.  
 This drawing must not be used for land transfer purposes, or for construction purposes unless accompanied by an architect's instruction.  
 This drawing is copyright.

**REVISION**  
**A 04.01.2008**  
 Minor revisions to layout  
**B 06.01.2008**  
 Minor revisions to layout  
**C 14.02.2008**  
 Redrawn with new mansard.

**PRELIMINARY**

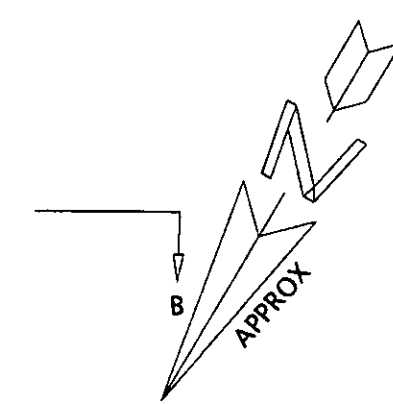
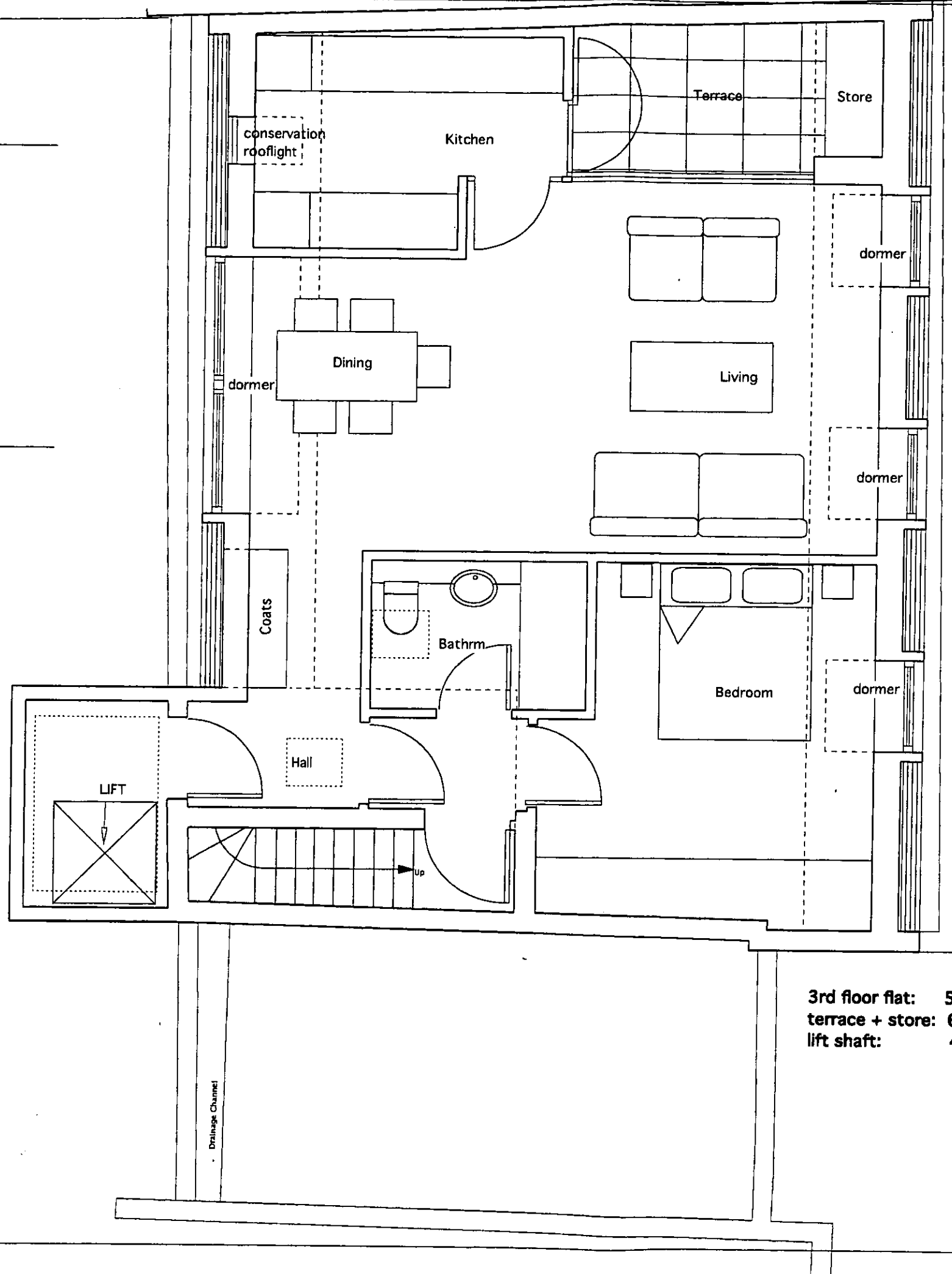
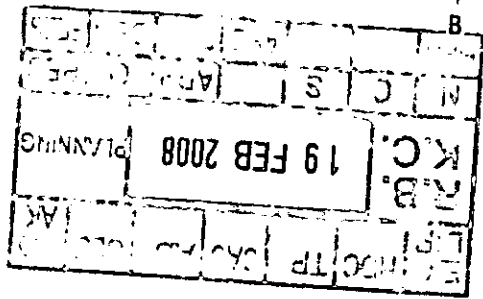
**HAINES PHILLIPS ARCHITECTS**

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA  
 ☎ 020 7833 9324  
 ☎ 020 7837 2864  
 ✉ office@hainephillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD, LONDON W8**

**DRAWING TITLE**  
**PROPOSED: ROOF PLAN**

DRAWN BY E.A.  
 SCALE 1:50  
 DATE 19.12.07  
 DRAWING N°  
**3518-SK14 C**



**GENERAL NOTES**

Do not scale from this drawing. All dimensions, levels, fixings and weatherings to be checked on site. This drawing must not be used for land transfer purposes, or for construction purposes unless accompanied by an architect's instruction. This drawing is copyright.

**REVISION**

- A 04.01.2008**  
Minor revisions to layout
- B 07.01.2008**  
Minor revisions to layout
- C 07.02.2008**  
Layout revised due to omission of 4th floor level.
- D 12.02.2008**  
Revisions to positions of dormers.

**PRELIMINARY**

**HAINES  
PHILLIPS  
ARCHITECTS**

Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

☎ 020 7833 9324  
☎ 020 7837 2864  
✉ office@hainesphillips.co.uk

**JOB TITLE**

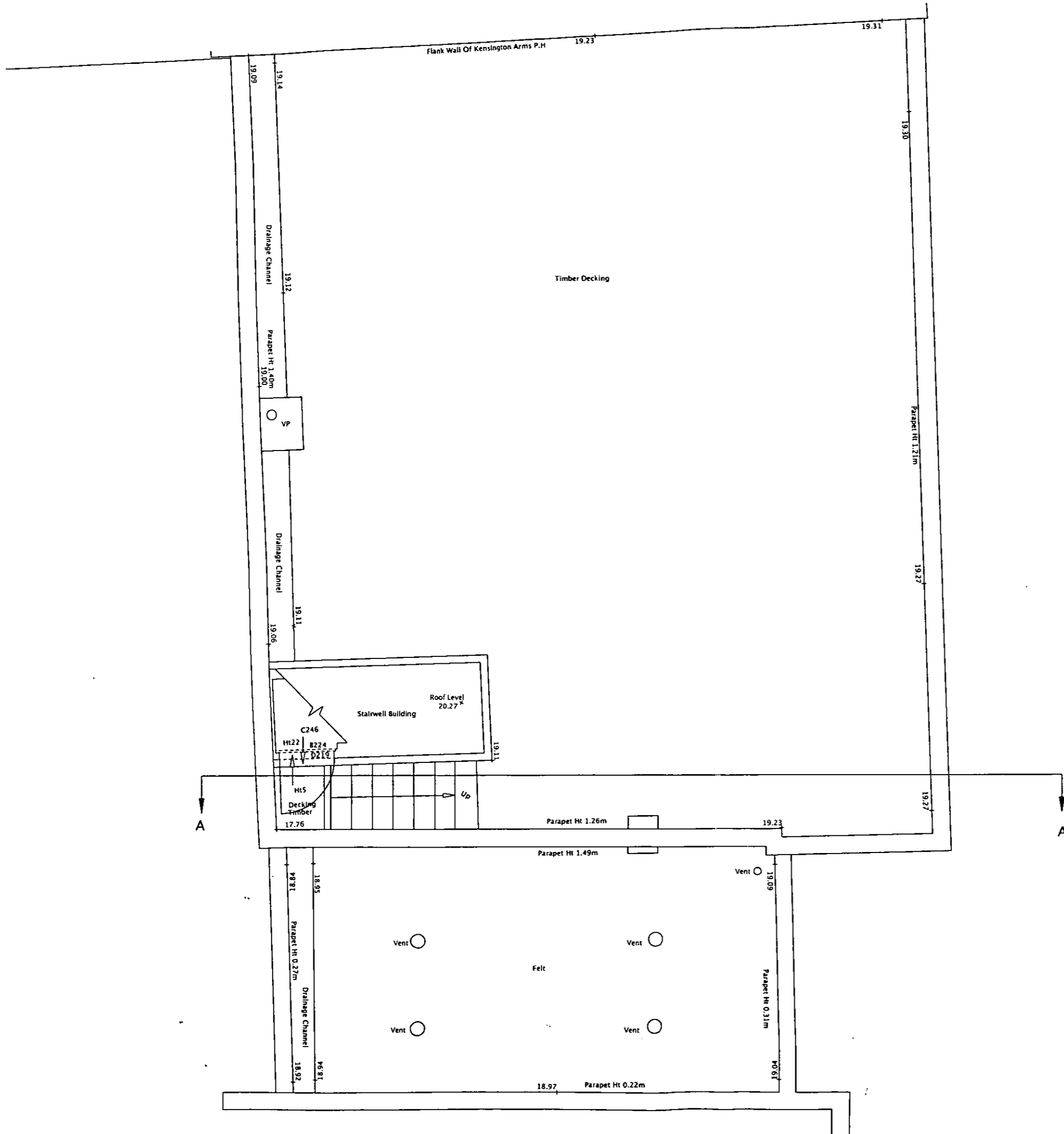
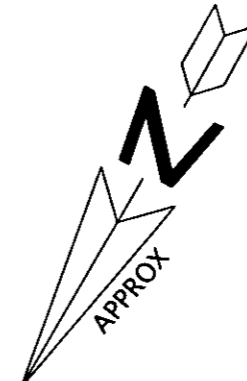
**37 ABINGDON  
ROAD,  
LONDON W8**

**DRAWING TITLE**

**PROPOSED: THIRD  
FLOOR PLAN**

DRAWN BY E.A.  
SCALE 1:50  
DATE 19.12.07  
DRAWING N°  
**3518-SK12 D**

3rd floor flat: 590 sq ft / 55 sq m  
terrace + store: 61 sq ft / 5.7 sq m  
lift shaft: 43 sq ft / 4 sq m



**GENERAL NOTES**

Do not scale from this drawing.  
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 weatherings to be checked on site.  
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 transfer purposes, or for construction  
 purposes unless accompanied by an  
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 This drawing is copyright.

**REVISION**

EX DIR	HDC	TP	CAC	AD	CLU	AG AK
R.B.	17 SEP 2007				PLANNING	
N	C	S	APP	IO	REC	
HBS		ARB	FPLN	DES	FEE	

**PRELIMINARY**

**HAINES  
 PHILLIPS  
 ARCHITECTS**

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

- ☎ 020 7833 9324
- ☎ 020 7837 2864
- ✉ office@hainephillips.co.uk

**JOB TITLE**  
**37 ABINGDON  
 ROAD,  
 LONDON W8**

**DRAWING TITLE**  
**EXISTING: ROOF  
 PLAN**

**DRAWN BY** E.A.  
**SCALE** 1:50  
**DATE** 11.09.07  
**DRAWING N°**  
**3518-02**

29210/01262  
①



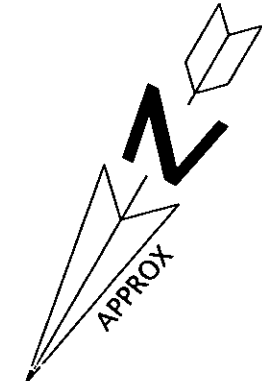
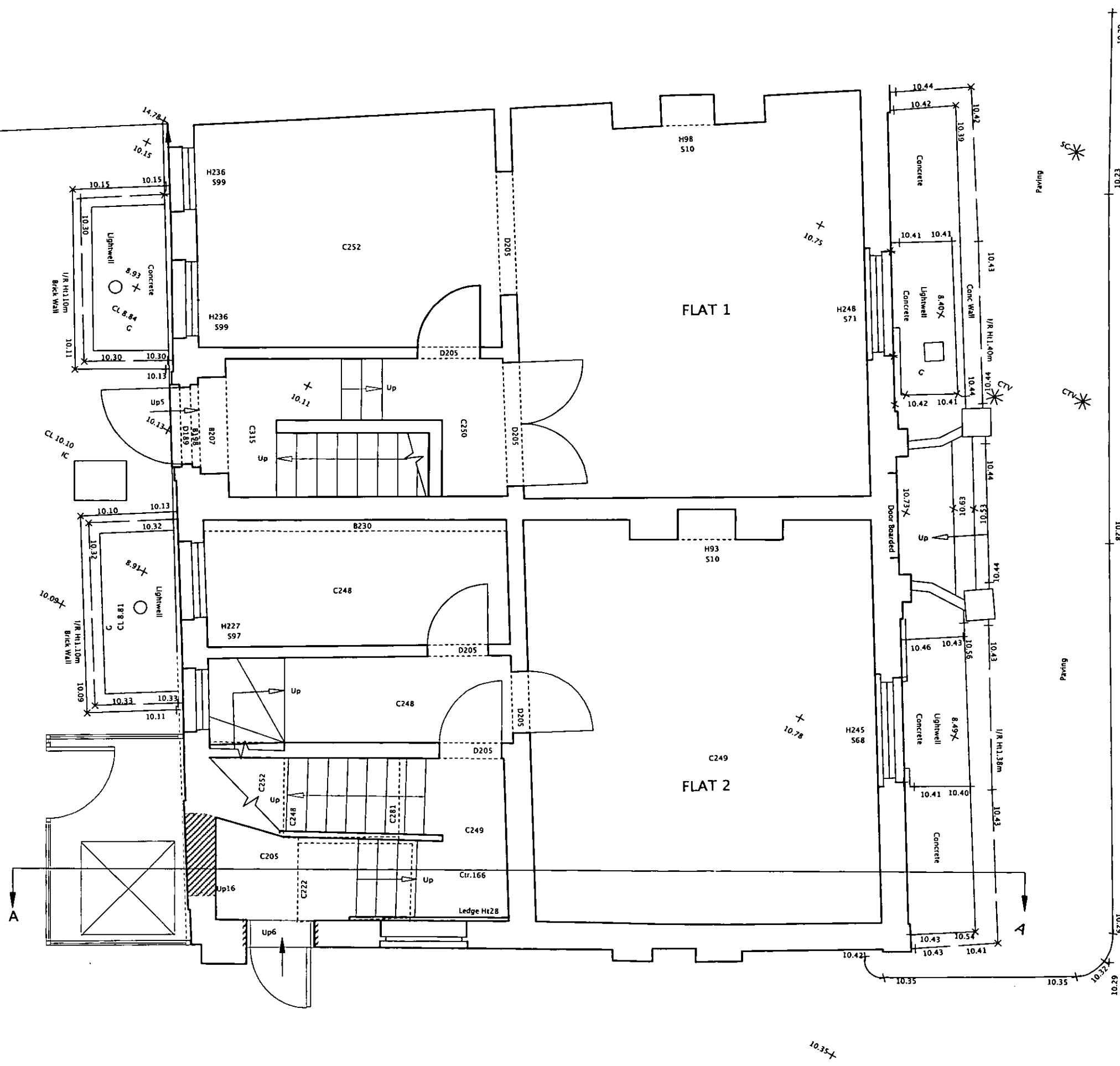
PP/99/01262  
②

REC'D  
19 FEB 2008  
A.M.  
CITY OF NEW YORK  
PLANNING DEPARTMENT









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REVISION

EX DIR	HDC	TP	CAC	AD	CLU	AO	AK
R.B.	17 SEP 2007					PLANNING	
K.C.	N	C	S	APP	IO	REC	
HBS				ARB	PLN	DES	FEES

**PRELIMINARY**

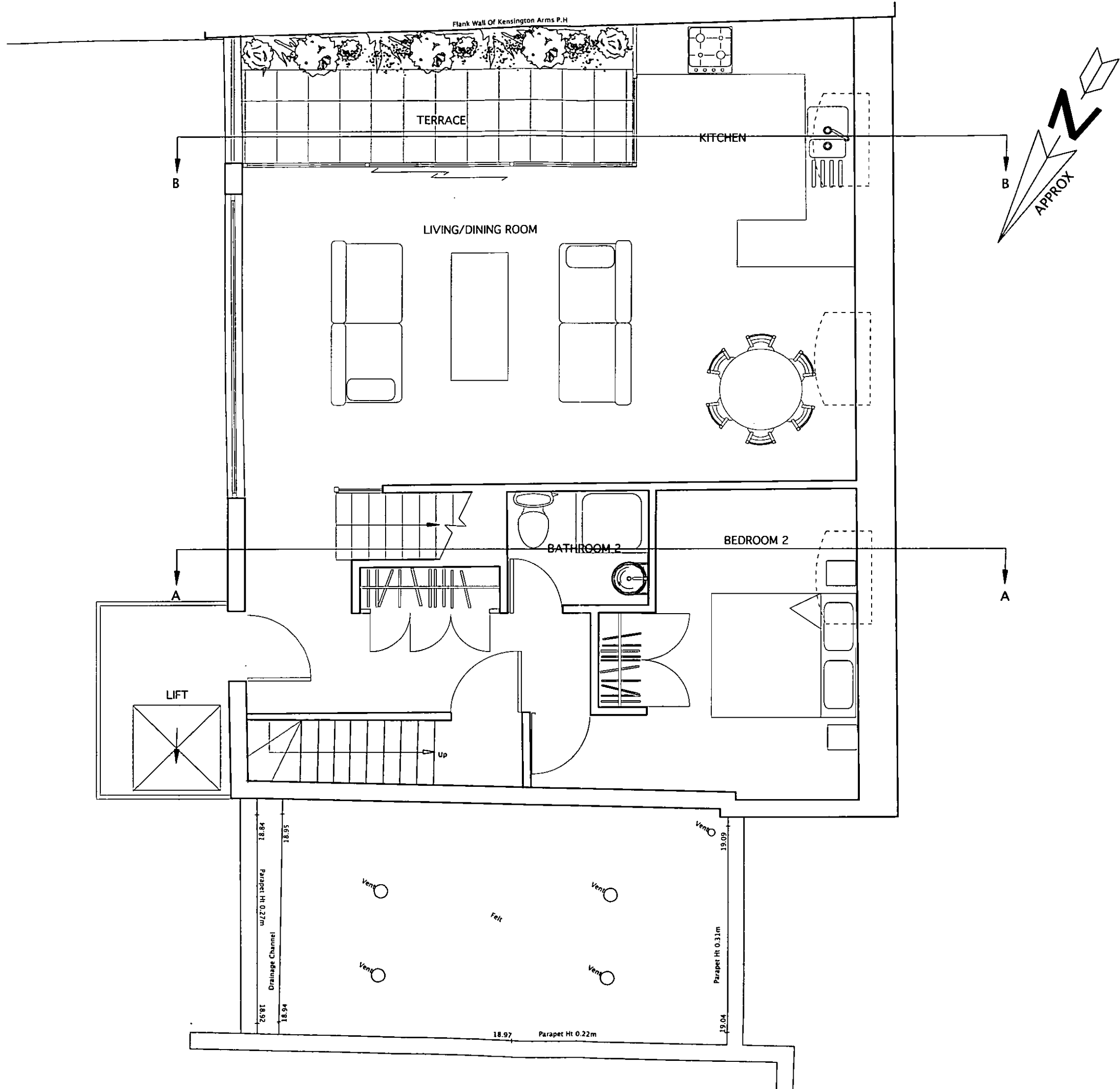
**HAINES PHILLIPS ARCHITECTS**

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA  
 ☎ 020 7833 9324  
 ☎ 020 7837 2864  
 ✉ office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD, LONDON W8**

**DRAWING TITLE**  
**PROPOSED: GROUND FLOOR PLAN**

DRAWN BY E.A.  
 SCALE 1:50  
 DATE 11.09.07  
 DRAWING N°  
**3518-11**



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**REVISION**

EX DIR	HDC	TP	CAC	AD	CLU	AD AK
R.B.	17 SEP 2007				PLANNING	
K.C.						
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**PRELIMINARY**

**HAINES PHILLIPS ARCHITECTS**

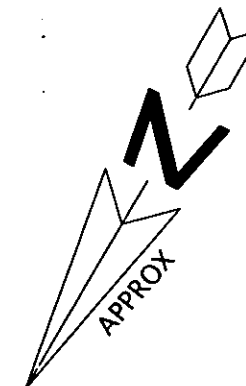
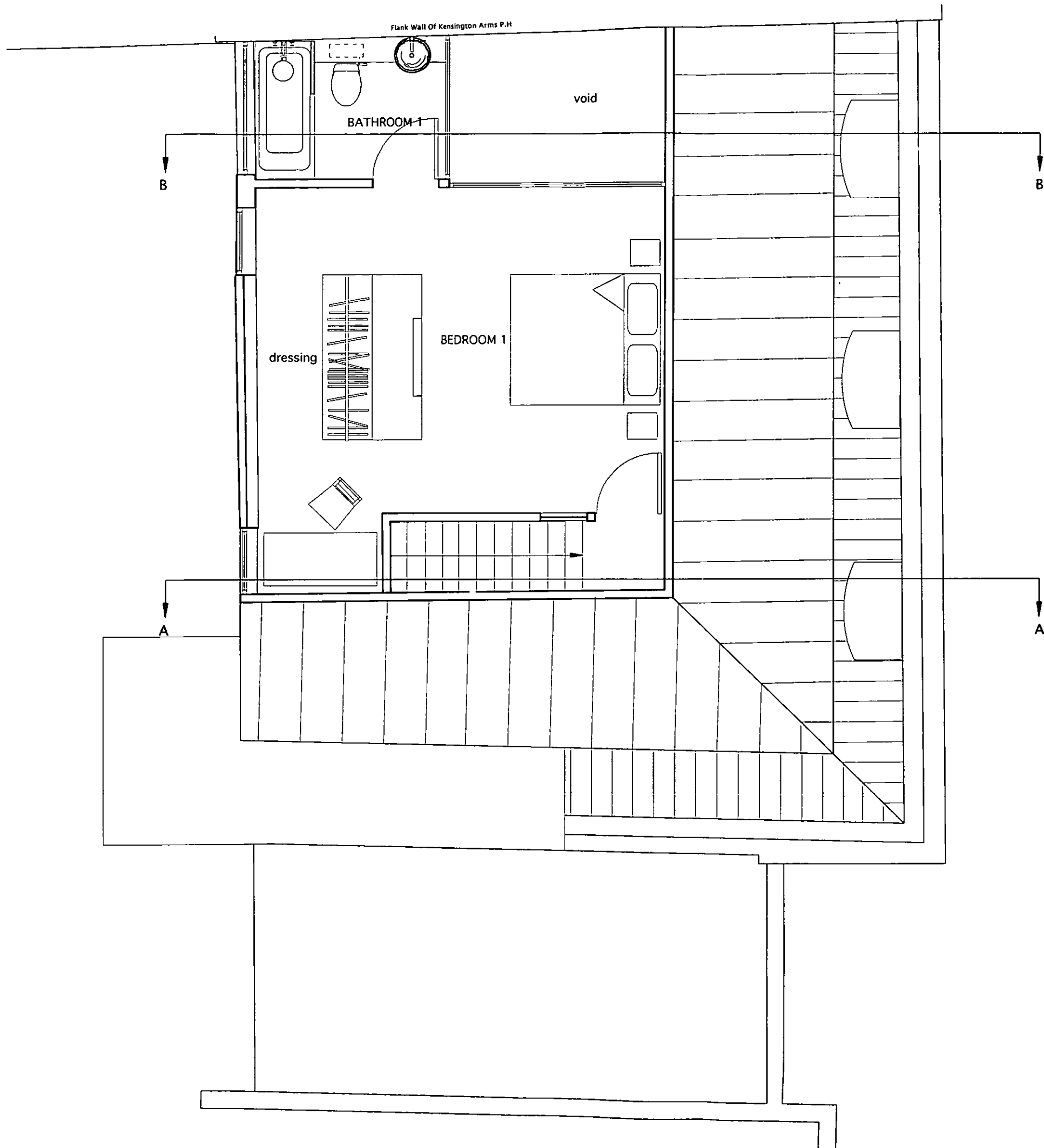
Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

