

13

PLANNING SERVICES APPLICATION

CONSULTATION SHEET

APPLICANT:

Kerr Parker Associates,
The Barn, 134 High Street,
Ponders End,
Enfield, Middlesex
EN3 4ET

APPLICATION NO: PP/99/02394

JT

APPLICATION DATED: 22/11/1999

DATE ACKNOWLEDGED: 24 November 1999

APPLICATION COMPLETE: 24/11/1999

DATE TO BE DECIDED BY: 19/01/2000

SITE: 15 Sydney Street, London, SW3 6PU

PROPOSAL: Proposed double garage and study link at ground floor level and works associated with approvals under TP/98/0376 and TP/96/0971.

ADDRESSES TO BE CONSULTED

- 1.
2. AD 98/0376
3.
4.
5. 2, 3, 4 Stewarts Grove (1) each.
6.
7.
8. 13 Sydney St (1)
9. 17 " (1)
10.
11. 14 " mb/grd flats 1-3rd flrs.
12.
13. 16 + 16A "
14. 16 Bury Walk. Grd yr part The Smoke
15. " " " " " " " "

13
20/11
OM

CONSULT STATUTORILY

- HBMC Listed Buildings
HBMC Setting of Buildings Grade I or II
HBMC Demolition in Conservation Area
Demolition Bodies
DoT Trunk Road - Increased traffic
DoT Westway etc.,
Neighbouring Local Authority
Strategic view authorities
Kensington Palace
Civil Aviation Authority (over 300')
Theatres Trust
National Rivers Authority
Thames Water
Crossrail
LRT/Chelsea-Hackney Line

- ADVERTISE
Effect on CA
Setting of Listed Building
Works to Listed Building
Departure from UDP
Demolition in CA
"Major Development"
Environmental Assessment
No Site Notice Required
Notice Required other reason
Police
L.P.A.C
British Waterways
Environmental Health

(1) OM
(4) 25/11

# DEVELOPMENT CONTROL

## TECHNICAL INFORMATION

THE ROYAL BOROUGH OF



KENSINGTON AND CHELSEA

ADDRESS 15 SYDNEY STREET

14

POLLING DISTRICT QA

PP992394

- |     |  |        |  |
|-----|--|--------|--|
| HB  | Buildings of Architectural Interest          | LSC    | Local Shopping Centre                          |
| AMI | Areas of Metropolitan Importance             | AI     | Sites of Archeological Importance              |
| MDO | Major Sites with Development Opportunities   | SV     | Designated View of St Paul's from Richmond     |
| MOL | Metropolitan Open Land                       | SNCI   | Sites of Nature Conservation Importance        |
| SBA | Small Business Area                          | REG 7  | Restricted size and use of Estate Agent Boards |
| PSC | Principal Shopping Centre (Core or Non-core) | ART IV | Restrictions of Permitted Development Rights   |

Conservation Area	HB	CPO	TPO	AMI	MDO	MOL	SBA	Unsuitable for Diplomatic use	PSC		LSC	AI	SV	SNCI	REG 7	ART IV	
									C	N							
18	II							✓									

Within the line of Safeguarding of the proposed Chelsea/Hackney underground line
Within the line of Safeguarding of the proposed Eastwest/Crossrail underground line

Density	
Site Area	
Habitable rooms proposed	
Proposed Density	

Plot Ratio	
Site Area	
Zoned Ratio	
Floor Area proposed	
Proposed Plot Ratio	

<b>Daylighting</b>	Complies	
	Infringes	

<b>Car Parking</b>	Spaces required	
	Spaces proposed	24

**Notes:**

OV 1999

MEMORANDUM

15

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**TO: FOR FILE USE ONLY**

**From: EXECUTIVE DIRECTOR  
PLANNING & CONSERVATION**

---

**My Ref: PP/99/02394/JT**

**CODE 1D**

**Room No:**

---

**Date: 25 November 1999**

**DEVELOPMENT AT:**

**15 Sydney Street, London, SW3 6PU**

**DEVELOPMENT:**

**Proposed double garage and study link at ground floor level and works associated with approvals under TP/98/0376 and TP/96/0971.**

The above development is to be advertised under:-

1. Section 73 of the Planning (Listed Buildings and Conservation Areas) Act 1990 (development affecting the character or appearance of a Conservation Area or adjoining Conservation Area)
4. Town and Country Planning (Listed Buildings and Conservation Areas) Regulations 1990 (applications for Listed building consent)

**M.J. French**

Executive Director, Planning & Conservation

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**PLANNING AND CONSERVATION**