- ☎ 020 7833 9324
- ☎ 020 7837 2864
- ✉ office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD, LONDON W8**

**DRAWING TITLE**  
**PROPOSED: THIRD FLOOR PLAN**

**DRAWN BY** E.A.  
**SCALE** 1:50  
**DATE** 11.09.07  
**DRAWING N°**  
**3518-12**



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**REVISION**

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B.	17 SEP 2007			PLANNING		
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HBS						

**PRELIMINARY**

**HAINES PHILLIPS ARCHITECTS**

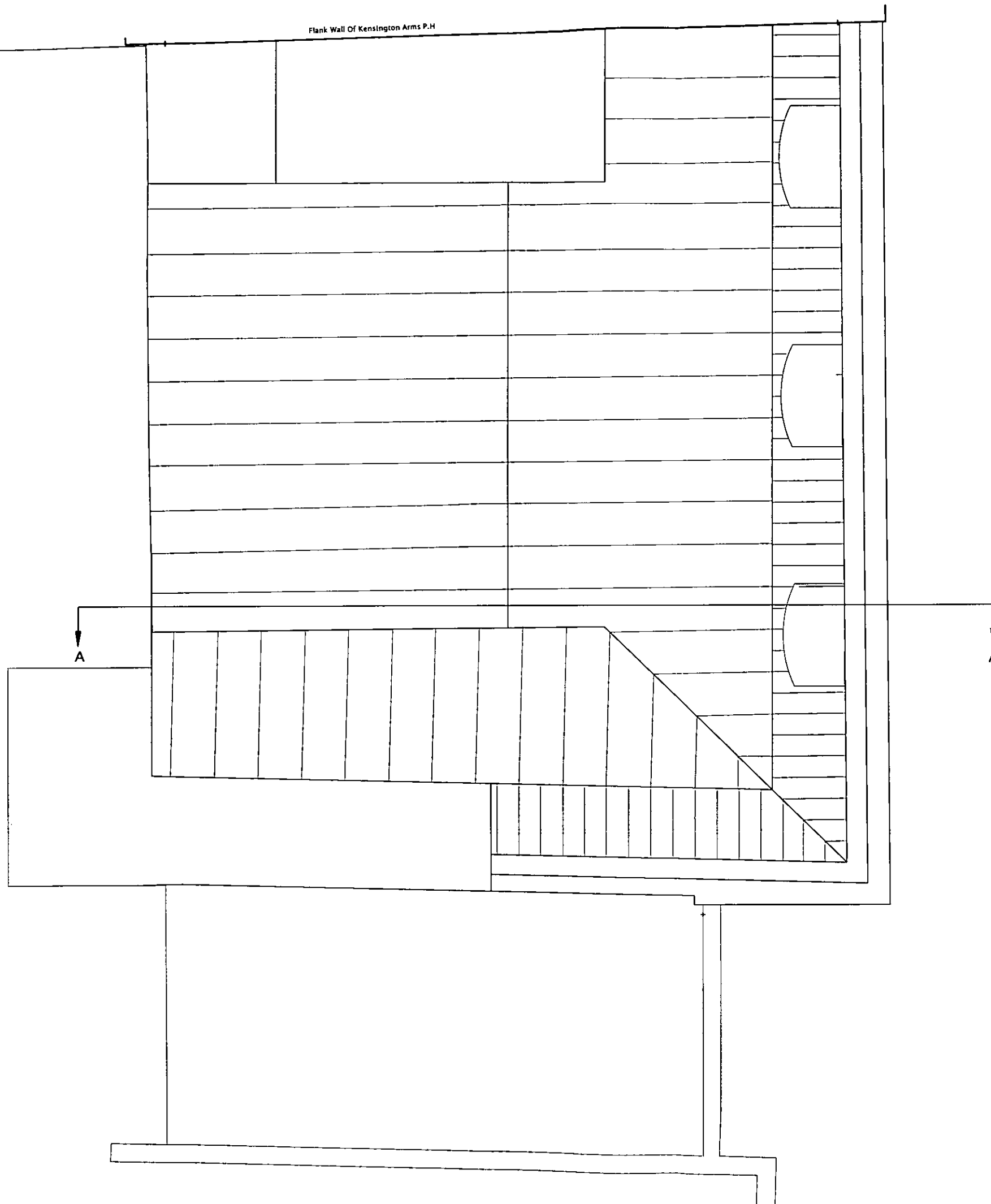
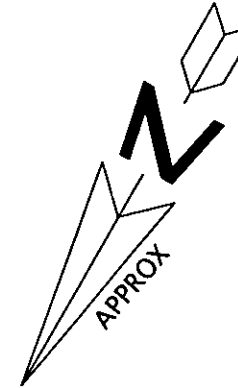
Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA  
 ☎ 020 7833 9324  
 ☎ 020 7837 2864  
 ✉ office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD, LONDON W8**

**DRAWING TITLE**  
**PROPOSED: FOURTH FLOOR PLAN - OPTION 4**

**DRAWN BY** E.A.  
**SCALE** 1:50 at A3  
**DATE** 11.09.07  
**DRAWING N°**  
**3518-13**

Flank Wall Of Kensington Arms P.H



**GENERAL NOTES**

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 weatherings to be checked on site.  
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**REVISION**

EX DIR	HDC	TP	CAC	AD	CLU	AC AK
R.B. K.C.	17 SEP 2007				PLANNING	
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**PRELIMINARY**

**HAINES  
 PHILLIPS  
 ARCHITECTS**

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

☎ 020 7833 9324  
 ☎ 020 7837 2864  
 ✉ office@hainesphillips.co.uk

**JOB TITLE**

**37 ABINGDON  
 ROAD,  
 LONDON W8**

**DRAWING TITLE**

**PROPOSED: ROOF  
 PLAN**

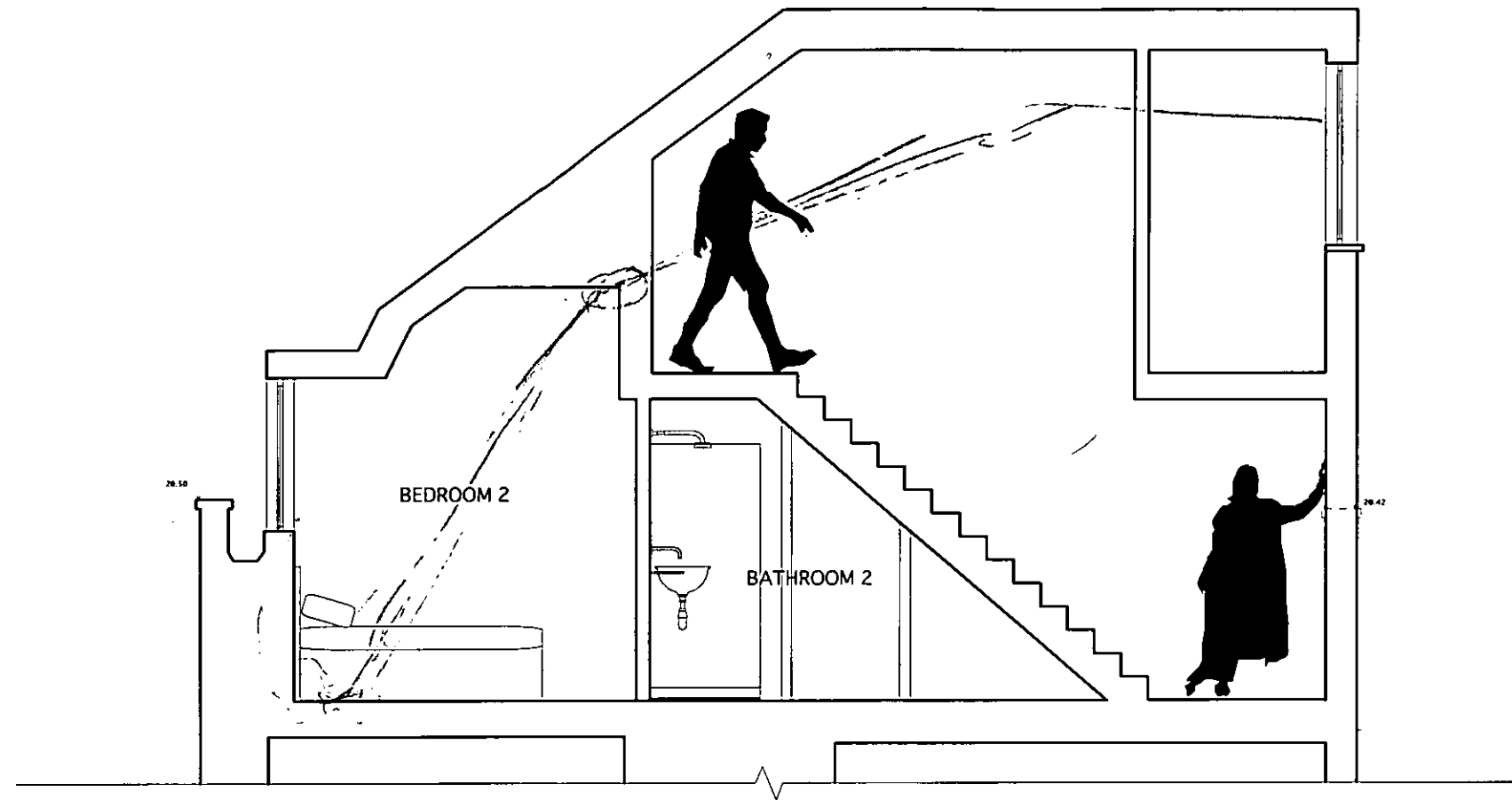
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**SCALE 1:50**

**DATE 11.09.07**

**DRAWING N°**

**3518-14**



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### REVISION

EK	HDC	TP	CAC	AD	CLU	AO
DIR						AK
R.B.	17 SEP 2007				PLANNING	
K.C.						
N	C	S		APP	IO	REC
HBS			ARB	FPLN	DES	TEES

## PRELIMINARY

### HAINES PHILLIPS ARCHITECTS

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

☎ 020 7833 9324  
 ☎ 020 7837 2864  
 ✉ office@hainesphillips.co.uk

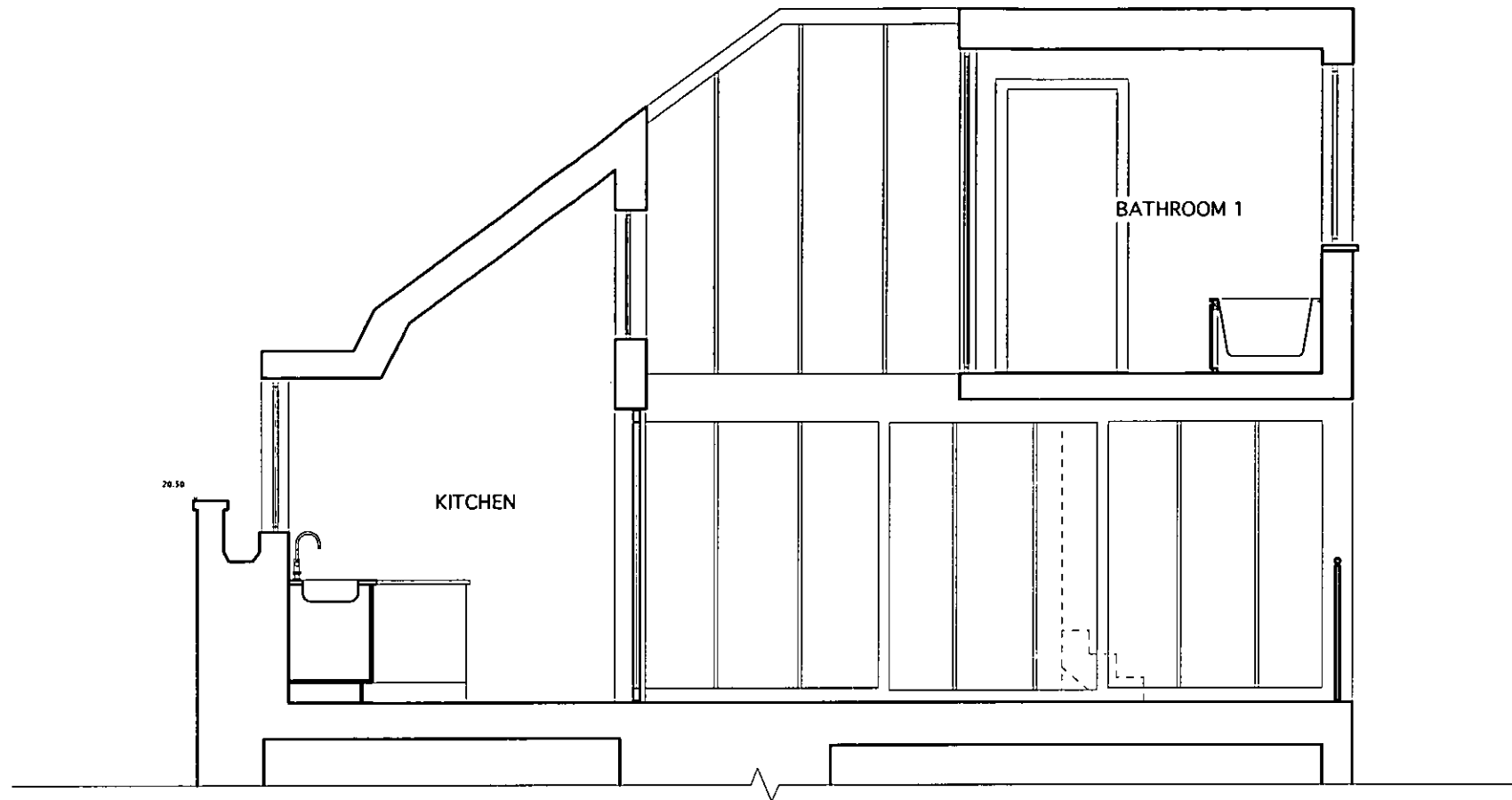
#### JOB TITLE

**37 ABINGDON  
ROAD,  
LONDON W8**

#### DRAWING TITLE

**PROPOSED:  
SECTION AA**

DRAWN BY E.A.  
 SCALE 1:50  
 DATE 11.09.07  
 DRAWING N°  
**3518-17**



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**REVISION**

EX DIR	HDC	TP	CAC	AD	CLU	AD AK
R.B. K.C.	17 SEP 2007				PLANNING	
N	C	S	APP		IO	REC
HES			FPLN		DES	FRES

**PRELIMINARY**

**HAINES  
 PHILLIPS  
 ARCHITECTS**

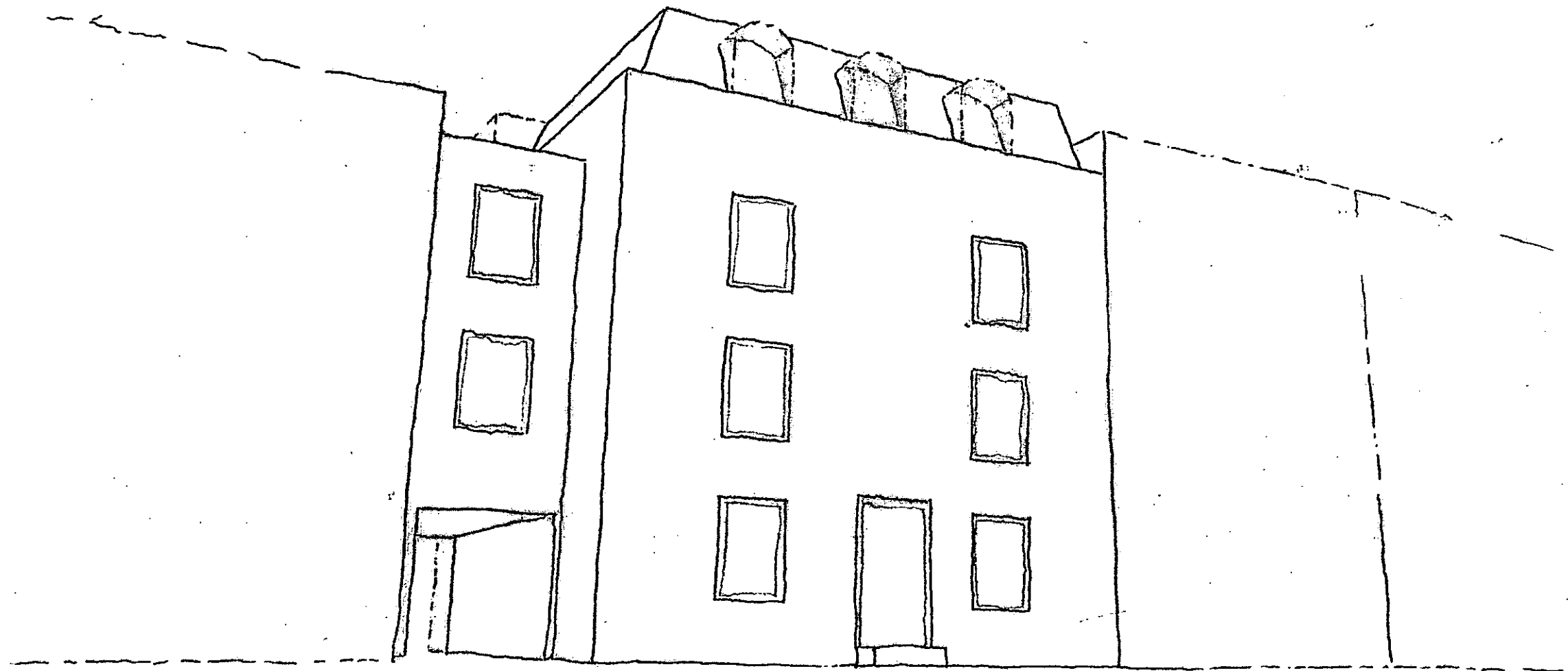
Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

☎ 020 7833 9324  
 ☎ 020 7837 2864  
 ✉ office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON  
 ROAD,  
 LONDON W8**

**DRAWING TITLE**  
**PROPOSED:  
 SECTION BB  
 OPTION 4**

**DRAWN BY** E.A.  
**SCALE** 1:50  
**DATE** 11.09.07  
**DRAWING N°**  
**3518-18**



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**REVISION**

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R.B. K.C.	17 SEP 2007				PLAN	
N	C	S	APP	ID		
HBS			3 FPLN			

**ARCHITECTS**

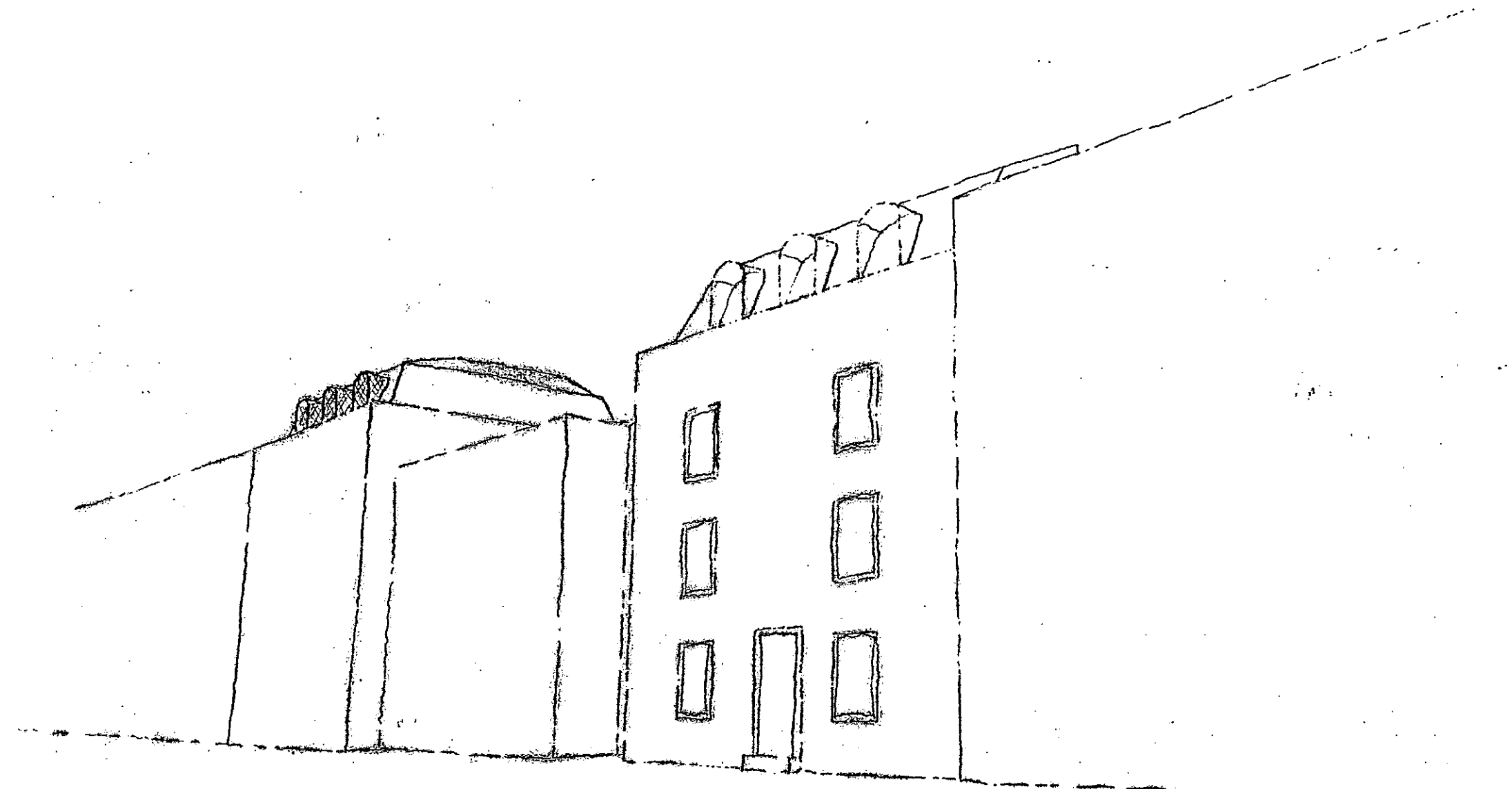
London Office  
 12 Abingdon Rd  
 London WC1H 9HA  
 ☎ 020 7833 0324  
 ☎ 020 7837 2564  
 ✉ [info@thelmsy.com](mailto:info@thelmsy.com)

**JOB TITLE**  
 37 Abingdon Rd  
 W8

**DRAWING TITLE**  
 Front Perspective

**DRAWN BY** MS  
**SCALE** 1/4  
**DATE** 05/11/07  
**DRAWING N°**





**GENERAL NOTES**

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**REVISION**

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B.	17 SEP 2007				PLANNING	
K.C.						
N	C	S	APP		IC	
HBS			FPLN		DF	

**HARRIS  
 PHILLIPS  
 ARCHITECTS**

London Works  
 17 Argyll Walk  
 London WC1H 8HA

Tel: 020 7853 0324  
 Fax: 020 7837 8804  
 Email: [info@harrisphillips.co.uk](mailto:info@harrisphillips.co.uk)

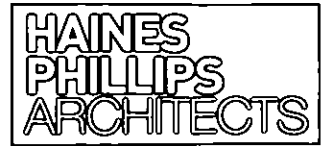
**JOB TITLE**

Abingdon Rd.

**DRAWING TITLE**

DRAWN BY  
 SCALE  
 DATE  
 DRAWING N°

UB → RH



The Director of Planning & Borough Development  
Royal Borough of Kensington & Chelsea  
Planning Department  
Town Hall  
Hornton Street  
London W8 7NX

Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

☎ 020 7833 9324  
☎ 020 7837 2864  
✉ office@hainesphillips.co.uk

14th September, 2007

For the attention of: Central Area Team

Dear Sir,

RE: 37-39 ABINGDON ROAD, LONDON W8

Please find enclosed a copy of our preliminary proposals for a new mansard roof extension to the above property, together with as existing roof and section drawings.

Our client has asked us to organize a pre planning application meeting with yourselves to discuss our intentions and we would be grateful if you would contact us to arrange a suitable date either to visit the site or to meet with you at your offices.

We look forward to hearing from you shortly.

Yours faithfully,

EMILY ANDREWS  
Enc.

16

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B. K.C.	17 SEP 2007				PLANNING	
N	CV	S		APP	IC	REC
HBS			ARB	FPLN	DES	FEE

PP/99/1262 - Erection of Additional Storey

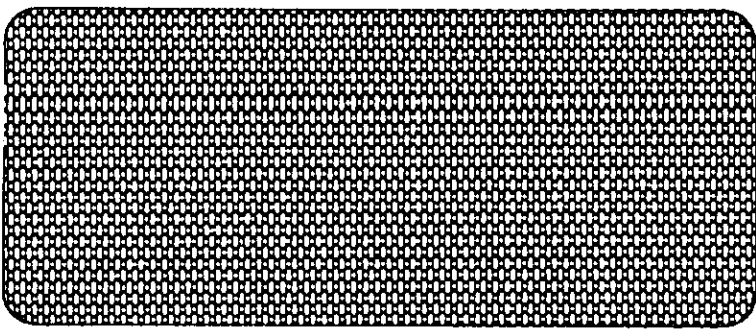
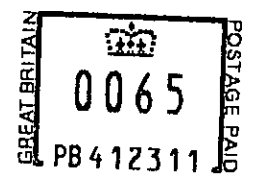
- refused  
- upheld at appeal

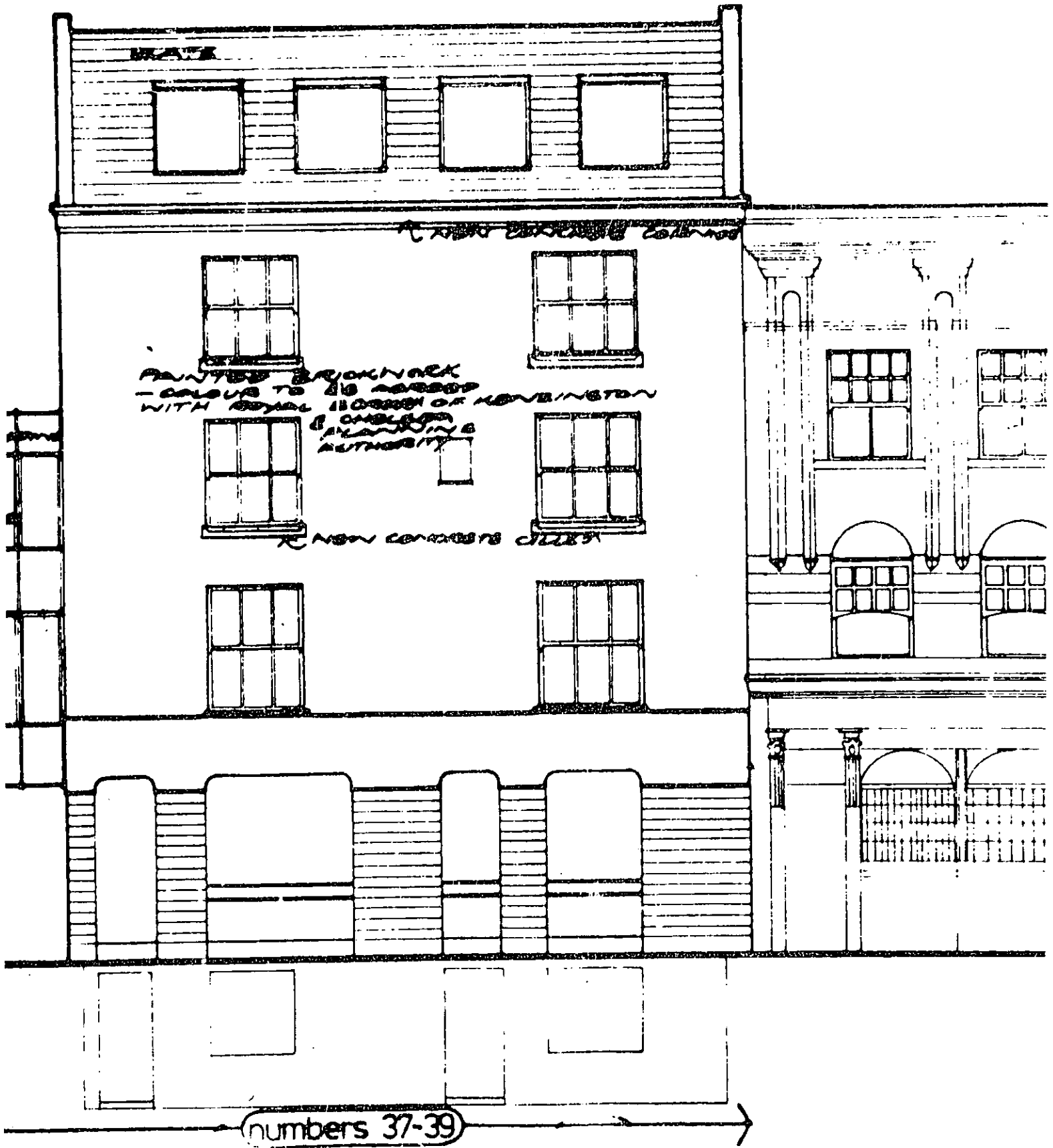
Edwards Square

**Partners**  
Stanley Haines BSc (Hons) BArch RIBA FRSA  
Maha Phillips BSc (Hons)  
Michael Phillips BSc (Hons) MA (RCA) RIBA  
**Associates**  
Sheila McCarthy BArch  
Neil Sida-Murray BA (Hons) DipArch RIBA  
**Consultants**  
Charles Dorin MA DipArch RIBA  
Donald Downie MSc BArch RIBA ARIAS  
Bernard Knight AA Dip RIBA

Return Address  
Haines Phillips Architects  
Tankerton works  
12 Argyle walk  
London  
WC1H 8HA

1  
05  
37  
42  
47  
52





YSFD FRONT ELEVATION

1:100

THE ROYAL BOROUGH OF KENSINGTON AND CHELSEA  
TOWN PLANNING (APPLICATIONS) SUB-COMMITTEE

Town Clerk Ref.	Application Number	Agenda Item
	TP 78/254	959 2.7

REPORT BY THE BOROUGH PLANNING CONTROL OFFICER  
APPLICANTS NAME AND ADDRESS

Application Dated 27.2.1978 Revised

G.C. Boardley,  
6, Whitton Road,  
Twickenham,  
Middlesex.  
ON BEHALF OF  
INTEREST

ZONING	I.D.P. PROG	RELEVANT UNDER C.L.A.	CONS AREA Edward Square & Scarsdale	ARTICLE 4 DIRECTION	LISTED BUILDING NO	G.L.C. DIRECTION NO	A/D CONSULTED 27	OBJECTORS (TO DATE) 1
Residential	NOV	NO		NO				

RECOMMENDED  
DECISION:-

Refuse planning permission for the extension by two storeys for office use including an architects studio

at 37/39 ABINGDON ROAD, KENSINGTON, LONDON, W.8.  
as shown on submitted drawings (noted) 78/254  
applicant's drawings (noted) Un-numbered Scale 1:100 (Basement, Ground, 1st, 2nd, and 3rd/4th floor  
proposed section elevations)

CONDI REASONS/INFORMATIVES

REASO

1. R54 (residential) and would be contrary to policy to be recommended to the Council for inclusion in the Boroughs District Plan, which is to restrain office growth and to resist the intrusion of additional office space in residential areas.
2. The proposed development is considered by reason of excessive bulk and height to be unduly dominant in the street scene and is out of keeping (a) with the character of the building and (b) in this designated Conservation Area.

COMMITTEE  
ADOPTED.

04/1978

107

Proposal

This property (basement, ground and 2 upper floors) is used as surveyors offices. They propose extensions to the building. The main extension is for 2 additional floors. The first is to "line up" with the adjoining property providing an additional office floor. Above this is a mansard roof which to contain an architects studio. This is the most contentious aspect of the scheme. The proposed new mansard roof is felt to be out of proportion with the building and the fenestration is out of character with the building. The two extra floors would make this the highest building on the east side of Abingdon Road and it would dominate this side of the street. There are no other mansard type finishes to the houses on this side. The west side has the lighter residential mansion block facing this site.

The other alterations are to the link building to 35 and to the rear extension. The rear extension is to be continued further up the rear elevation to 2nd floor level. The link building is to be extended to 2nd floor level. This work has already received planning permission, although the detail here is proposed to be improved.

As regards the proposed use, this property is an area of mixed retail and residential use. The upper floors of most properties are in residential use and it is felt therefore that additional office use (even for this local firm) is inappropriate.

The Design Officer's Report

This streets is in a Conservation area. It is characterised by 2 and 3 storey buildings with some higher buildings. The public house on the corner is slightly above the general level and is one which "holds the rythm". The proposal would considerably alter the character of Abingdon Road.

Conclusion

The present proposal should be refused.

E.A. SANDERS.  
BOROUGH PLANNING CONTROL OFFICER.

CAS/JS/DO  
28th March 1978.

TPS

THE ROYAL BOROUGH OF KENSINGTON AND CHELSEA



R.L. STILLWELL, O.F.E., O.F.M.,  
Town Clerk and Chief Executive

Telephone - 101 921 5164  
Extension  
Ref:- PJA/YS/TP78/254/27

Department  
The Town Hall,  
Hornton Street,  
London,  
W8 7JK



Dear Sir,

25 APR 1978

TOWN AND COUNTRY PLANNING ACT, 1971  
Refusal of permission to develop

The Borough Council, in pursuance of their powers under the aforementioned Act and the Town and Country Planning General Development Order, 1971, hereby refuse to permit the development referred to in the under-mentioned Schedule as shown on the plans submitted.

In accordance with the provisions of Article 13(1) of the Order, your attention is drawn to the Statement of Applicant's Rights enclosed herewith.

SCHEDULE

Date of Application - 27th February, 1978.

DEVELOPMENT

Extension by two storeys for office use including an architects studio at Nos 37/39 ABINGDON ROAD, LONDON, W8, as shown in submitted Drawing No. 78 (Applicant's Drawing Un-numbered Scale 1:100 (Basement, Ground, 1st, 2nd and 3rd/4th floor proposed section/elevations)).

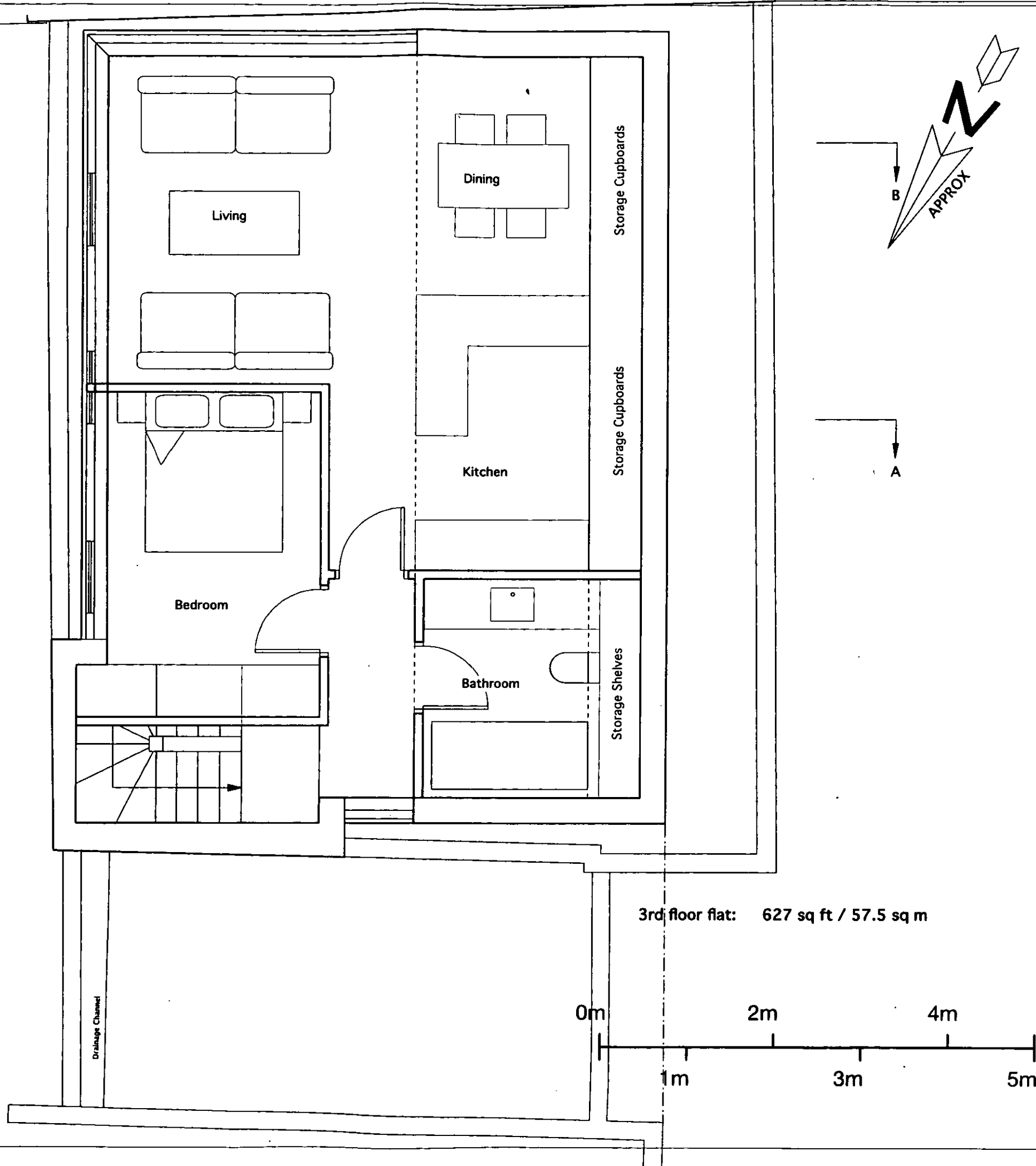
REASONS FOR REFUSAL

1. The proposal does not accord with the Initial Development Plan for Greater London, in which the area is zoned for residential purposes and would be contrary to policy to be recommended to the Council for inclusion in the Boroughs District Plan, which is to restrain office growth and to resist the intrusion of additional office space in residential areas.
2. The proposed development is considered by reason of excessive bulk and height to be unduly dominant in the street scene and is out of keeping with the character of the building and (b) in this designated Conservation Area.

Yours faithfully,

*R.L. Stillwell*  
Town Clerk

G.C. Beardsley, Esq.,  
6 Whitton Road,  
Twickenham,  
Middlesex.



3rd floor flat: 627 sq ft / 57.5 sq m

**GENERAL NOTES**

Do not scale from this drawing. All dimensions, levels, fixings and weatherings to be checked on site. This drawing must not be used for land transfer purposes, or for construction purposes unless accompanied by an architect's instruction. This drawing is copyright.

**REVISION**

**A 01.09.2008**  
Plan amended to reflect planners' comments.

**HAINES PHILLIPS ARCHITECTS**

Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

☎ 020 7833 9324  
☎ 020 7837 2864  
✉ office@hainesphillips.co.uk

**JOB TITLE**

**37 ABINGDON ROAD, LONDON W8**

**DRAWING TITLE**

**PROPOSED: THIRD FLOOR PLAN**

DRAWN BY E.A.

SCALE 1:50

DATE 19.12.07

DRAWING N°

**3518-P04A**

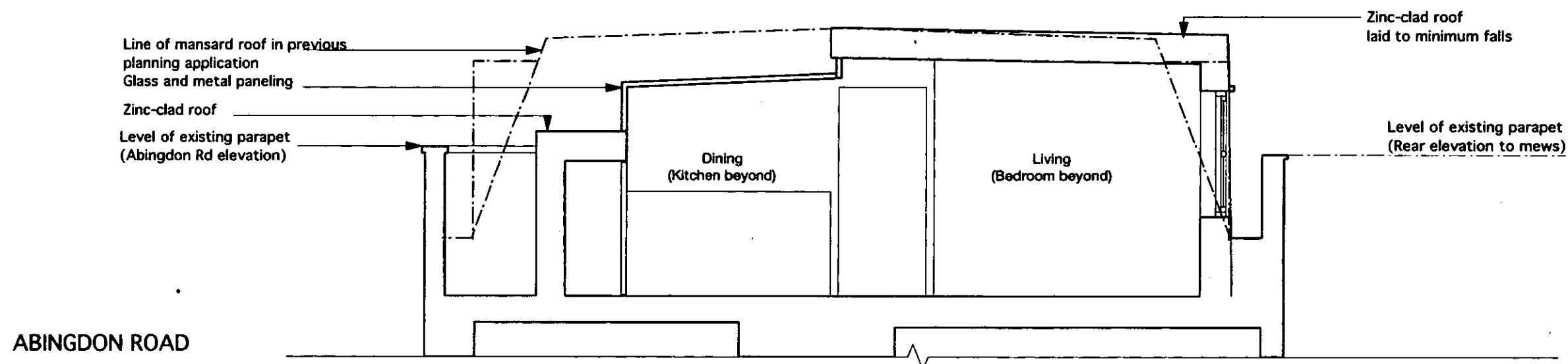


## GENERAL NOTES

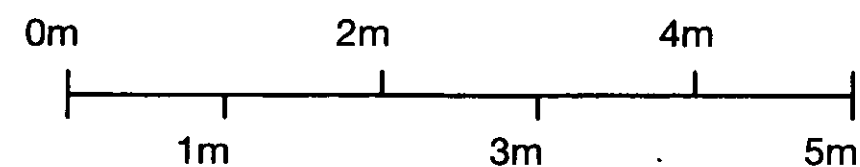
Do not scale from this drawing.  
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## REVISION

**A 01.09.2008**  
Section revised to reflect changes  
in 3518/P04A



**SECTION B-B**



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✉ office@hainephillips.co.uk

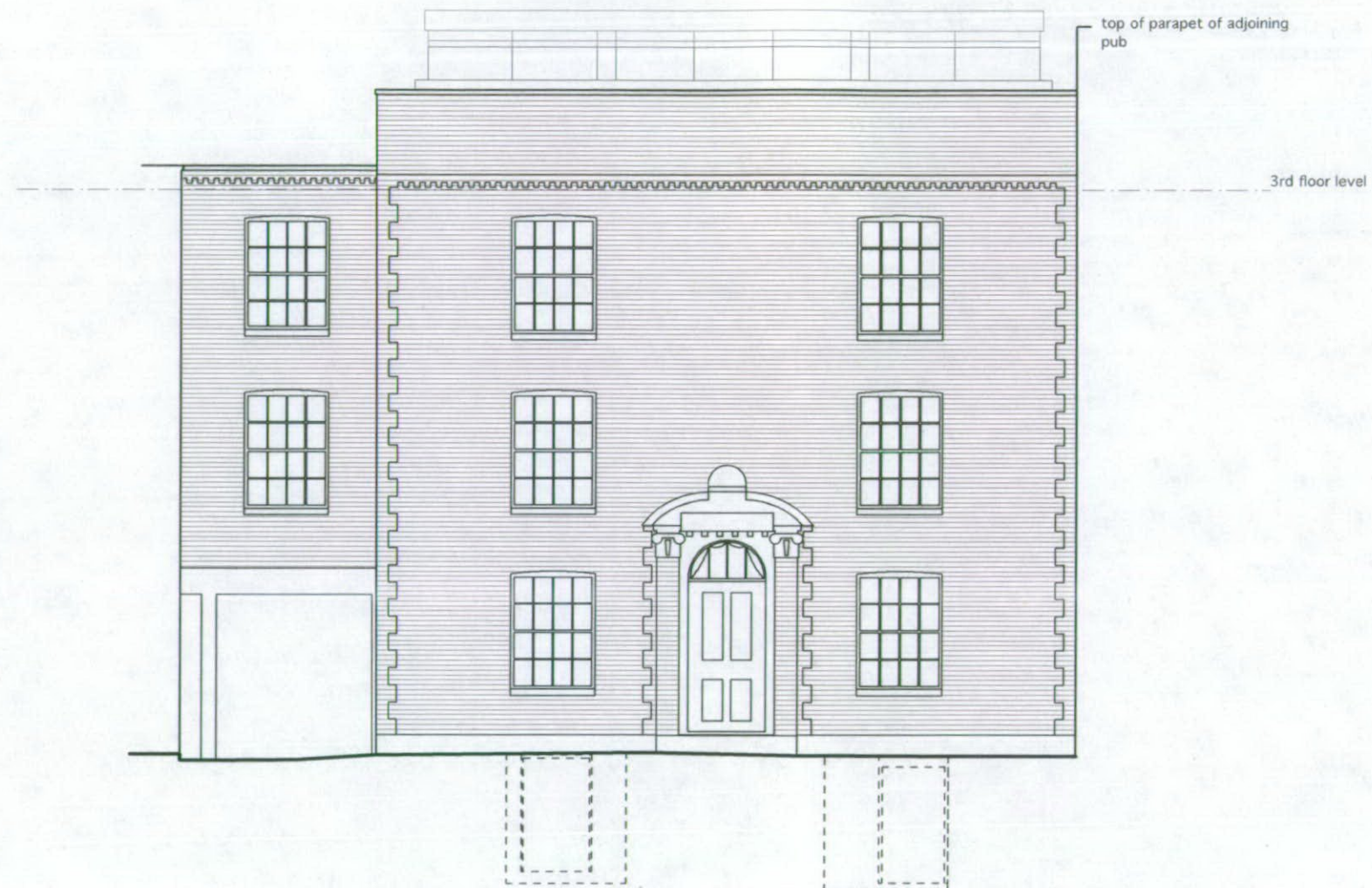
## JOB TITLE

**37 ABINGDON  
ROAD,  
LONDON W8**

## DRAWING TITLE

**PROPOSED:  
SECTION B-B**

DRAWN BY **E.A.**  
SCALE **1:50**  
DATE **19.12.07**  
DRAWING N°  
**3518-P06A**



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**REVISION**

**A 04.11.2008**  
 Roof extension re-drawn.

**HAINES  
 PHILLIPS**  
 ARCHITECTS

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 12 Argyle Walk  
 London WC1H 8HA

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 ☎ 020 7837 2864  
 ✉ office@hainesphillips.co.uk

**JOB TITLE**

**37 ABINGDON  
 ROAD,  
 LONDON W8**

**DRAWING TITLE**

**PROPOSED: FRONT  
 ELEVATION**

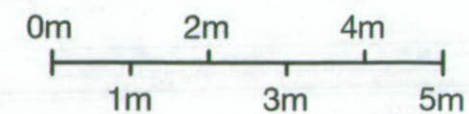
DRAWN BY **Ma.P**

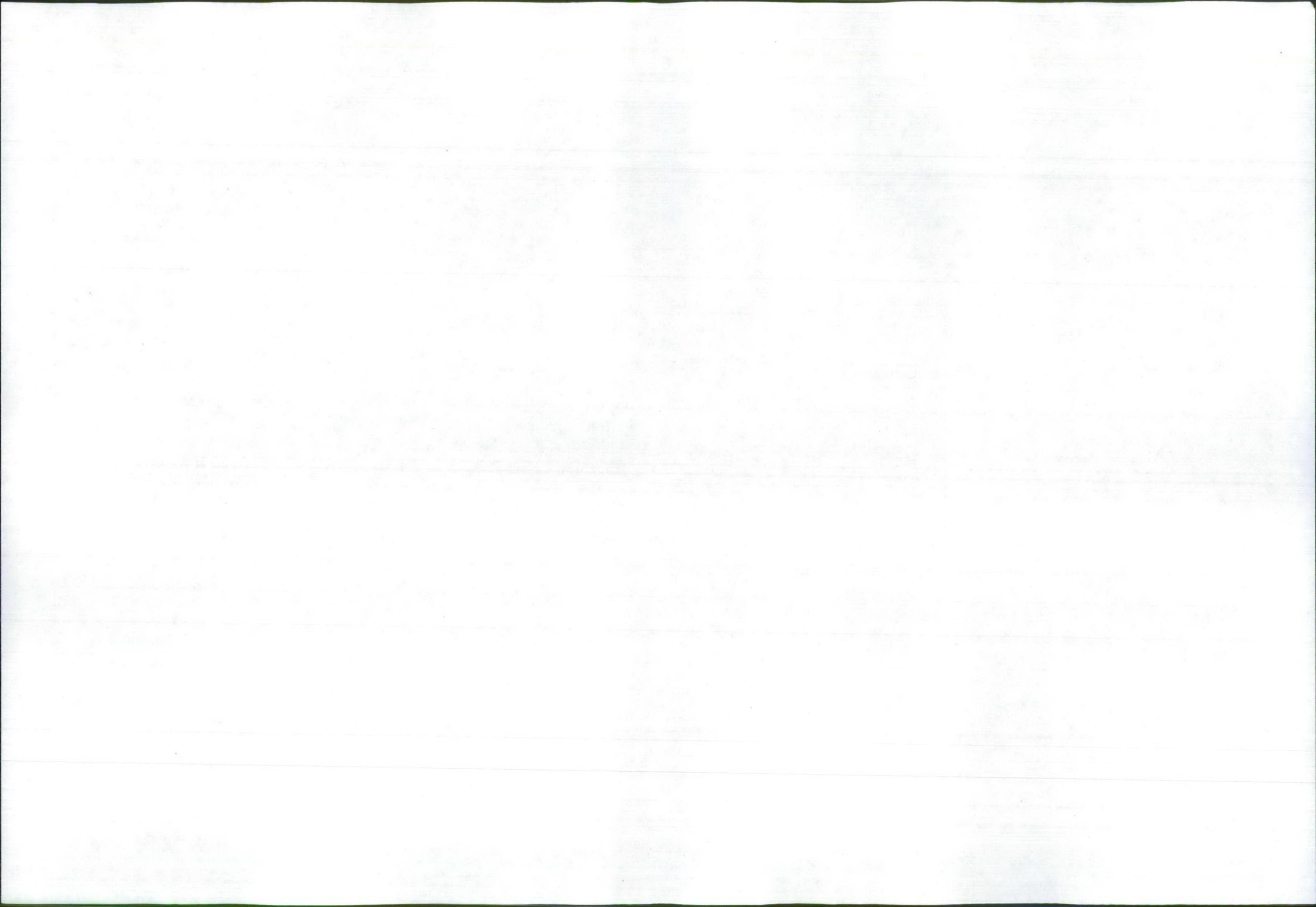
SCALE **1:100**

DATE **09.01.08**

DRAWING N°

**3518-P07A**







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 architect's instruction.  
 This drawing is copyright.