THE TOWN HALL HORNTON STREET LONDON W8 7NX

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Executive Director M J FRENCH FRICS TP MRTPI Cert TS

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16

**THE ROYAL  
BOROUGH OF**



**KENSINGTON  
AND CHELSEA**

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**FILE COPY**

2467

0171-361- 2467

Switchboard: 0171-937-5464

Extension:

Direct Line:

Facsimile: 0171-361-3463

Date: 26 November 1999

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My reference:

Your reference:

Please ask for:

My Ref: DPS/DCSW/PP/99/02394/JT

Planning Information Office

Dear Sir/Madam,

**TOWN AND COUNTRY PLANNING ACT 1990**

**Proposed development at: 15 Sydney Street, London, SW3 6PU**

Brief details of the proposed development are set out below. Members of the public may inspect copies of the application, the plans and any other documents submitted with it. The Council's Planning Services Committee, in considering the proposal, welcomes comments either for or against the scheme. Anyone who wishes to make representations about the application should write to the Council at the above address **within 21 days** of the date of this letter. Unfortunately, the Council does not have the resources to advise objectors of the Committee date, and you should telephone for further information.

**Proposal for which permission is sought**

**Proposed double garage and study link at ground floor level and works associated with approvals under TP/98/0376 and TP/96/0971.**

**Applicant**

**Kerr Parker Associates, The Barn, 134 High Street, Ponders End, Enfield, Middlesex  
EN3 4ET**

Yours faithfully,

**M. J. FRENCH**

Executive Director, Planning and Conservation

**WHAT MATTERS CAN BE TAKEN INTO ACCOUNT**

When dealing with a planning application the Council has to consider the policies of the Borough Plan, known as the Unitary Development Plan, and any other material considerations. The most common of these include (not necessarily in order of importance):

- \* The scale and appearance of the proposal and impact upon the surrounding area or adjoining neighbours;
- \* Effect upon the character or appearance of a Conservation Area;
- \* Effect upon the special historic interest of a Listed Building, or its setting;
- \* Effect upon traffic, access, and parking;
- \* Amenity issues such as loss of Sunlight or daylight, Overlooking and loss of privacy, Noise and disturbance resulting from a use, Hours of operation

**WHAT MATTERS CANNOT BE TAKEN INTO ACCOUNT**

Often people may wish to object on grounds that, unfortunately, **cannot** be taken into account because they are not controlled by Planning Legislation. These include (again not in any order of importance):

- \* Loss of property value;
- \* Private issues between neighbours such as land covenants, party walls, land and boundary disputes, damage to property;
- \* Problems associated with construction such as noise, dust, or vehicles (If you experience these problems Environmental Services have some control and you should contact them direct)
- \* Smells (Also covered by Environmental Services)
- \* Competition between firms;
- \* Structural and fire precaution concerns; (These are Building Control matters)

**WHAT HAPPENS TO YOUR LETTER**

Planning applications where objections have been received are presented to the Planning Services Committee which is made up of elected Ward Councillors. Planning Officers write a report to the Committee with a recommendation as to whether the application should be granted or refused. Letters received are summarised in the report, and copies can be seen by Councillors and members of the public including the applicant. The Councillors make the decisions and are not bound by the Planning Officer's recommendation. All meetings of the Committee are open to the public.

**If you would like further information, about the application itself or when it is likely to be decided, please contact the Planning Department on the telephone number overleaf.**

**WHERE TO SEE THE PLANS**

Details of the application can be seen at the **Planning Information Office, 3rd floor, Town Hall, Hornton Street W.8.** It is open from 9am to 4.45pm Mondays to Thursdays (4pm Fridays). A Planning Officer will always be there to assist you.

In addition, copies of applications in the **Chelsea Area (SW1, SW3, SW10)** can be seen at **The Reference Library, Chelsea Old Town Hall, Kings Road SW3 (0171-361 4158)**, for the **Central Area (W8, W14, SW5, SW7)** can be viewed in the **Central Library, Town Hall, Hornton Street, W.8.** and applications for districts **W10, W11 and W2** in the **North** of the Borough can be seen at **The Information Centre, North Kensington Library, 108 Ladbroke Grove, London W11** (under the Westway near Ladbroke Grove Station **0171-727-6583**). Please telephone to check the opening times of these offices.

If you are a registered disabled person, it may be possible for an Officer to come to your home with the plans. Please contact the Planning Department and ask to speak to the Case Officer for the application.