**REVISION**

**A 04.11.2008**  
 Roof extension re-drawn.

**HAINES  
 PHILLIPS  
 ARCHITECTS**

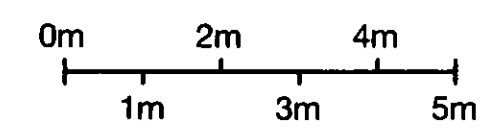
Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

☎ 020 7833 9324  
 ☎ 020 7837 2864  
 ✉ office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON  
 ROAD,  
 LONDON W8**

**DRAWING TITLE**  
**PROPOSED: REAR  
 ELEVATION**

**DRAWN BY** Ma.P  
**SCALE** 1:100  
**DATE** 09.01.08  
**DRAWING N°**  
**3518-P08A**



# ABINGDON MANSIONS

## GENERAL NOTES

Do not scale from this drawing.  
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This drawing must not be used for land  
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## REVISION

**A 07.11.2008**  
Section redrawn

## HAINES PHILLIPS ARCHITECTS

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✉ office@hainesphillips.co.uk

## JOB TITLE

**37 ABINGDON  
ROAD,  
LONDON W8**

## DRAWING TITLE

**PROPOSED:  
SECTION THROUGH  
STREET**

DRAWN BY E.A.

SCALE 1:100

DATE 11.09.07

DRAWING N°

**3518-P09A**

NO.37

Level of existing parapet  
(Rear elevation to mews)

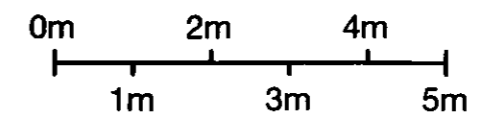
Level of existing parapet  
(Abingdon Rd elevation)

Living  
(Bedroom beyond)

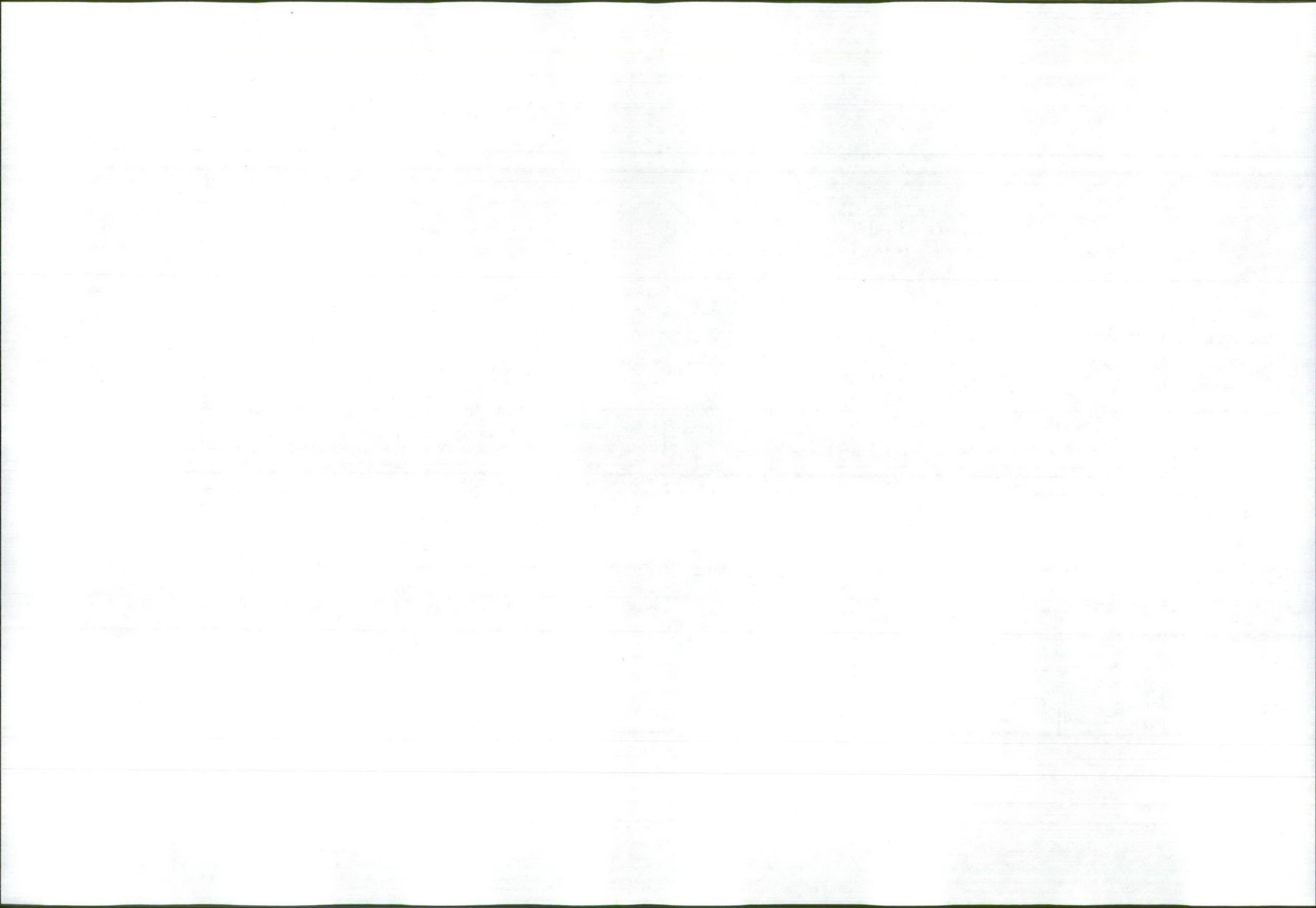
Dining  
(Kitchen beyond)

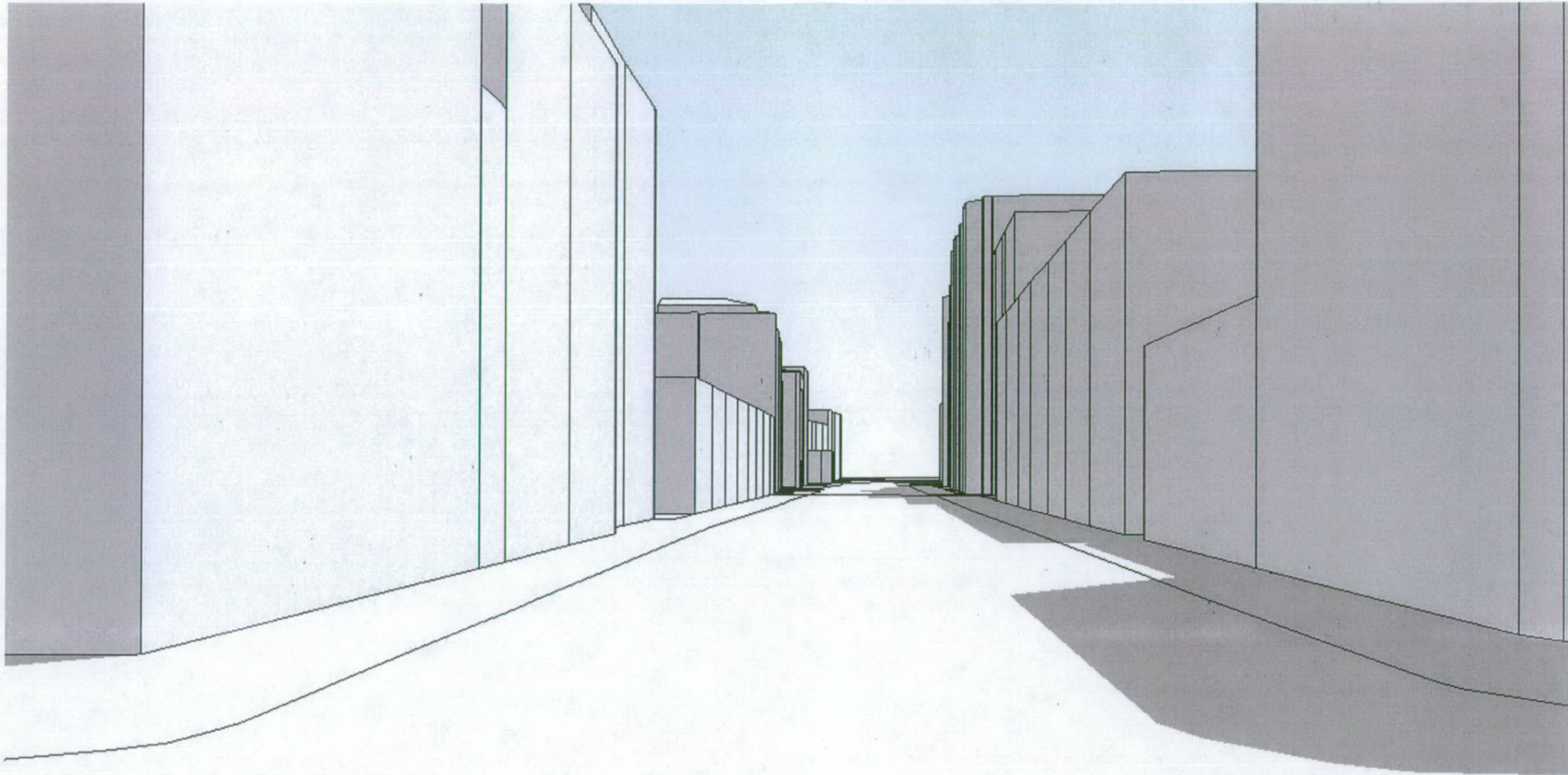
NO.37A-39A

ABINGDON ROAD









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#### REVISION

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ARCHITECTS**

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**F** 020 7837 2864  
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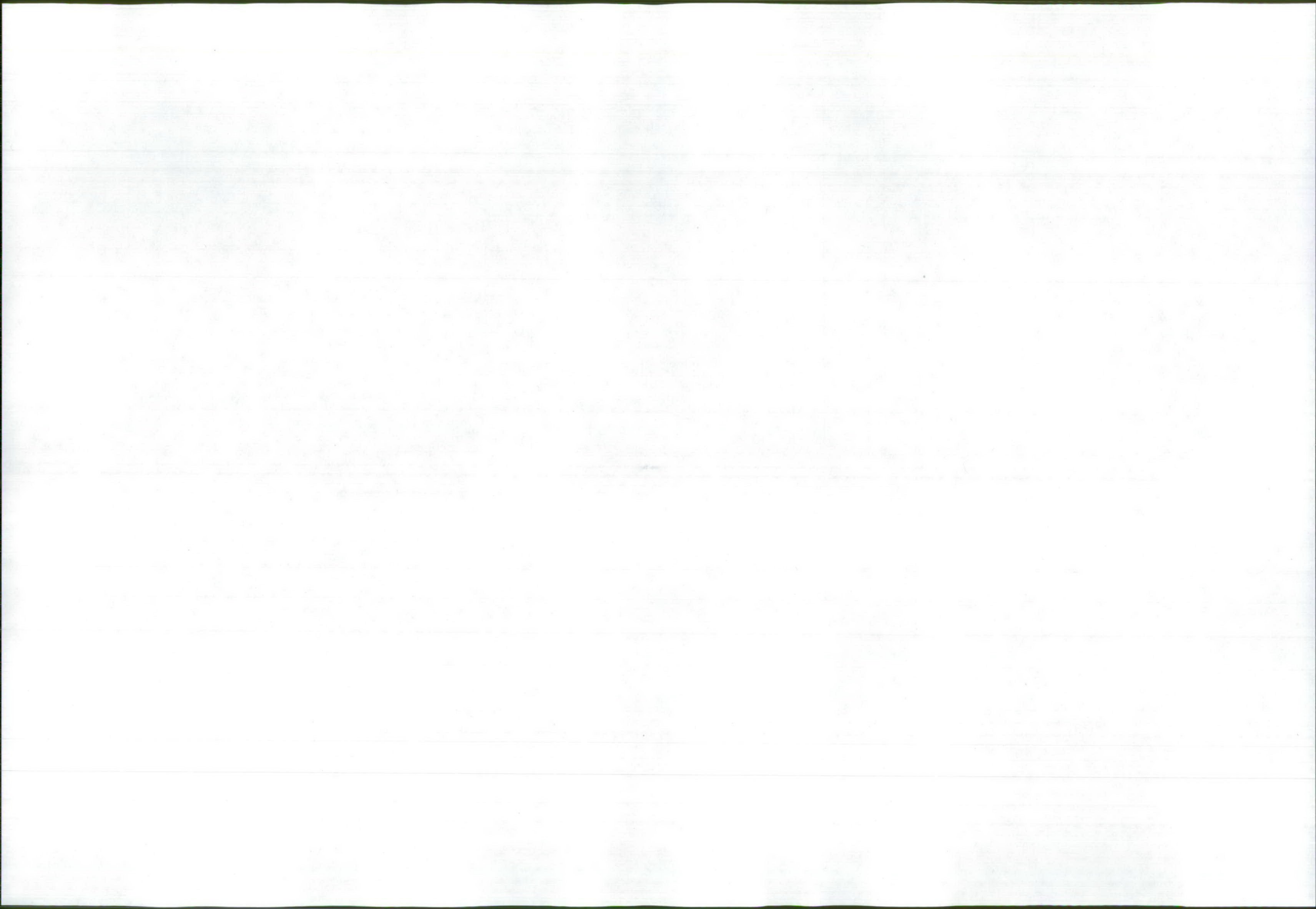
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**37 ABINGDON  
ROAD, W8**

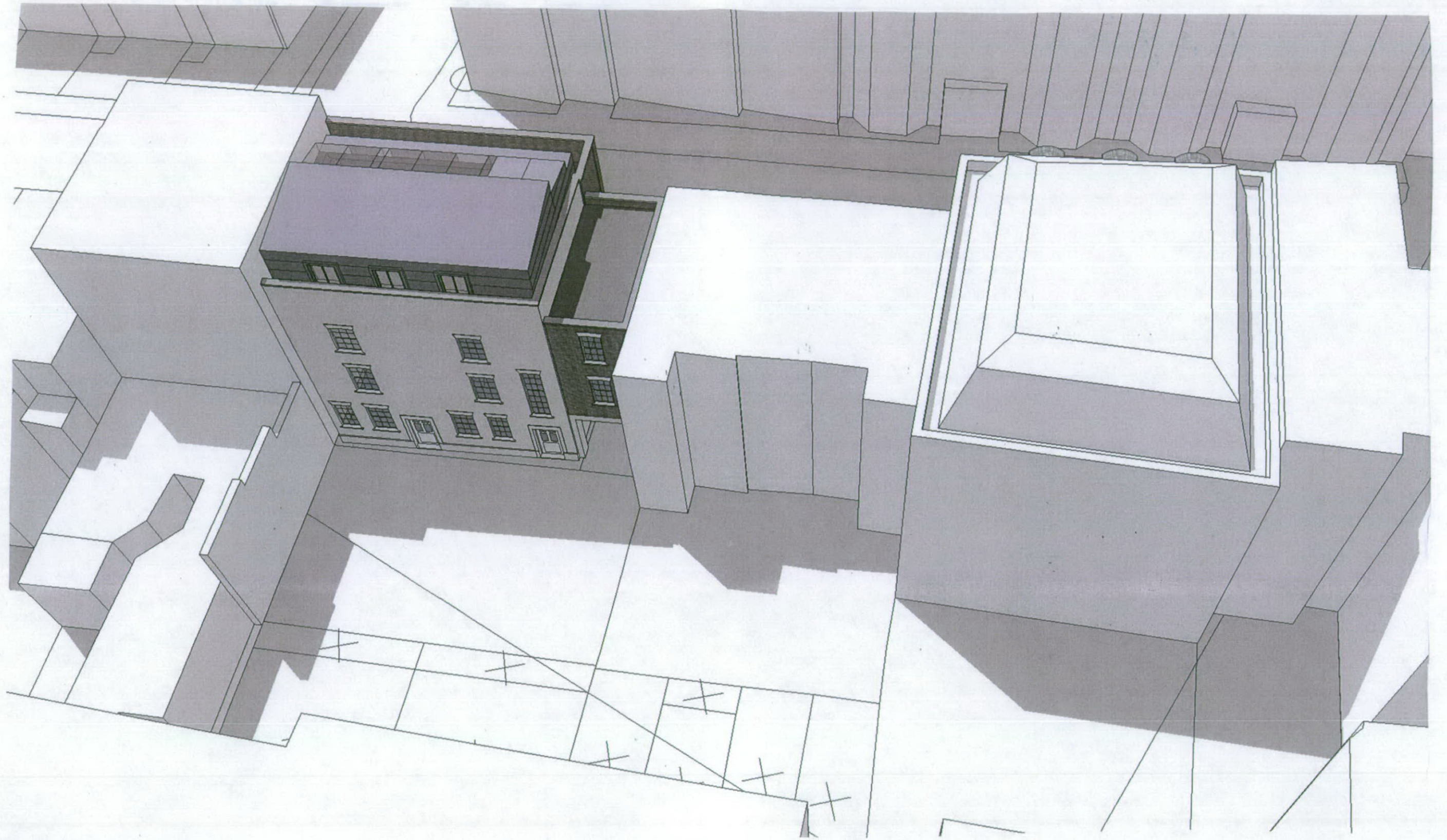
DRAWING TITLE  
**Long View looking South from  
High Street Kensington**

DRAWN BY      DATE      Nov 2008

SCALE    NTS    DRAWING N°  
**3815 - P20**







#### GENERAL NOTES

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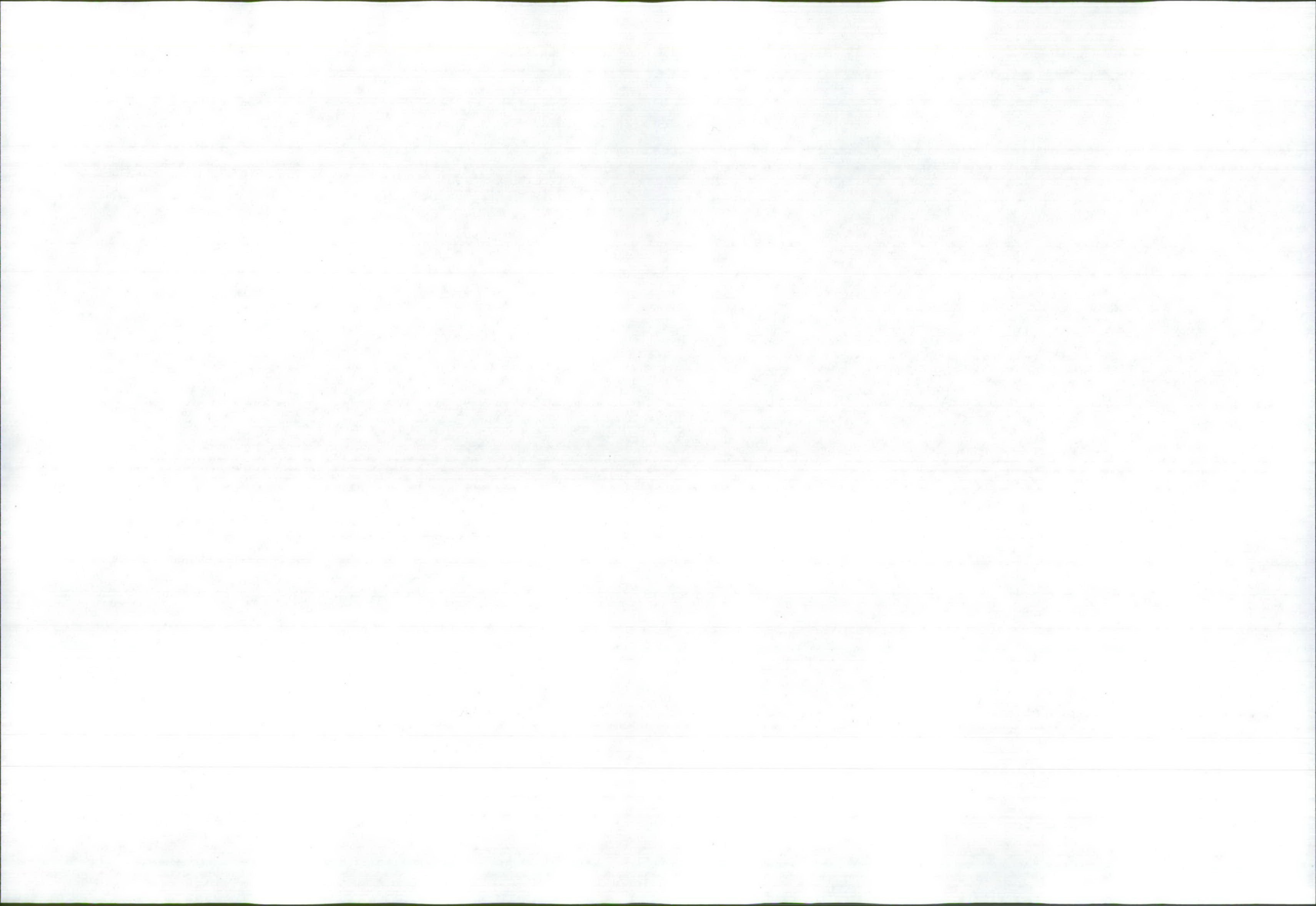
Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

**T** 020 7833 9324  
**F** 020 7837 2864  
**E** office@hainesphillips.co.uk

JOB TITLE  
**37 ABINGDON  
ROAD, W8**

DRAWING TITLE  
**Bird's Eye View of Rear**

DRAWN BY      DATE      Nov 2008  
SCALE      NTS      DRAWING N°  
**3815 - P21**





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#### REVISION

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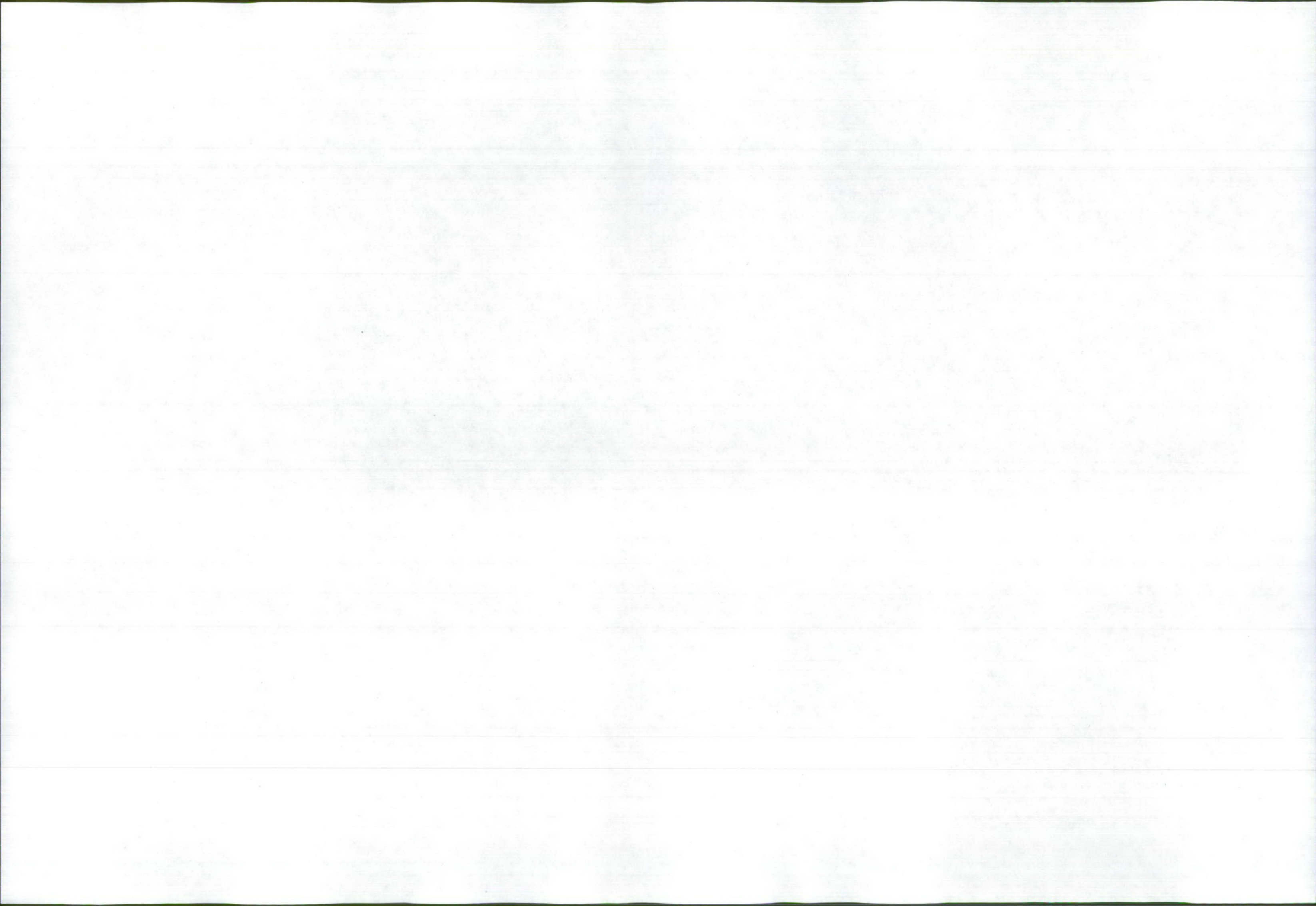
Tankerton Works  
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London WC1H 8HA

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f 020 7837 2864  
e office@hainephillips.co.uk

JOB TITLE  
**37 ABINGDON  
ROAD, W8**

DRAWING TITLE  
**Bird's Eye View of Front**

DRAWN BY      DATE      Nov 2008  
SCALE      NTS      DRAWING N°  
**3815 - P22**

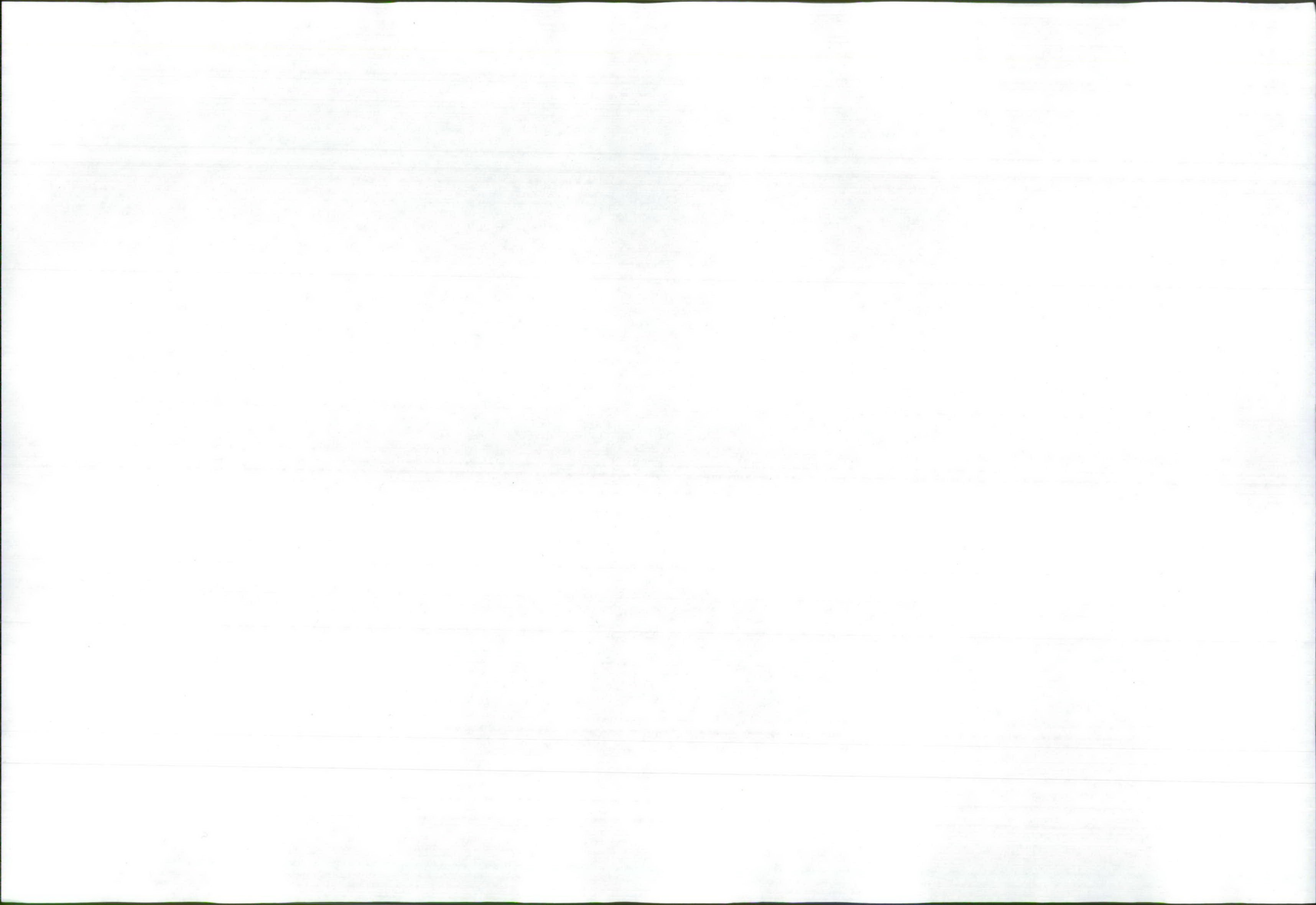












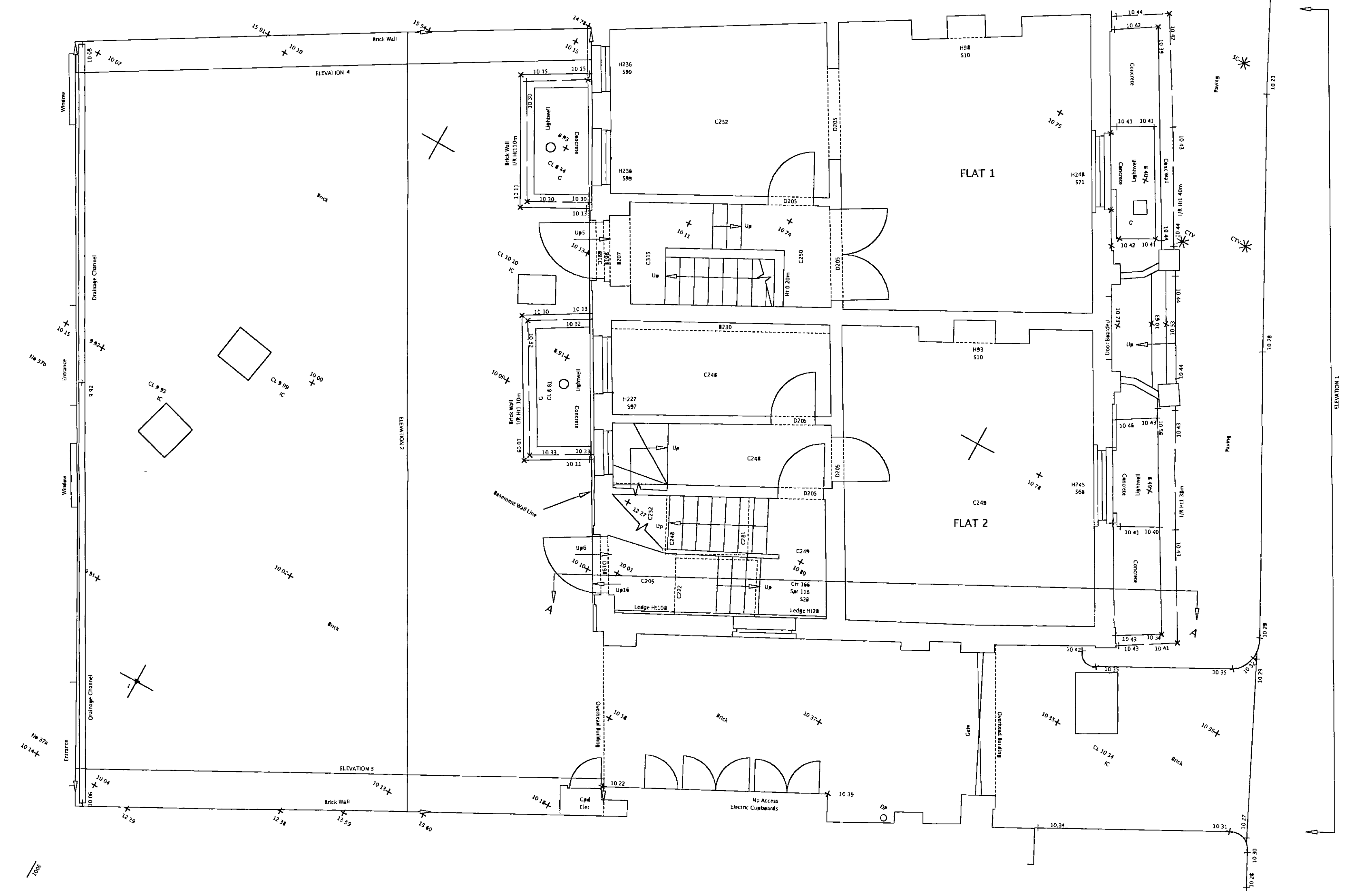


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**REVISION**

0



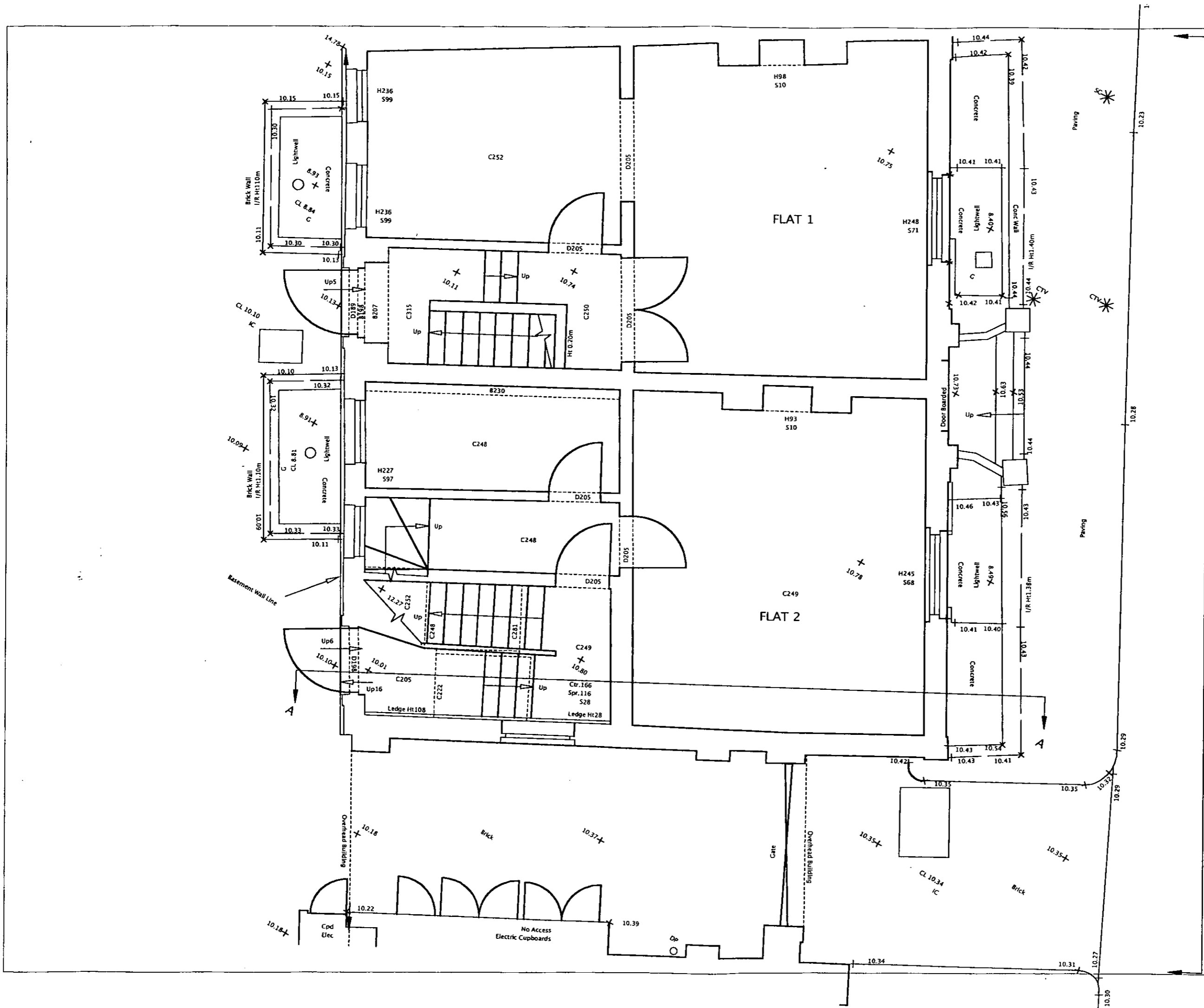
**HAINES  
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 ARCHITECTS**

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 12 Argyle Walk  
 London WC1H 8HA  
 ☎ 020 7633 9324  
 ☎ 020 7637 2864  
 ✉ office@hainesphillips.co.uk

**JOB TITLE**  
 37, Abingdon Road,  
 London. W8 6AH

**DRAWING TITLE**  
 EXISTING:SITE  
 PLAN

DRAWN BY -  
 SCALE 1 100  
 DATE 01 08 07  
 DRAWING N°  
 3815 - S.02



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**REVISION**

**PRELIMINARY**

**HAINES PHILLIPS ARCHITECTS**

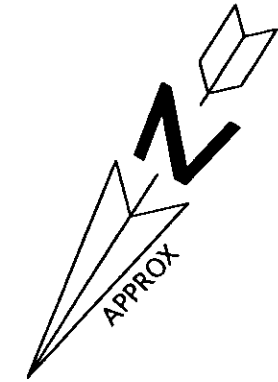
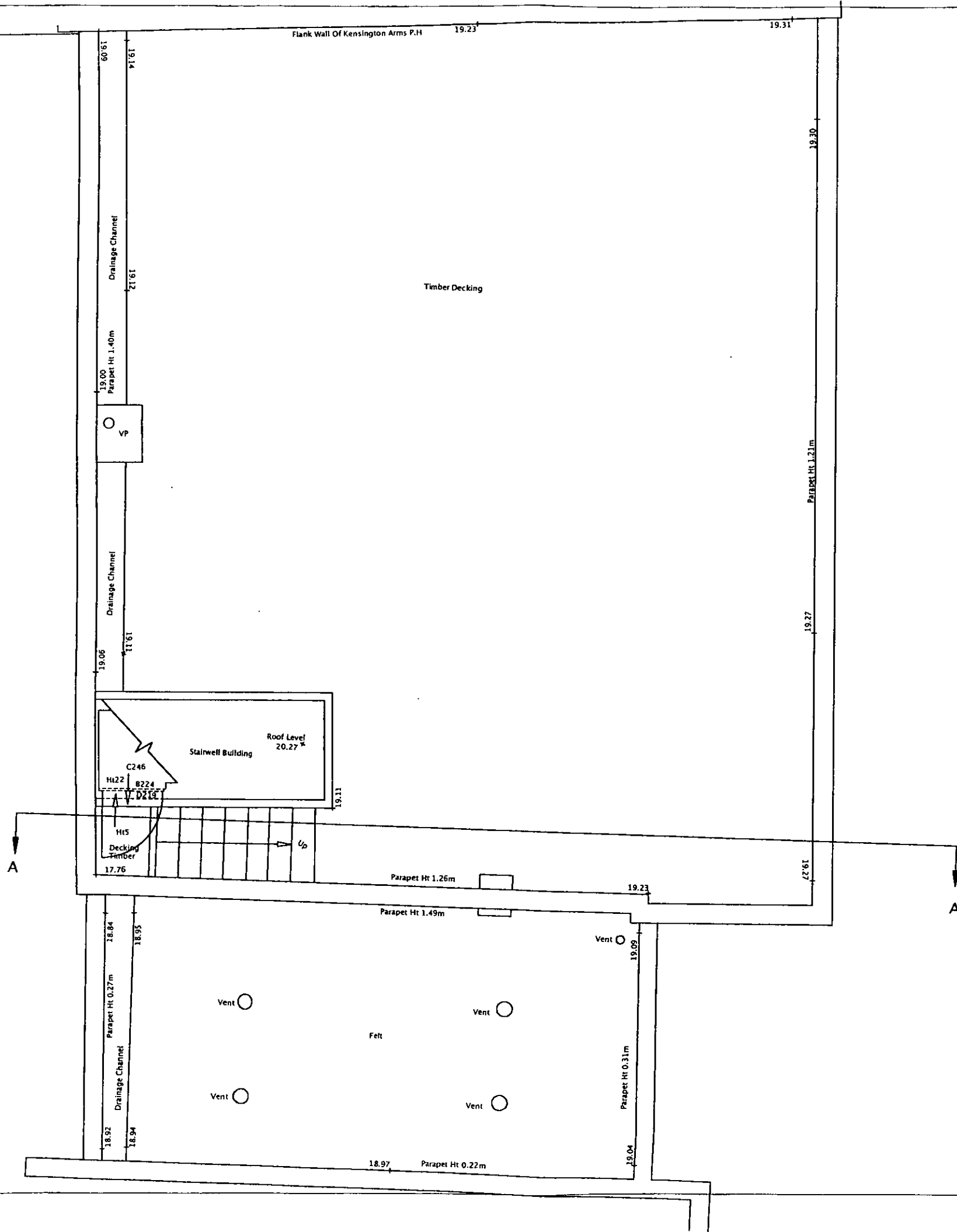
Tankerton Works  
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- ☎ 020 7837 2864
- ✉ office@hainesphilips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD, LONDON W8**

**DRAWING TITLE**  
**EXISTING: GROUND FLOOR PLAN**

**DRAWN BY** Ma.P  
**SCALE** 1:50  
**DATE** 09.01.08  
**DRAWING N°**  
**3518-S03**



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**REVISION**

**PRELIMINARY**

**HAINES PHILLIPS ARCHITECTS**

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 ☎ 020 7837 2864  
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**JOB TITLE**  
**37 ABINGDON ROAD,**  
**LONDON W8**

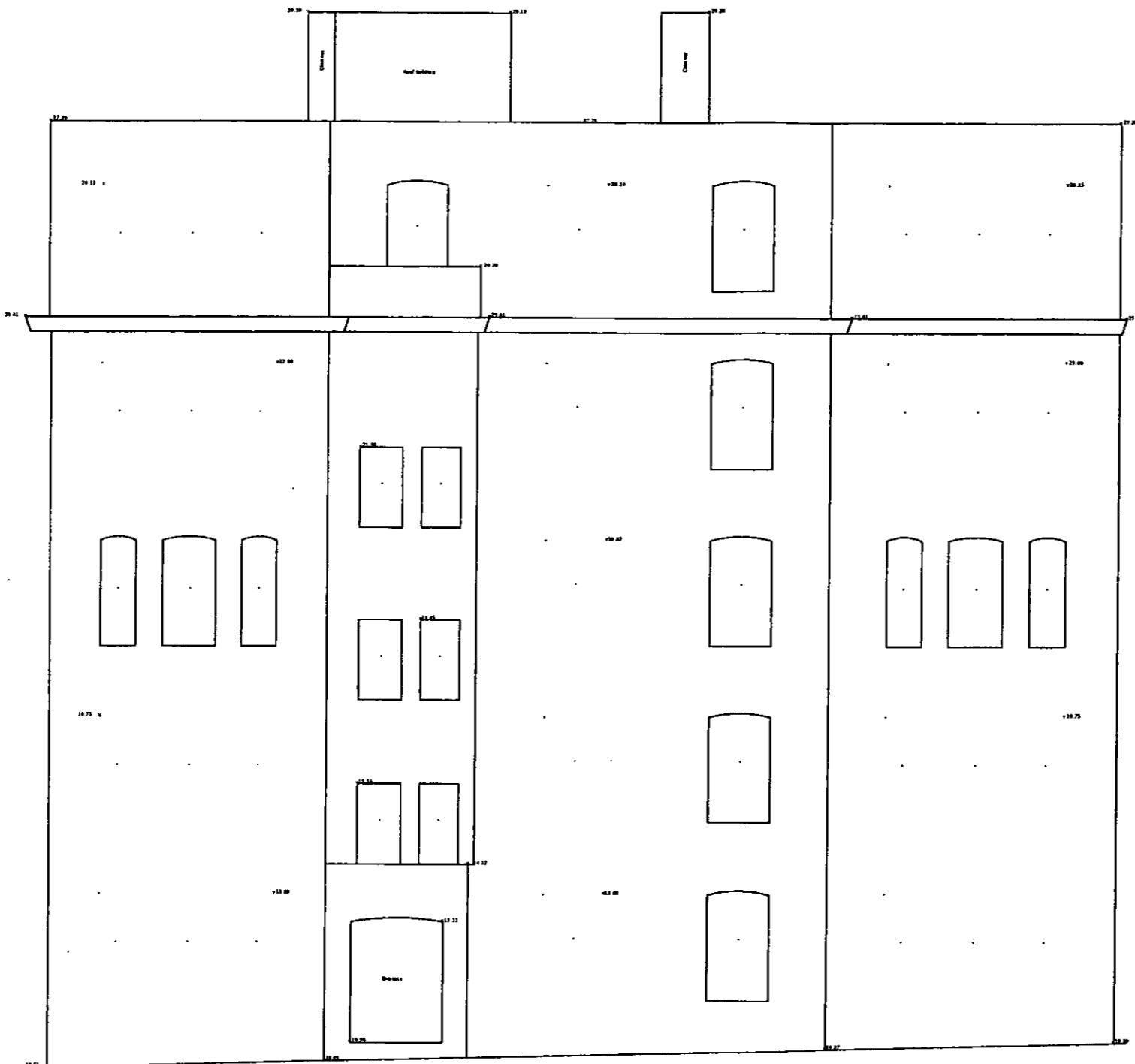
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**EXISTING: ROOF**  
**PLAN**