**PLEASE QUOTE THE APPLICATION REFERENCE NUMBER ON YOUR REPLY**

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**PLANNING AND CONSERVATION**

THE TOWN HALL, HORNTON STREET LONDON W8 7NX

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18

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**THE ROYAL  
BOROUGH OF**

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS

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English Heritage  
Historic Building and Monuments Commission  
London + South East Region  
23 Saville Row, London  
W1X 1AB

Switchboard: 0171-937-5464  
Direct Line: 0171-361-2476  
Extension: 2476  
Facsimile: 0171-361-3463



**KENSINGTON  
AND CHELSEA**

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Date: 26 November 1999

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**My Ref: DPS/DCSW/PP/99/02394 Your ref: K9915 Please ask for: J.Thorne**

Dear Sir / Madam

**TOWN AND COUNTRY PLANNING ACT 1990**

**Proposed development at: 15 Sydney Street, London, SW3 6PU**

I enclose a copy of an application, with relevant drawings and/or supporting information, and should be pleased to receive your observations on these proposals as soon as possible.

It is hoped to present this application to the Planning Services Committee prior to 19/01/2000. I look forward to hearing from you in the near future, in order that your comments may be reported to this Committee.

Should you require any further details in respect of this case, please do not hesitate to contact the Case Officer on the above extension.

Yours faithfully,

**M.J. FRENCH**

Executive Director, Planning and Conservation

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THE ROYAL BOROUGH OF

# NOTICE OF A PLANNING APPLICATION



KENSINGTON AND CHELSEA

TOWN AND COUNTRY PLANNING ACT 1990  
PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990

Notice is hereby given the Royal Borough of Kensington and Chelsea Council have received an application:

- (a) for development of land in or adjacent to a Conservation Area.
- (d) for consent to demolition and/or alteration of a building which is of architectural or historic interest.

Details are set out below.

Members of the public may inspect copies of the application, the plans and other documents submitted with it at:

The Planning Information Office, 3rd floor, The Town Hall, Hornton Street, W8 7NX between the hours of 9.15 and 4.45 Mondays to Thursdays and 9.15 to 4.30 Fridays;

For applications in the Chelsea area: The Reference Library, Chelsea Old Town Hall, Tel. 0171-361-4158.

For postal areas W10, W11 and W2: The 1st floor, North Kensington Library, 108 Ladbroke Grove, W11, Tel. 0171-727-6583.

Anyone who wishes to make representations about this application should write to the Executive Director of Planning and Conservation at the Town Hall (Dept. 705) within 21 days of the date of this notice.

## SCHEDULE

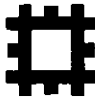
Reference: PP/99/02394/JT Date: 03/12/1999

15 Sydney Street, London, SW3 6PU

Proposed double garage and study link at ground floor level and works associated with approvals under TP/98/0376 and TP/96/0971.

**APPLICANT** Kerr Parker Associates,

*Rankings*  
*11/12*



ENGLISH HERITAGE  
LONDON REGION

EX DIR	HDC	N	C	SW	SE	ENF	AO ACK
14 DEC 1999							(61)
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEEES	

20

Director of Planning & Transportation  
Royal Borough of Kensington & Chelsea  
The Town Hall  
Hornton Street  
LONDON  
W8 7NX

JMCO  
↓

Your refs: DPS/DCSW/PP/99/  
02394

Our ref: LRS/176/15pt2

Contact: Paul Calvocoressi

Direct Dial: 0171-973-3763

For the attention of J Thorne

14 DEC 1999

Dear Sir/Madam

**Planning (Listed Buildings and Conservation Areas) Act, 1990:  
15 SYDNEY STREET, LONDON, SW3 6PU**

<i>Applicant:</i>	Mr John Andrews
<i>Grade of building</i>	II
<i>Proposed works:</i>	Double garage and study link at ground floor level and works associated with approvals under TP/98/0377 and TP/96/0971.

*Drawing numbers* K-9915-5 & 6

<i>Date of application:</i>	22.11.1999
<i>Date of referral by Council:</i>	26.12.1999
<i>Date received by English Heritage</i>	02.12.1999
<i>Date referred to D.o.E.:</i>	03.12.1999

**You are hereby authorised to determine the application for listed building consent referred to above as you think fit. In so doing English Heritage would stress that it is not expressing any views on the merits of the proposals which are the subject of the application, nor any parallel application for planning permission.**

Yours faithfully  
*Paul Calvocoressi*  
Paul Calvocoressi  
Kensington & South London Team

The Secretary of State has considered the information given above and does not intend to require the application concerned to be referred to him

Signed *J L R*  
Date *9/12/99*

LR/F





**RBKC**  
**District Plan Observations**  
**CONSERVATION AND DESIGN**

Address	Appl. No.	L.B.	C.A.	N
15 Sydney Street, SW3	99/2394/JT.	IT	18	C SLU
Description	Code			
Rear link extension, internal works and electrical	E/A	X		P

all is to rear.