DRAWN BY Ma.P  
 SCALE 1:50  
 DATE 09.01.08  
 DRAWING N°  
**3518-S05**

ELEVATION 5: 61 TO 70 WYNNSTAY GARDENS



ELEVATION 6: ABINGDON MANSIONS



GENERAL NOTES

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REVISION

PRELIMINARY

**HAINES  
PHILLIPS  
ARCHITECTS**

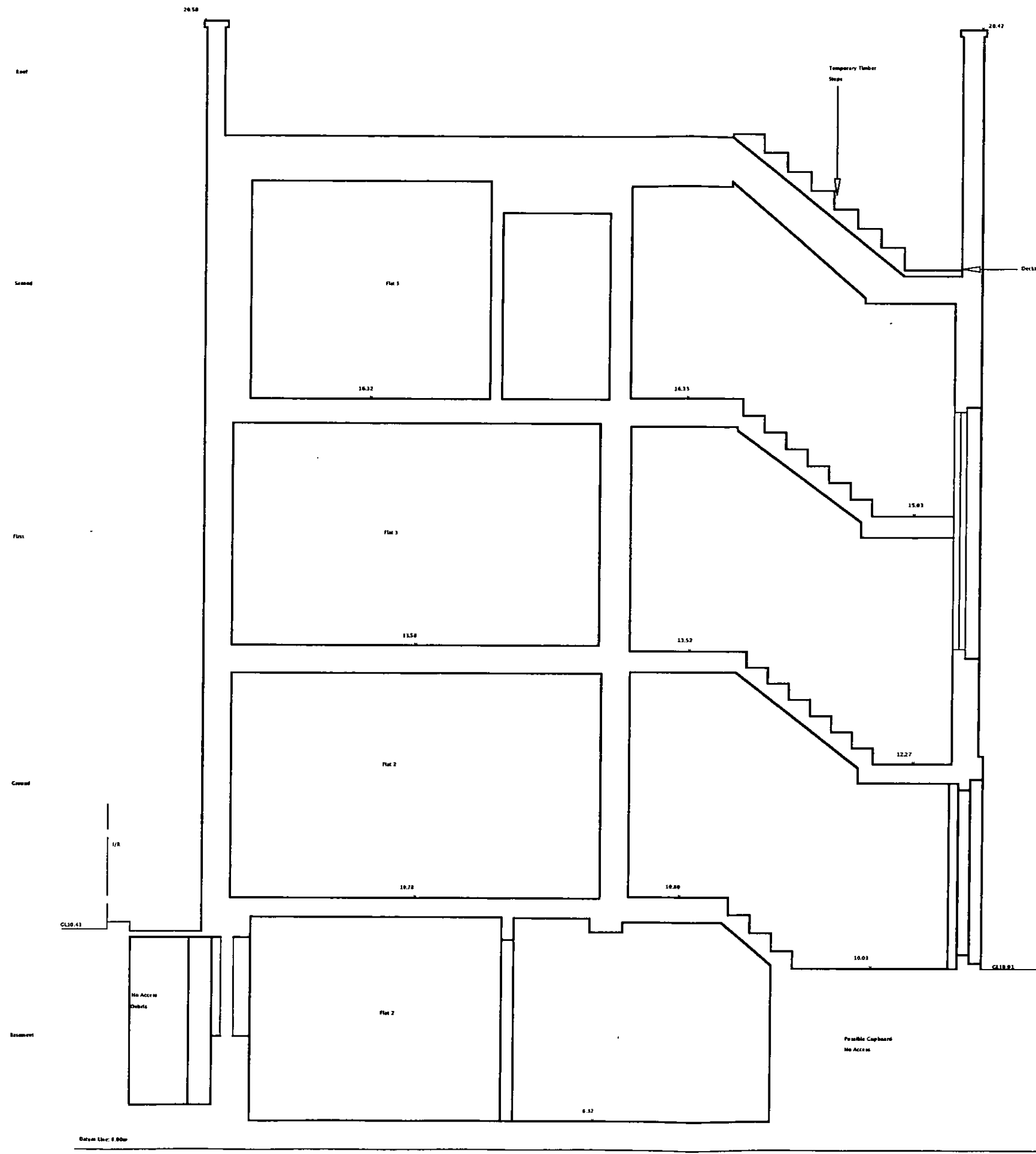
Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

☎ 020 7833 9324  
☎ 020 7837 2864  
✉ office@hainesphillips.co.uk

JOB TITLE  
**37 ABINGDON ROAD,  
LONDON W8**

DRAWING TITLE  
**EXISTING: Elevation  
Abingdon Mansions**

DRAWN BY Ma.P  
SCALE 1:50  
DATE 09.01.08  
DRAWING N°  
**3518-S09**



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**REVISION**

**PRELIMINARY**

**HAINES  
 PHILLIPS  
 ARCHITECTS**

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 London WC1H 8HA

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 ☎ 020 7837 2864  
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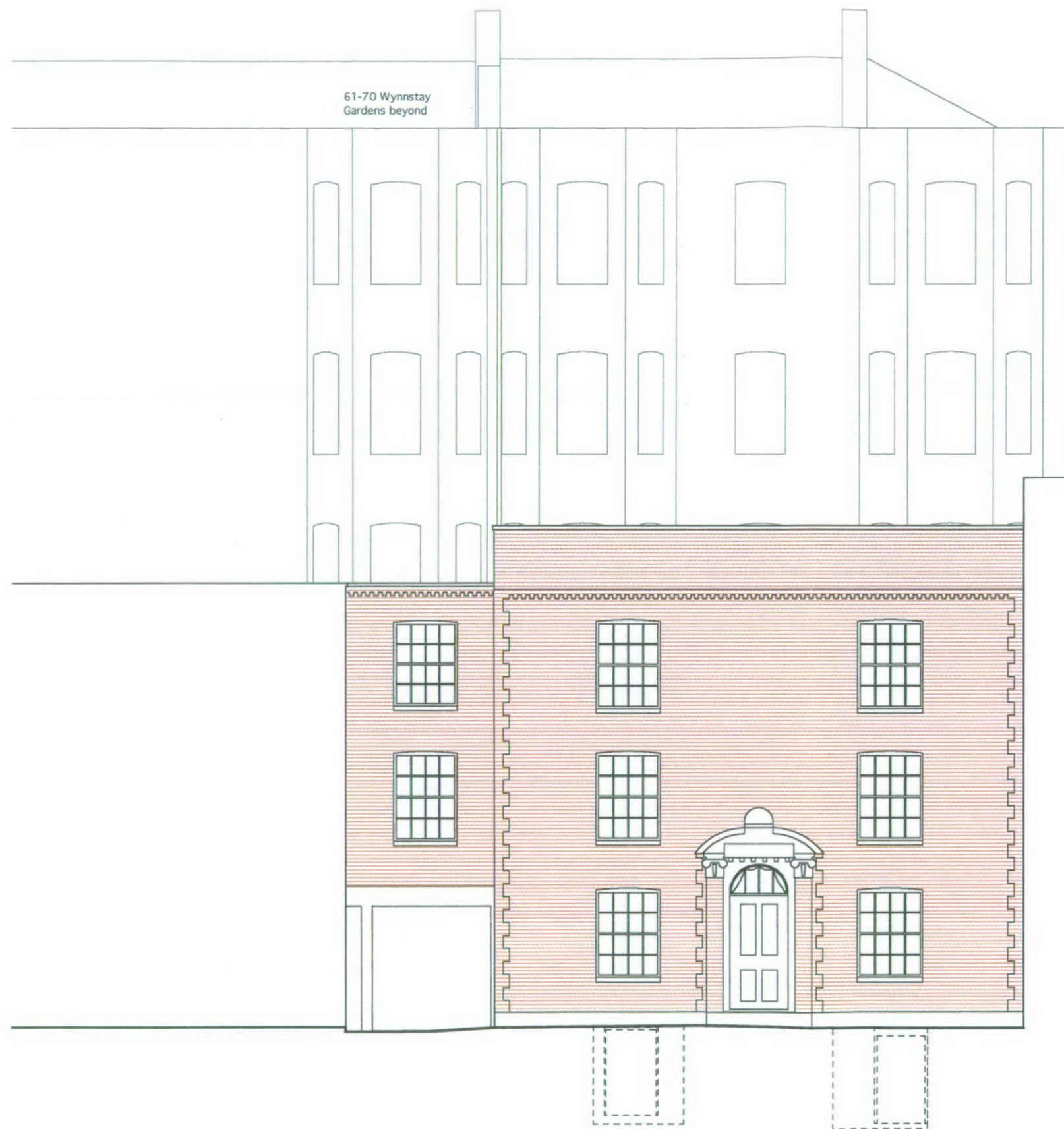
**JOB TITLE**  
**37 ABINGDON ROAD,**  
**LONDON W8**

**DRAWING TITLE**  
**EXISTING: SECTION**  
**AA**

DRAWN BY Ma.P  
 SCALE 1:50  
 DATE 09.01.08  
 DRAWING N°  
**3518-S12**

Drawn by: 1.000





61-70 Wynnstay  
Gardens beyond

## GENERAL NOTES

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## REVISION

## PRELIMINARY

**HAINES  
PHILLIPS**  
ARCHITECTS

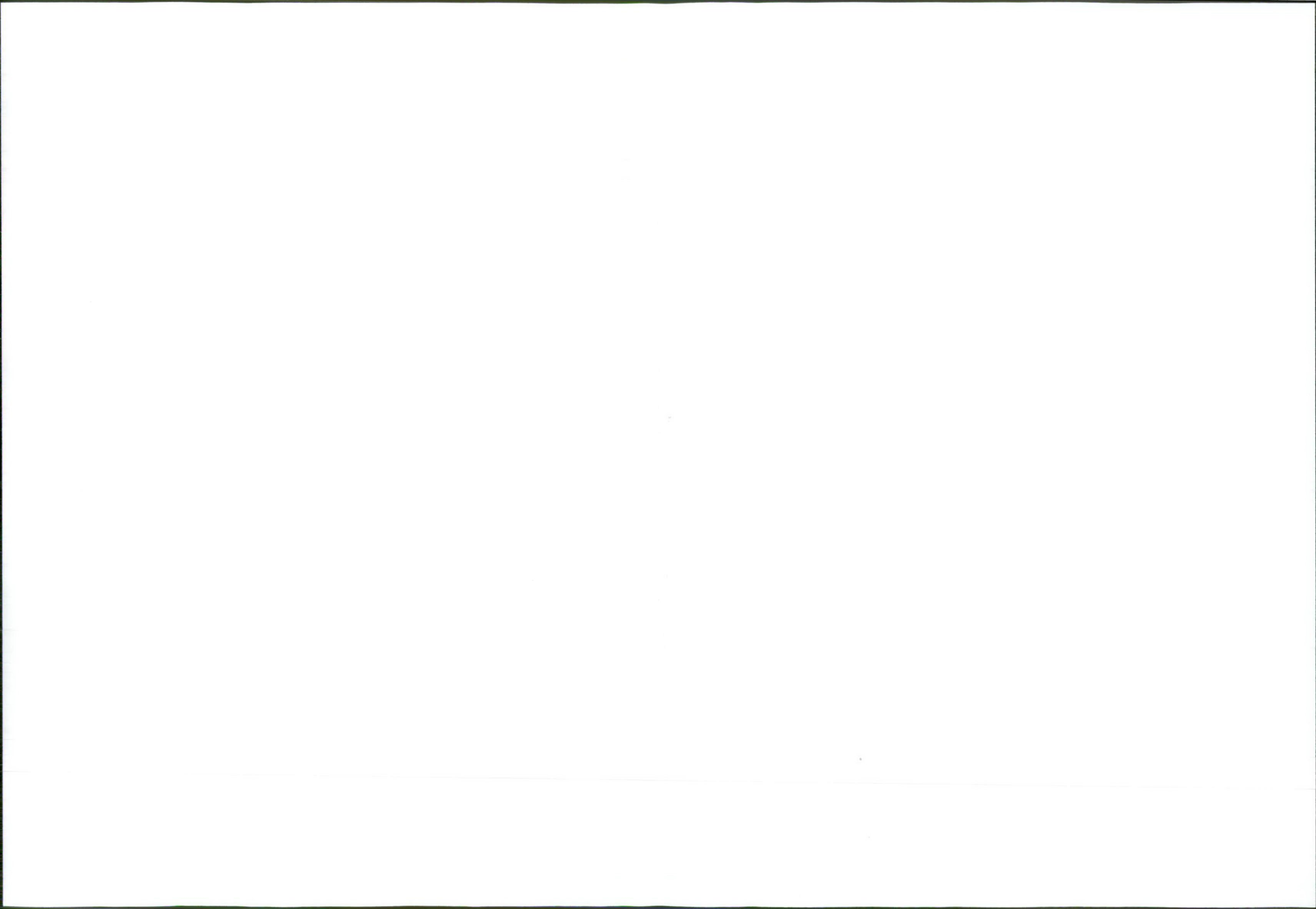
Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

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☎ 020 7837 2864  
✉ office@hainesphillips.co.uk

JOB TITLE  
**37 ABINGDON ROAD,  
LONDON W8**

DRAWING TITLE  
**EXISTING: FRONT  
ELEVATION showing  
Wynnstay Gardens**

DRAWN BY Ma.P  
SCALE 1:100  
DATE 09.01.08  
DRAWING N°  
**3518-S17**



ELEVATION 6: ABINGDON MANSIONS



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REVISION

PRELIMINARY

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PHILLIPS**  
ARCHITECTS

Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

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☎ 020 7837 2864  
✉ office@hainespPhillips.co.uk

JOB TITLE  
**37 ABINGDON ROAD,  
LONDON W8**

DRAWING TITLE  
**EXISTING: REAR  
ELEVATION  
Showing Abingdon  
Mansions**

DRAWN BY Ma.P  
SCALE 1:100  
DATE 09.01.08  
DRAWING N°  
**3518-S20**

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REVISION

0

PRELIMINARY

**HAINES  
PHILLIPS  
ARCHITECTS**

Tankerton Works  
12 Argyle Walk  
London WC1H 8HA  
020 7833 9324  
020 7837 2864  
office@hainesphillips.co.uk

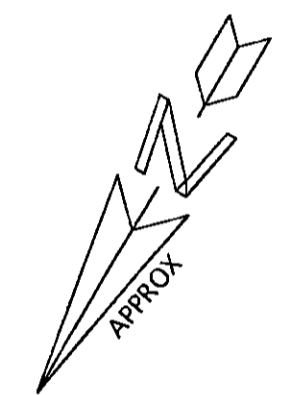
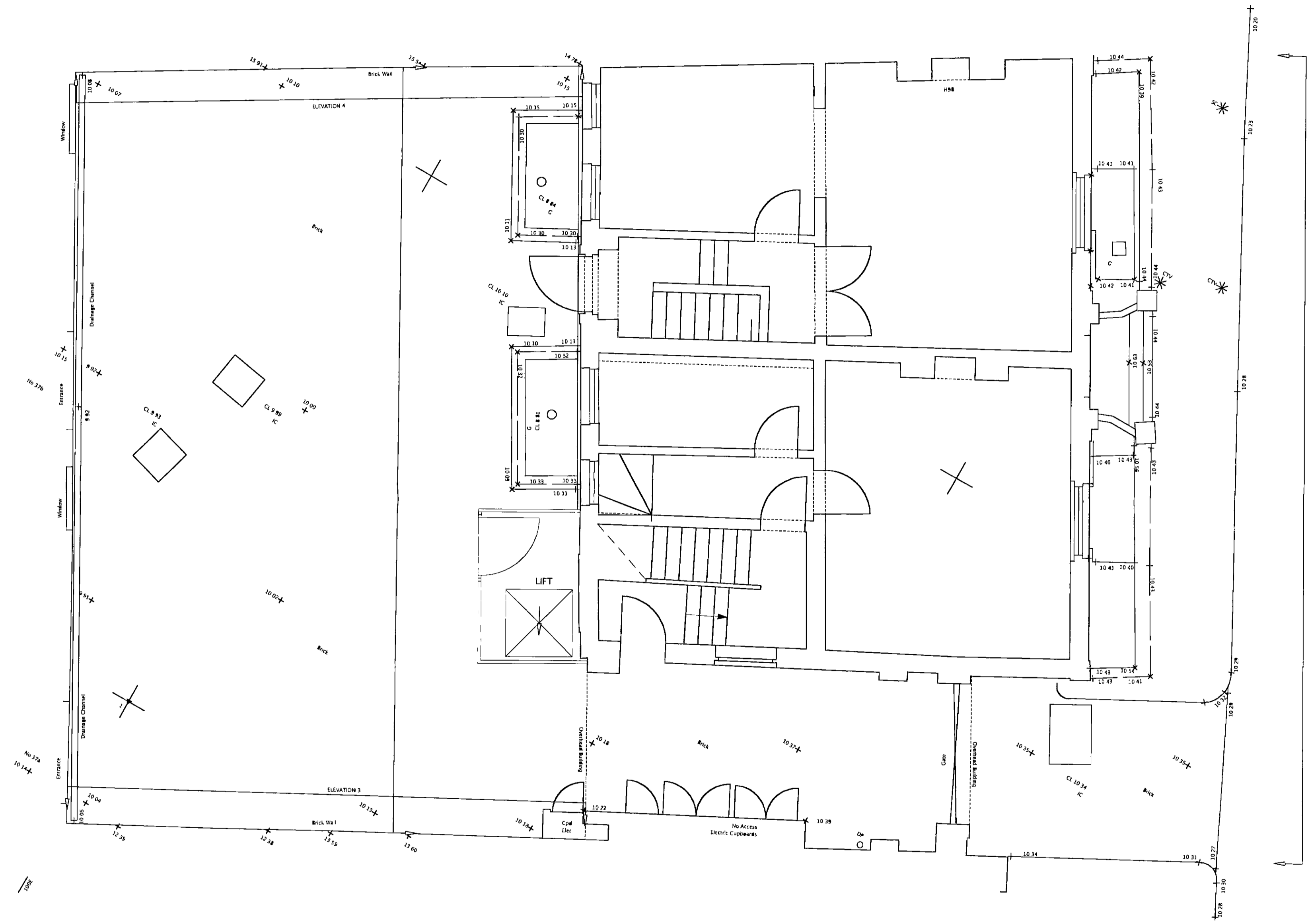
JOB TITLE

**37, Abingdon Road,  
London. W8 6AH**

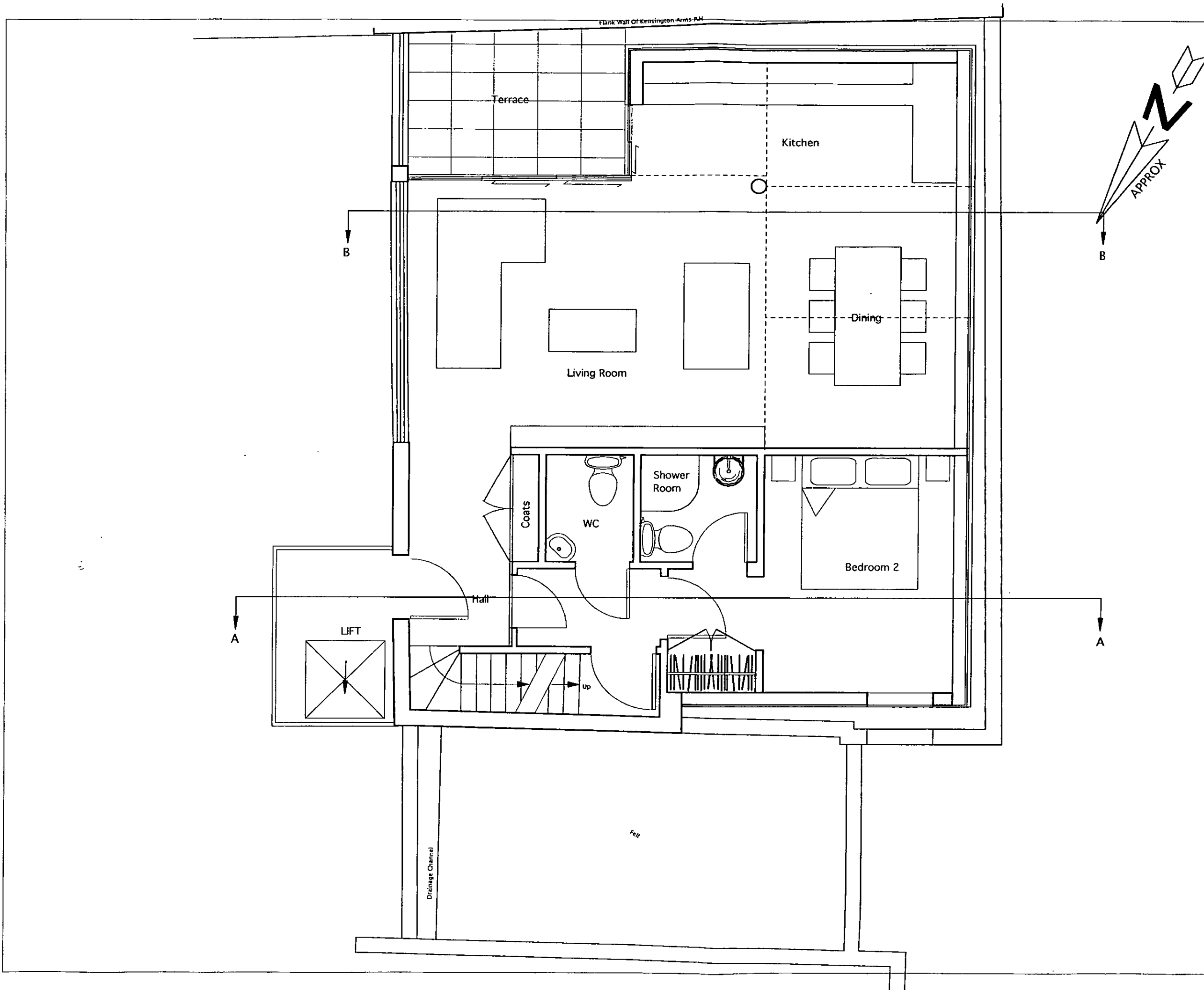
DRAWING TITLE

**PROPOSED: SITE PLAN**

DRAWN BY -  
SCALE 1 100  
DATE 01 08 07  
DRAWING N°  
**3815 - SK10**







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 architect's instruction.  
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**REVISION**

- A 04.01.2008**  
Minor revisions to layout
- B 07.01.2008**  
Minor revisions to layout

**PRELIMINARY**

**HAINES  
 PHILLIPS  
 ARCHITECTS**

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

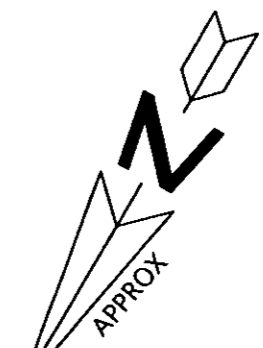
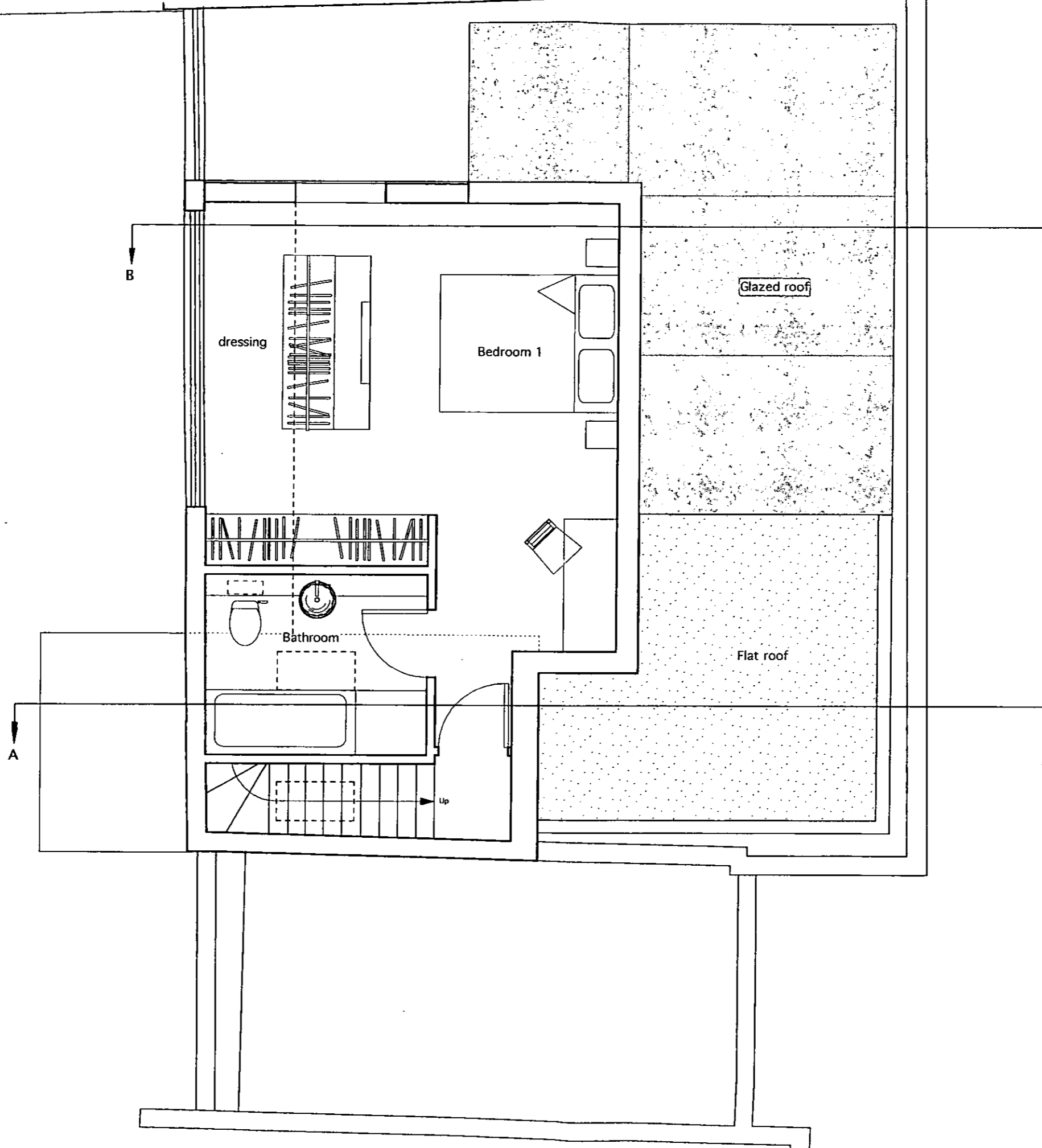
- T** 020 7833 9324
- F** 020 7837 2864
- E** office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD,  
 LONDON W8**

**DRAWING TITLE**  
**PROPOSED: THIRD  
 FLOOR PLAN**

**DRAWN BY** E.A.  
**SCALE** 1:50  
**DATE** 19.12.07  
**DRAWING N°**  
**3518-SK12 B**

Flank Wall Of Kensington Arms P.H.



**GENERAL NOTES**

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**REVISION**

- A 04.01.2008**  
Minor revisions to layout
- B 07.01.2008**  
Minor revisions to layout

**PRELIMINARY**

**HAINES  
PHILLIPS  
ARCHITECTS**

Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

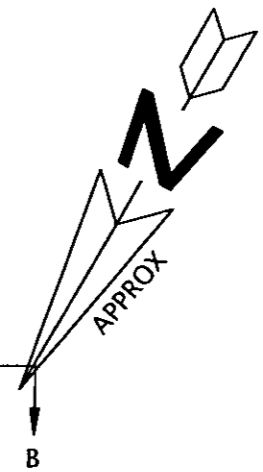
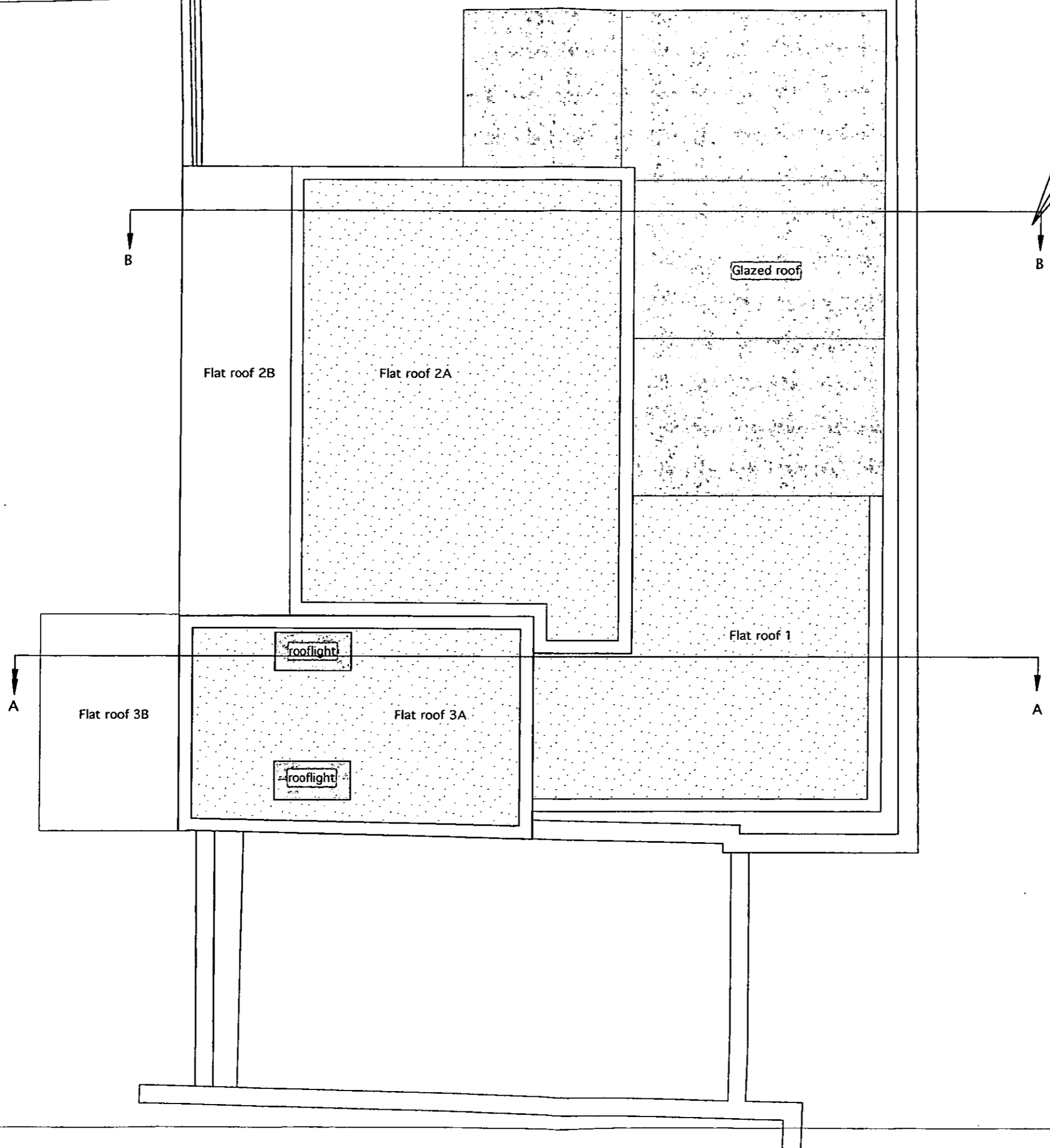
- T** 020 7833 9324
- F** 020 7837 2864
- C** office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD,  
LONDON W8**

**DRAWING TITLE**  
**PROPOSED:  
4th FLOOR PLAN**

**DRAWN BY** E.A.  
**SCALE** 1:50 at A3  
**DATE** 20.12.07  
**DRAWING N°**  
**3518-Sk13 B**

Tankerton Walk Of Kensington Arms P.M.



### GENERAL NOTES

Do not scale from this drawing.  
 All dimensions, levels, fixings and  
 weatherings to be checked on site.  
 This drawing must not be used for land  
 transfer purposes, or for construction  
 purposes unless accompanied by an  
 architect's instruction.  
 This drawing is copyright.

### REVISION

- A 04.01.2008**  
Minor revisions to layout
- B 09.01.2008**  
Minor revisions to layout

## PRELIMINARY

**HAINES  
 PHILLIPS  
 ARCHITECTS**

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

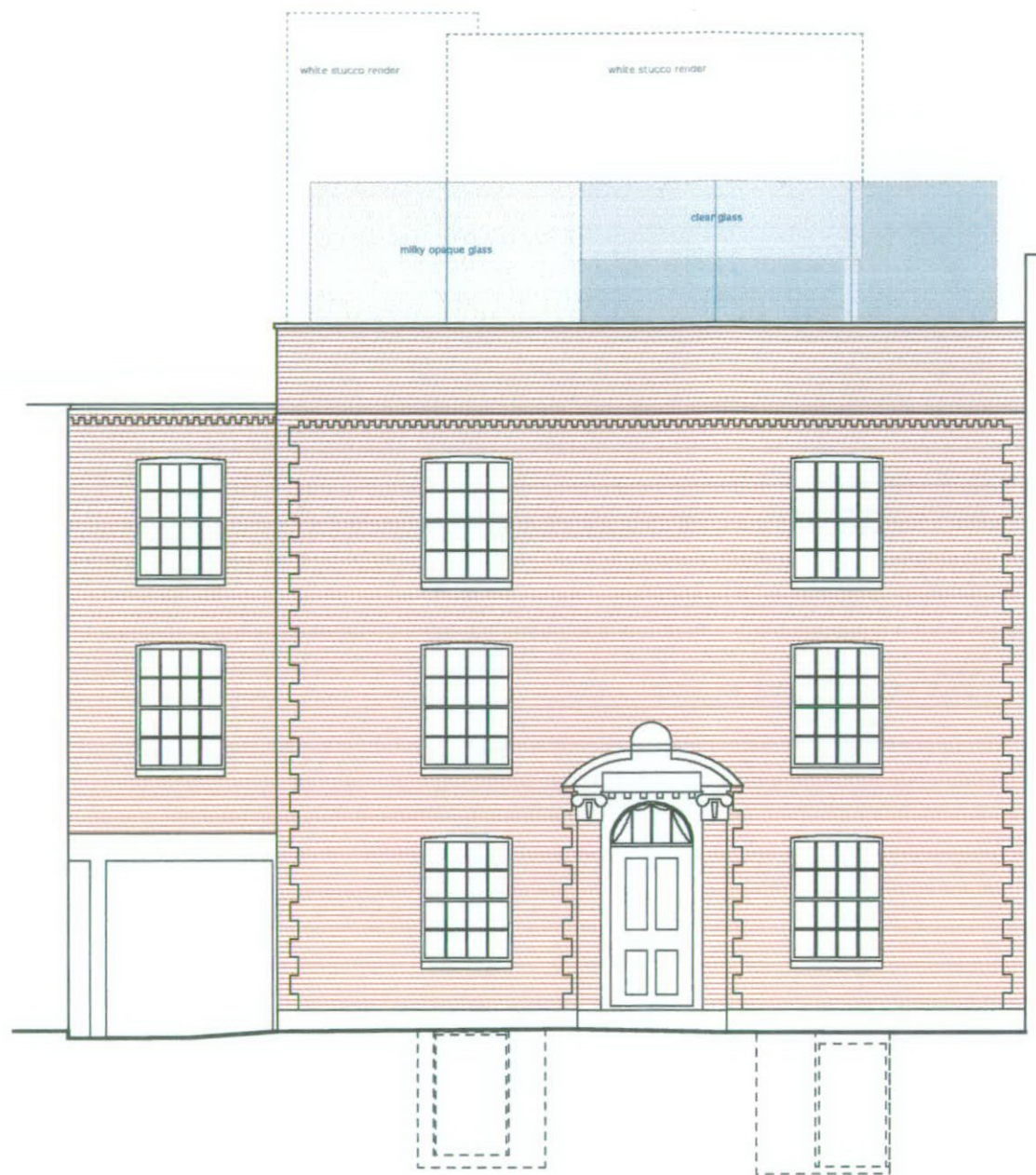
- T** 020 7833 9324
- F** 020 7837 2864
- E** office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD,**  
**LONDON W8**

**DRAWING TITLE**  
**PROPOSED:**  
**ROOF PLAN**

**DRAWN BY** E.A.  
**SCALE** 1:50 at A3  
**DATE** 20.12.07  
**DRAWING N°**  
**3518-Sk14B**





## GENERAL NOTES

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weatherings to be checked on site.  
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purposes unless accompanied by an  
architect's instruction.  
This drawing is copyright.

## REVISION

## PRELIMINARY

**HAINES  
PHILLIPS**  
ARCHITECTS

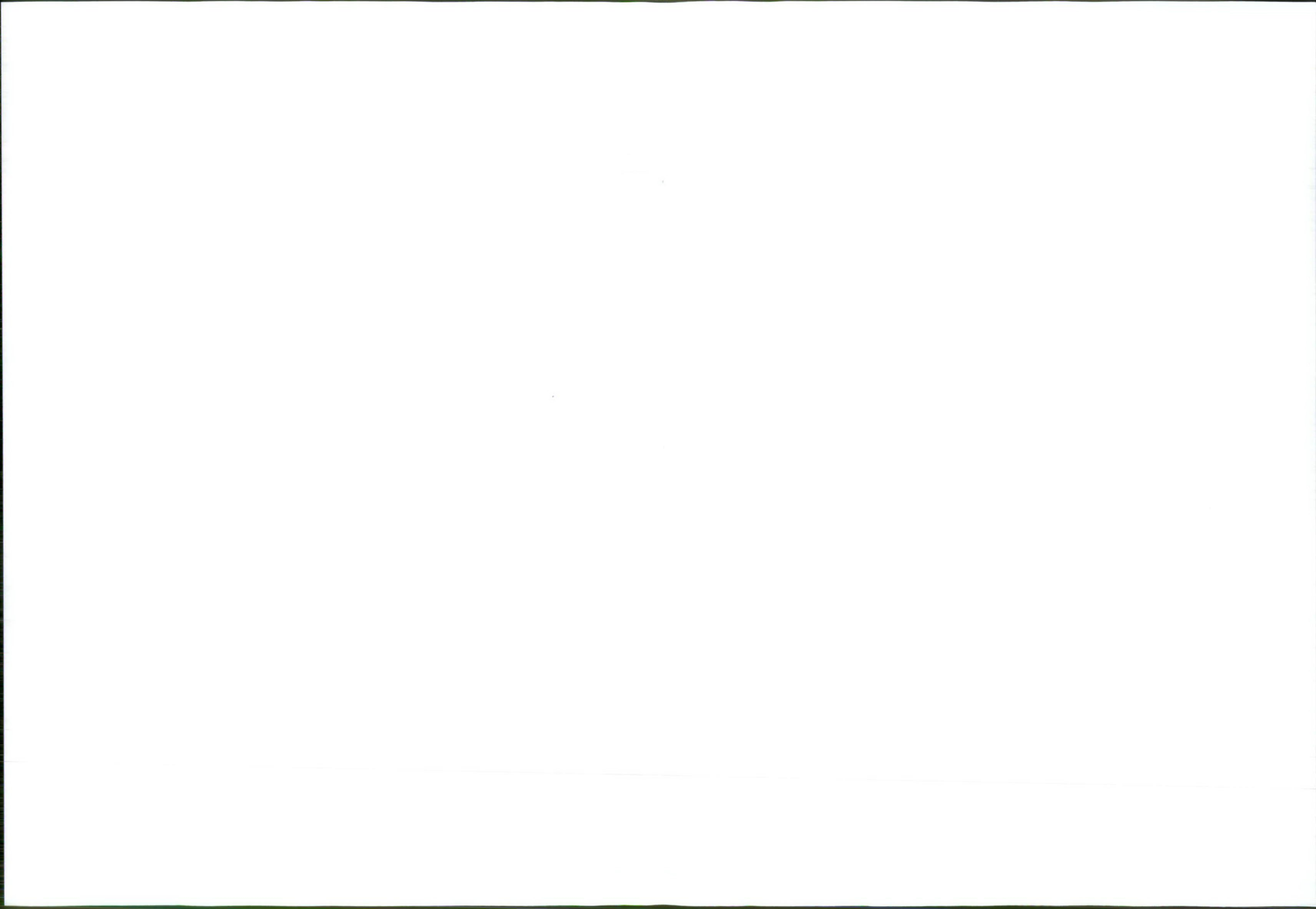
Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

**t** 020 7833 9324  
**f** 020 7837 2864  
**e** office@hainesphillips.co.uk

JOB TITLE  
**37 ABINGDON ROAD,  
LONDON W8**

DRAWING TITLE  
**PROPOSED: FRONT  
ELEVATION**

DRAWN BY Ma.P  
SCALE 1:100  
DATE 09.01.08  
DRAWING N°  
**3518-SK15**





**GENERAL NOTES**

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**REVISION**

**PRELIMINARY**

**HAINES  
 PHILLIPS**  
 ARCHITECTS

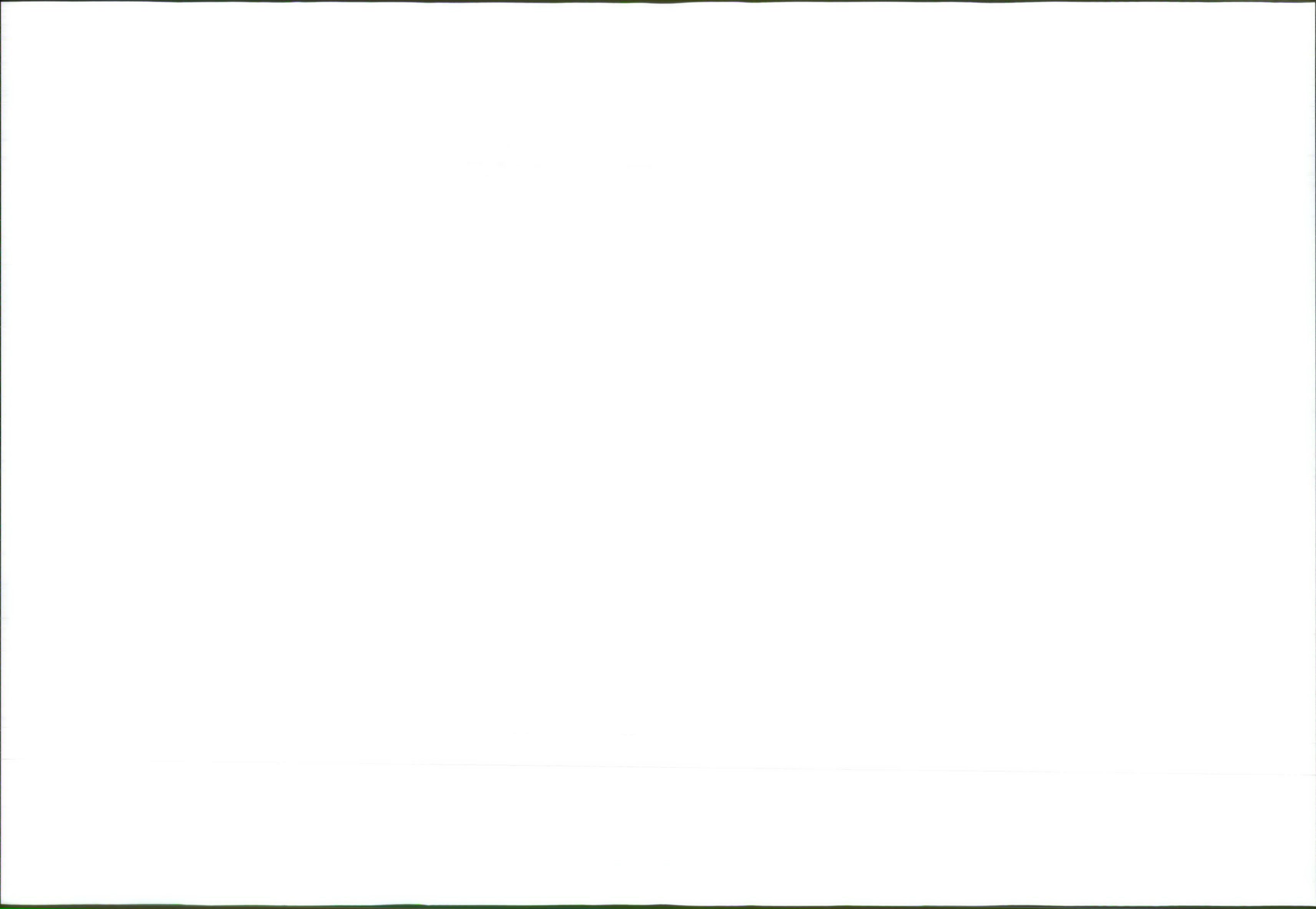
Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

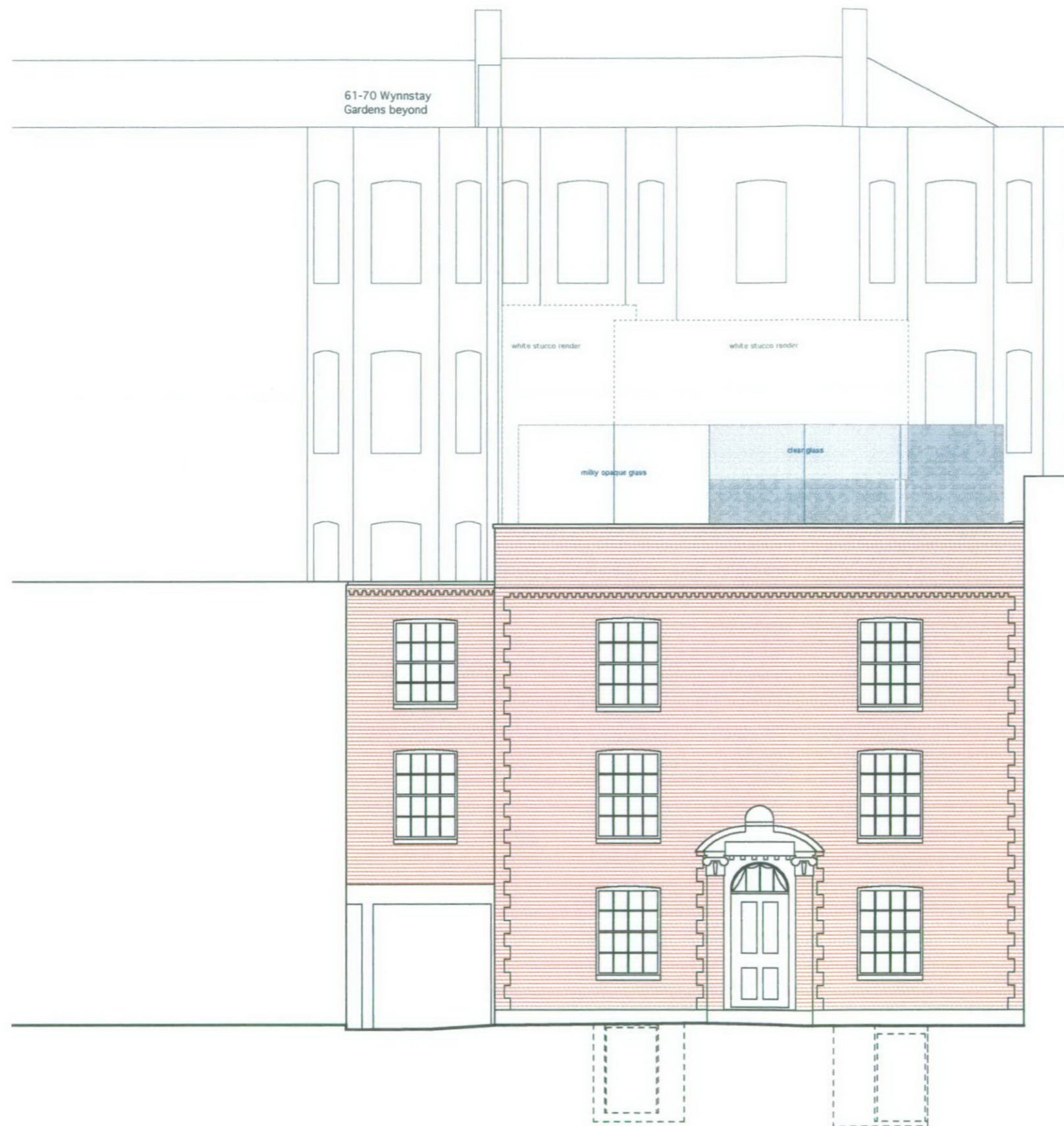
📞 020 7833 9324  
 📞 020 7837 2864  
 ✉ office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD,  
 LONDON W8**

**DRAWING TITLE**  
**PROPOSED: REAR  
 ELEVATION**

**DRAWN BY** Ma.P  
**SCALE** 1:100  
**DATE** 09.01.08  
**DRAWING N°**  
**3518-SK16**





## GENERAL NOTES

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This drawing is copyright.