(21)

John - see attached  
- arrange a SV

WIP 12/1/00.

CHELSEA CAPS 2a  
MANSARD FREE

PLANNED 10/2

GARAGE OK IN PRINCIPLE

- RESERVATIONS RE

TERRACE ON TOP

INTERNAL ALTERATIONS DIFFERING FROM APPROVED SCHEME

PRINCIPLE - assessed on site

DETAIL

Basement

- appears generally acceptable, check for loss of original doors

Ground

- check for loss of fireplace to rear room

First

- New fireplaces?
- opening between rooms, third width only
- loss of original doors and openings

Second

- loss of original doors

NARROWER OPENINGS IN DIVISIONS WITH

Third

- revised scheme of partitions - in keeping with building

REMOVE BALCONY & REINSTATE DOORS

REAR EXTENSION LINK

- This appears acceptable, unlikely to harm character of building, need to check on site

ROOF TERRACE (on top of garage)

- Not acceptable

ALTERATIONS TO REAR ELEVATION

- Loss of original windows and rhythm of terrace

GARAGE PRINCIPLE ?  
CASE HISTORIES ?  
SINGLE COMPARTMENT ?

# MESSAGE FORM

23

To John

## WHILE YOU WERE OUT

Mr Mason

of Kerr Parker

Tel. No 0181 805 7400

CALLED TO SEE YOU	<input type="checkbox"/>	PLEASE RING	<input checked="" type="checkbox"/>
TELEPHONED	<input checked="" type="checkbox"/>	PLEASE VISIT	<input type="checkbox"/>
WANTS TO SEE YOU	<input type="checkbox"/>	WILL RING YOU	<input type="checkbox"/>
URGENT	<input type="checkbox"/>	WILL CALL AGAIN	<input type="checkbox"/>

re 15 Sydney Street

### Message

Outcome of discussion with design

PHONED 22/2

NO TERRACE, DELETE UPSTAIRS  
HORIZONTAL WOODEN GALAXY  
MOVING DOOR

Signed Jo SASH WINDOWS IN  
REAL ELEVATION

Date 18/2/00

Time 2:18

13 Sydney Street  
Chelsea  
London  
SW3 6PU

0171 352 9504

Borden JT.  
French  
✓om  
29/2

24

Our ref: JBD/JT/280200/362

Your ref: DPS/DCSW/PP/99/02394JT

21 February 2000

Mr M J French  
Executive Director  
Planning and Conservation  
The Royal Borough of Kensington and Chelsea  
The Town Hall  
Hornton Street  
London  
W8 7NX

RECEIVED BY PLANNING SERVICES									
EX DIR	HDC	N	C	SM	SE	ENF	AO ACK		
50 29 FEB 2000									
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEES			

Dear Mr French

13/15 Sydney Street, London SW3 6PU

I am giving consideration to building another floor at this house of which we (Mr & Mrs J B Dykes) are the beneficial owners. I shall be grateful if you could give us some guidance on this matter. I understand that a member of your department would be prepared to visit us.

We look forward to hearing from you.

Yours sincerely

2

J B Dykes

MP

Roger Parker B.Sc. (Arch)  
Edward Mason Dip.Arch. R.I.B.A.

**KERR PARKER associates**

**COPY OF DRAWING ARCHITECTS**  
**TO INTENTION**  
**OFFICE PLEASE**

The Barn, 134 High Street, Ponders End, Enfield EN3 4ET  
Tel: 0181 805 7400 Fax: 0181 804 0810  
e-mail: @kerrparker.demon.co.uk

Vat.Reg.No: 656 8189 86

Our Ref: K9915/RP.gp.27  
Your Ref: DPS/DCSW/PP/99/02394&5

24<sup>th</sup> February 2000  
*JP*

**25**

Mr. J. Thorne.  
The Royal Borough of Kensington and Chelsea  
Planning and Conservation Department  
The Town Hall  
Hornton Street  
London W8 7NX

RECEIVED BY PLANNING SERVICES							
EX DIR	HDC	N	C	SW	SE	ENF	AO ACK
7				25 FEB 2000			
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEES	

Dear Mr. Thorne,

Re: 15 Sydney Street, London SW3.