## REVISION

## PRELIMINARY

**HAINES  
PHILLIPS**  
ARCHITECTS

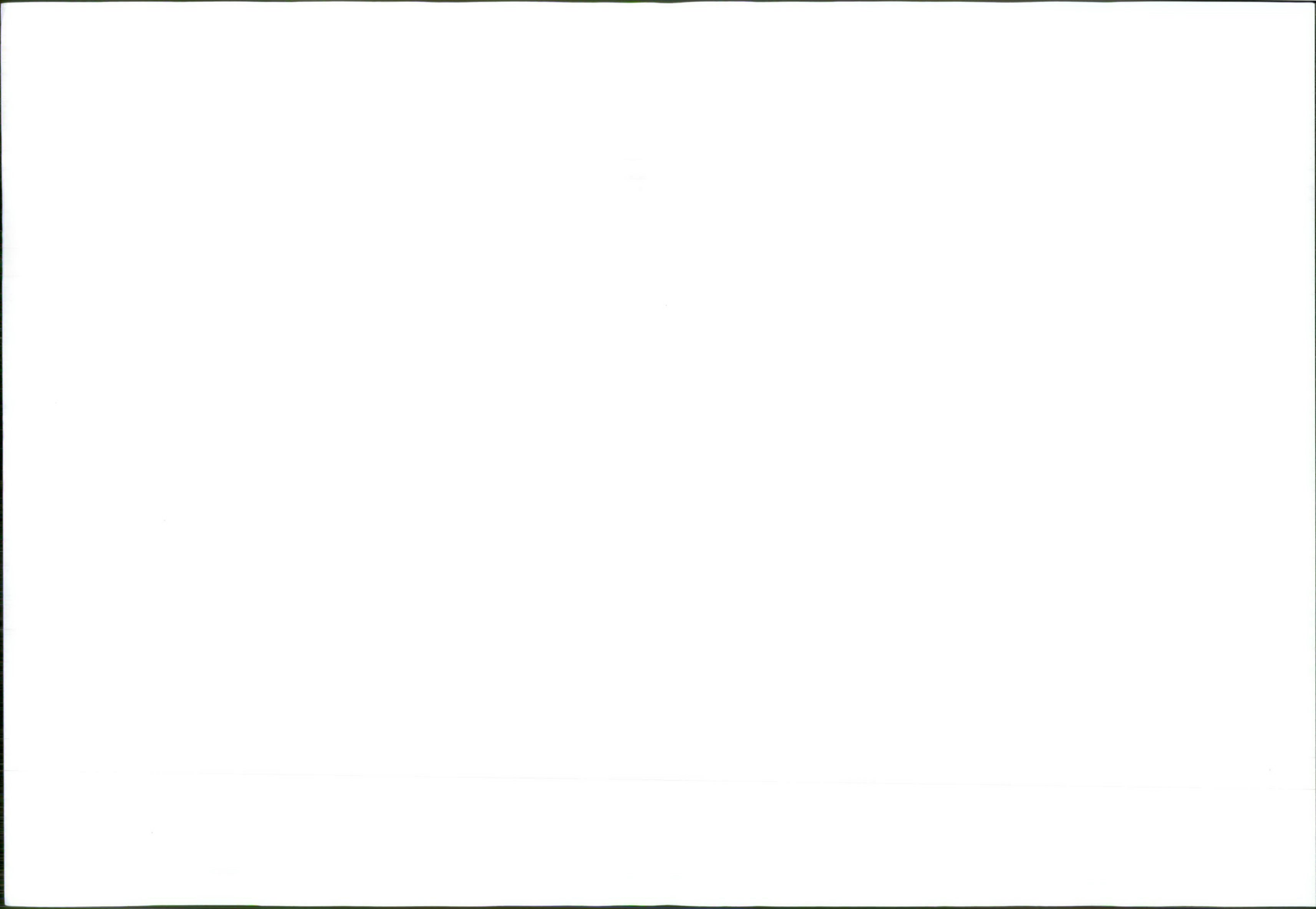
Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

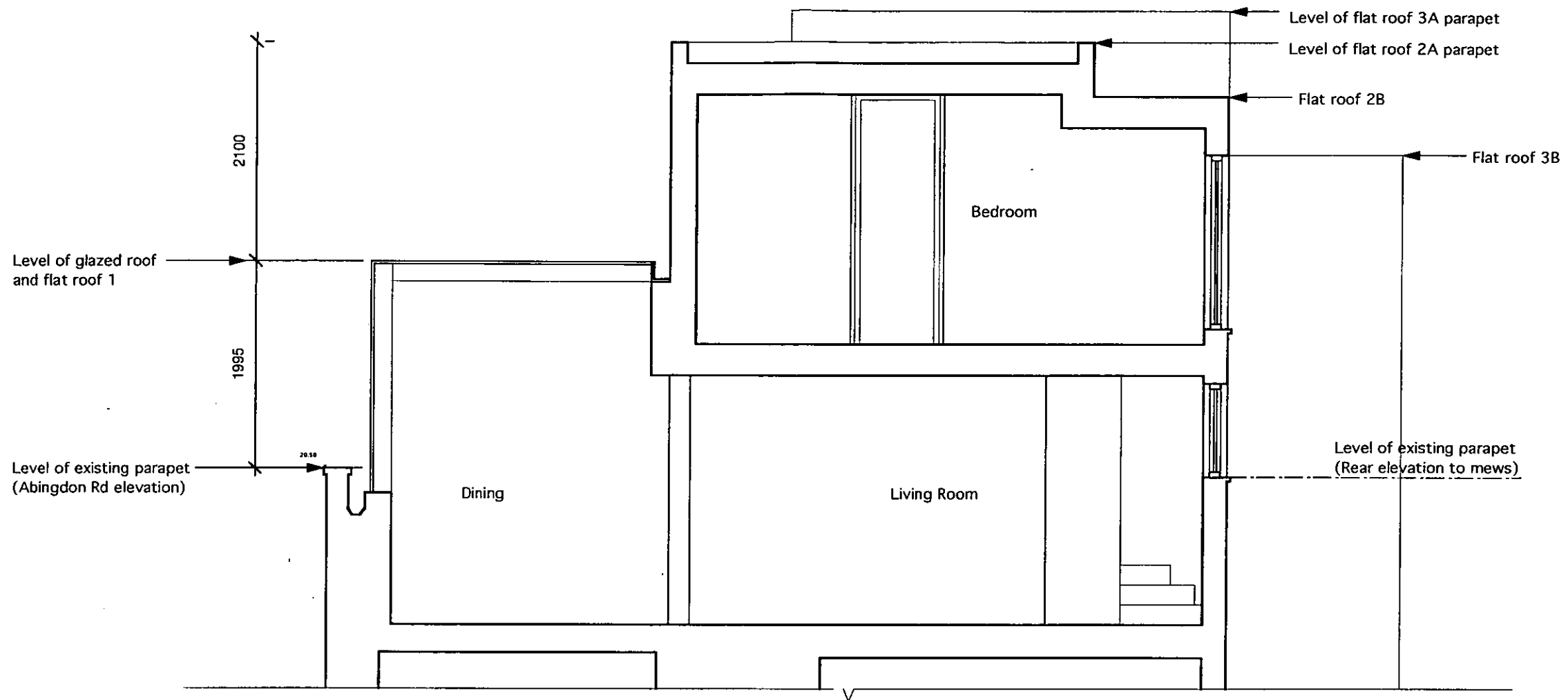
**t** 020 7833 9324  
**f** 020 7837 2864  
**e** office@hainephillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD,  
LONDON W8**

**DRAWING TITLE**  
**PROPOSED: FRONT  
ELEVATION showing  
Wynnstay Gardens**

**DRAWN BY** Ma.P  
**SCALE** 1:100  
**DATE** 09.01.08  
**DRAWING N°**  
**3518-SK17**





**GENERAL NOTES**

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 This drawing must not be used for land transfer purposes, or for construction purposes unless accompanied by an architect's instruction.  
 This drawing is copyright.

**REVISION**

- A 04.01.2008**  
Minor revisions to layout
- B 09.01.2008**  
Flat roof no. 3 shown
- C 10.01.2008**  
Revisions to flat roofs 2 and 3

**PRELIMINARY**

**HAINES  
 PHILLIPS  
 ARCHITECTS**

Tankerton Works  
 12 Argyle Walk  
 London WC1H 8HA

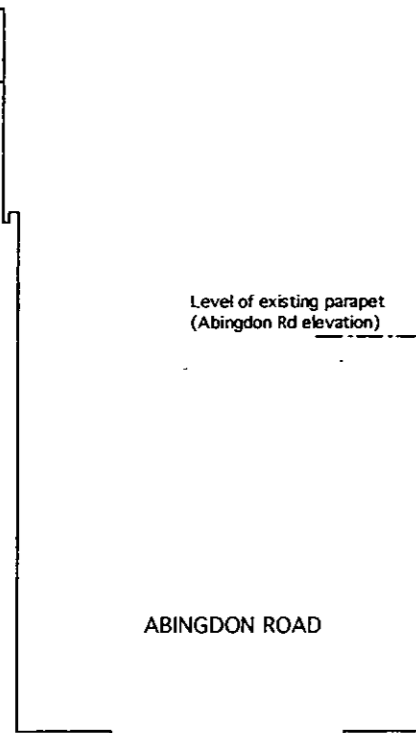
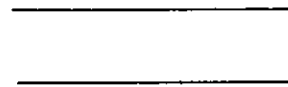
- t** 020 7833 9324
- f** 020 7837 2864
- e** office@hainesphillips.co.uk

**JOB TITLE**  
**37 ABINGDON ROAD,  
 LONDON W8**

**DRAWING TITLE**  
**PROPOSED:  
 SECTION B-B**

**DRAWN BY** E.A.  
**SCALE** 1:50  
**DATE** 19.12.07  
**DRAWING N°**  
**3518-SK18 C**

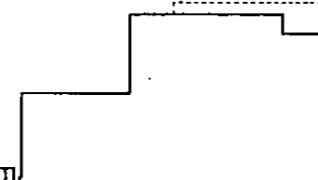
ABINGDON MANSIONS



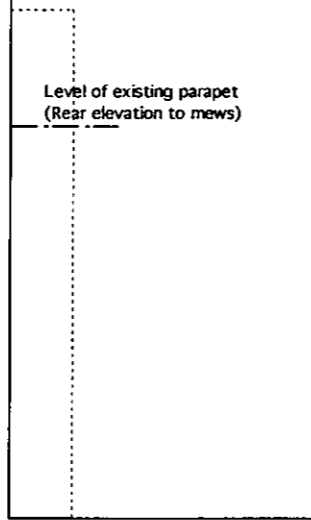
ABINGDON ROAD

Level of existing parapet  
(Abingdon Rd elevation)

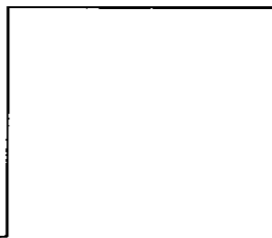
NO.37-39



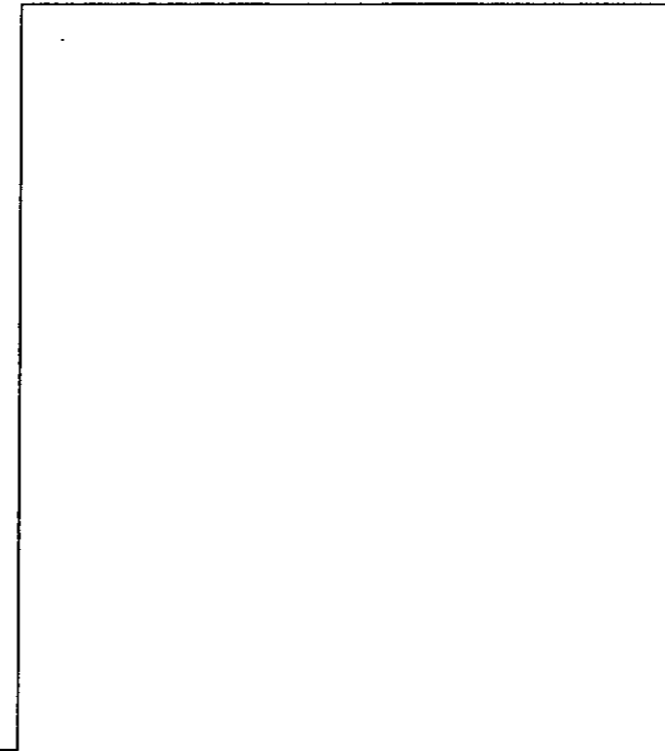
Level of existing parapet  
(Rear elevation to mews)



NO.37A-39A



NO.61-70 WYNNSTAY GARDENS



## GENERAL NOTES

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weatherings to be checked on site.  
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## REVISION

A 10.01.2008  
Minor revisions

## PRELIMINARY

**HAINES  
PHILLIPS  
ARCHITECTS**

Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

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☎ 020 7837 2864  
✉ office@hainesphillips.co.uk

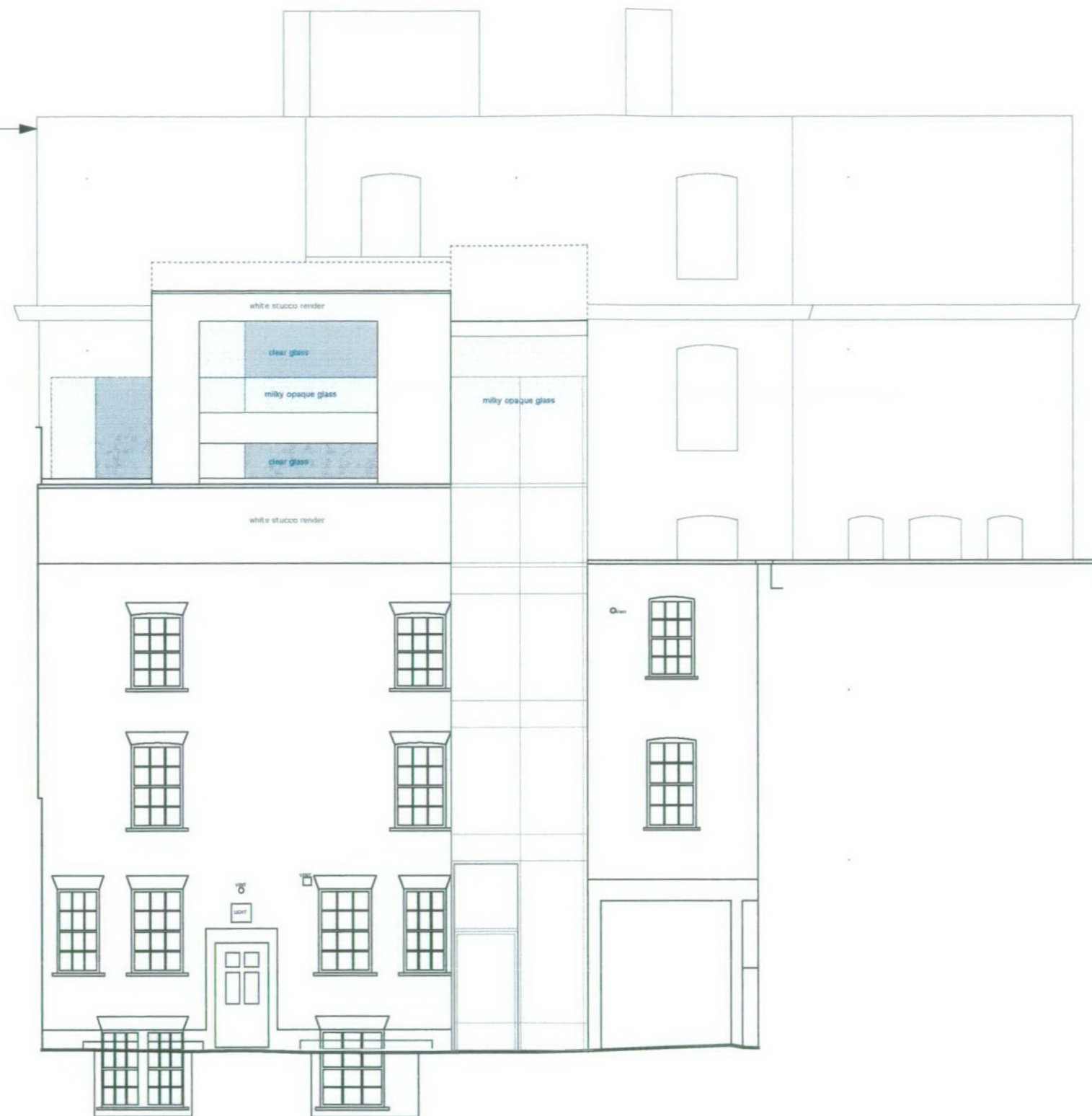
JOB TITLE  
**37 ABINGDON ROAD,  
LONDON W8**

DRAWING TITLE  
**PROPOSED:  
SECTION THROUGH  
STREET**

DRAWN BY E.A.  
SCALE 1:200  
DATE 11.09.07  
DRAWING N°  
**3518-SK19A**



Abingdon Mansions  
beyond



## GENERAL NOTES

Do not scale from this drawing.  
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purposes unless accompanied by an  
architect's instruction.  
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## REVISION

## PRELIMINARY

**HAINES  
PHILLIPS**  
ARCHITECTS

Tankerton Works  
12 Argyle Walk  
London WC1H 8HA

☎ 020 7833 9324  
☎ 020 7837 2864  
✉ office@hainephillips.co.uk

## JOB TITLE

**37 ABINGDON ROAD,  
LONDON W8**

## DRAWING TITLE

**PROPOSED: REAR  
ELEVATION  
Showing Abingdon  
Mansions**

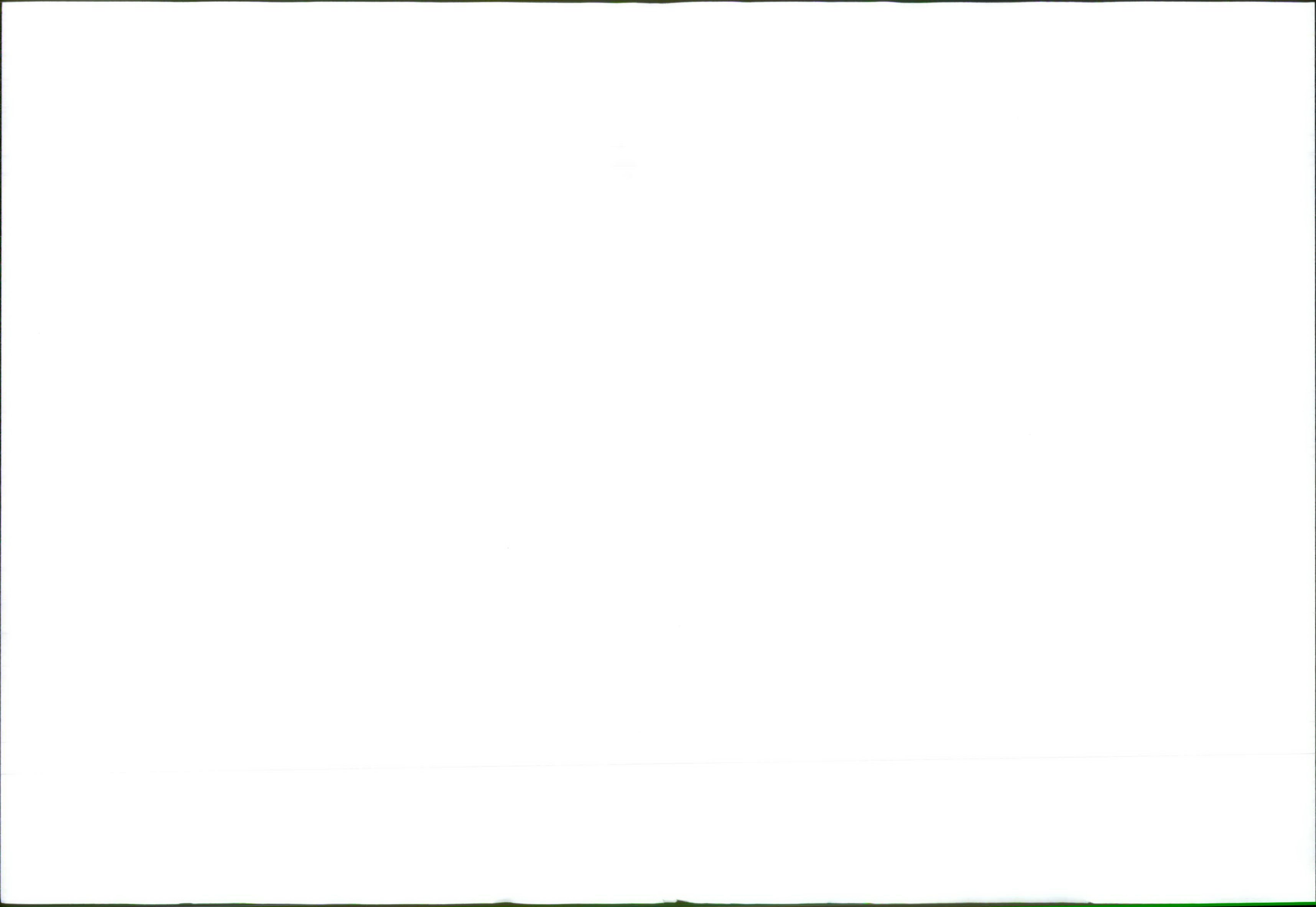
DRAWN BY Ma.P

SCALE 1:100

DATE 09.01.08

DRAWING N°

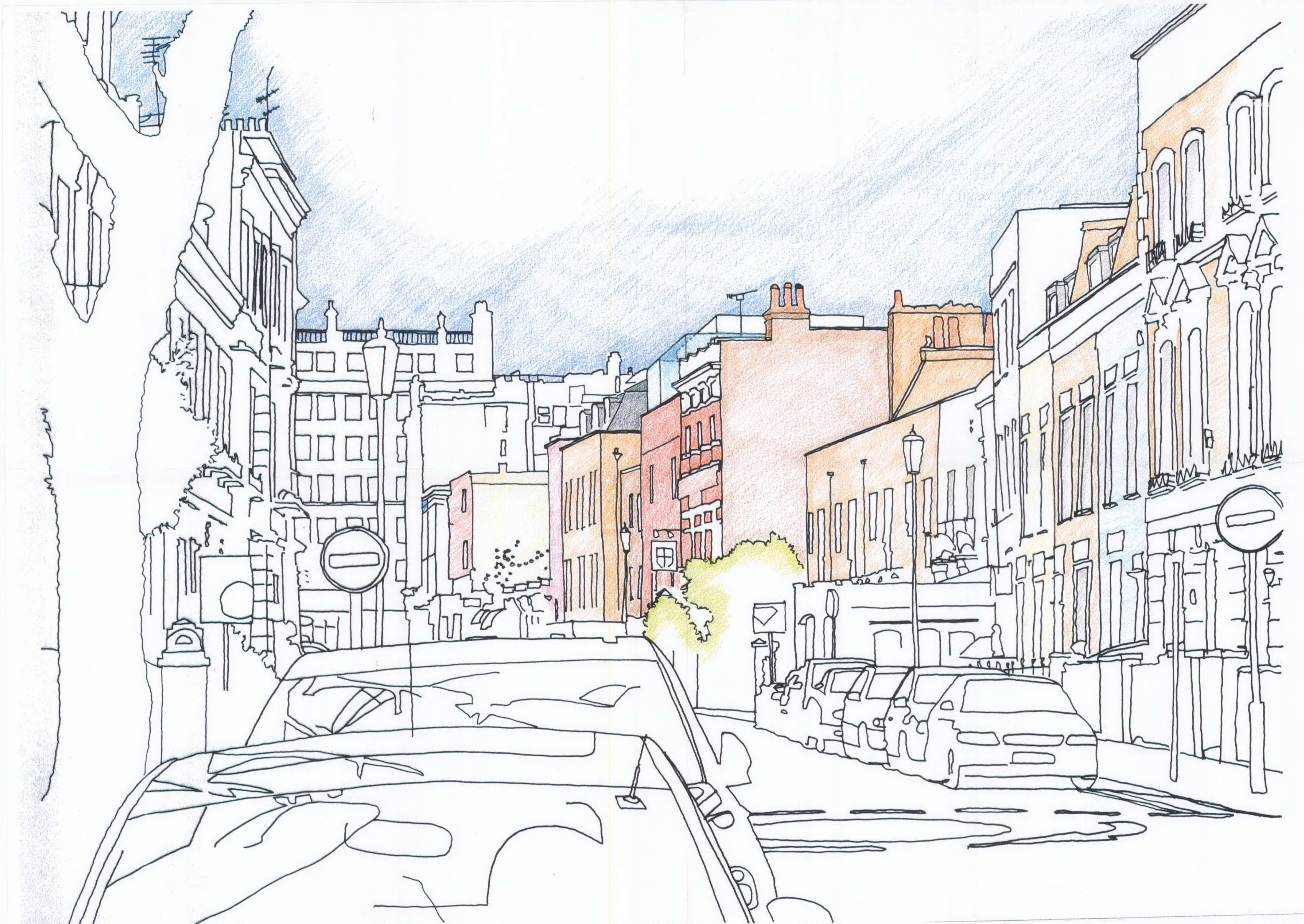
**3518-SK20**



08/19/01262

(1)





2  
21/09/01262