We refer to our meeting on site with you and with Mr. Mark Price of your Conservation Department and our Mr. Roger Parker. We also refer to subsequent telephone conversations and to your discussion with our Mr. Edward Mason on 22<sup>nd</sup> February 2000 when some minor revisions to the scheme were agreed.

We now enclose four copies of our revised drawing nos: K-9915-5C and 6C that incorporate these agreed amendments.

The amendments are as follows:-

- The garage glazed roof has been omitted.
- The garage door is revised to a traditional vertical boarded door.
- The French windows onto the roof of the garage and study have been amended to a sash window.
- The first floor rear balcony has been omitted and the existing sash window at this level retained.
- The opening between the first floor rooms has been reduced in width and a note added to identify the position of the existing studs before forming the opening.
- We have also made a slight amendment to the size of the new window at second floor rear to the closet addition so that the proportions are in keeping with the other existing windows.
- We have added a courtyard elevation as this was not shown on the original drawings.

We trust that these revisions will enable your Council to progress the applications.

We have received the building tenders and our clients are anxious to commence work on site. We trust that you will be able to expedite matters.

Yours sincerely,  
KERR PARKER ASSOCIATES

Roger Parker

Enc.

FILE NUMBER: ..... PP/99/2394 .....

ADDRESS: ..... 15..... SYDNEY ST..... SW3 .....

26

REVISED DRAWINGS RECEIVED

1. Please re-notify all objectors. Add to letter:

"Revised drawings received. Any further comments must be received by ..... " \* 14 DAYS

~~2. Please re-advertise \*~~

\* delete or add as appropriate

Mr Power.  
Mr Dykes.

**PLANNING AND CONSERVATION**

THE TOWN HALL HORNTON STREET LONDON W8 7NX

Executive Director M J FRENCH FRICS TP MRTPI Cert TS

27

**THE ROYAL  
BOROUGH OF**



**KENSINGTON  
AND CHELSEA**

**FILE COPY**

2079/ 2080

0171-361- 2079/ 2080

Switchboard: 0171-937-5464

Extension:

Direct Line:

Facsimile: 0171-361-3463

Date: 29 February 2000

My reference:

Your reference:

Please ask for:

My Ref: DPS/DCSW/PP/99/02394/JT

Planning Information Office

Dear Sir/Madam,

**TOWN AND COUNTRY PLANNING ACT 1990**

**Proposed development at: 15 Sydney Street, London, SW3 6PU**

You were recently notified on, and/or have commented on, the application for development at the above address. The Council has now received **AMENDMENTS** to this application, and brief details of these are set out below. The Council's Planning Services Committee, in considering the proposal, welcomes comments upon these amendments. Members of the public may inspect copies of the amended plans, and any other submitted documents. Details are provided overleaf.

**Amended Proposal**

**Proposed double garage and study link at ground floor level and works associated with approvals under TP/98/0376 and TP/96/0971.**

**"Revised drawings received. Any further comments must be received within 14 days of the date of this letter".**

**Applicant**

**Kerr Parker Associates, The Barn, 134 High Street, Ponders End, Enfield, Middlesex  
EN3 4ET**

Anyone who wishes to submit comments on the amended application should write to the Council at the above address within **14 days** of the date of this letter.

Yours faithfully,

**M. J. FRENCH**

Executive Director, Planning and Conservation

**WHAT MATTERS CAN BE TAKEN INTO ACCOUNT**

When dealing with a planning application the Council has to consider the policies of the Borough Plan, known as the Unitary Development Plan, and any other material considerations. The most common of these include (not necessarily in order of importance):

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**PLEASE QUOTE THE APPLICATION REFERENCE NUMBER ON YOUR REPLY**



Roger Parker B.Sc. (Arch)  
Edward Mason Dip.Arch. R.I.B.A.

# KERR PARKER associates

## ARCHITECTS

The Barn, 134 High Street, Ponders End, Enfield EN3 4ET  
Tel: 020 8805 7400 Fax: 020 8804 0810  
e-mail: kpa@kerrparker.demon.co.uk

Vat.Reg.No: 656 8189 86

Our Ref: K9915/RP.gp.42  
Your Ref: DPS/DCSW/PP/99/02394&5

5<sup>th</sup> July 2000

29

Mr. J. Thorne.  
The Royal Borough of Kensington and Chelsea  
Planning and Conservation Department  
The Town Hall  
Hornton Street  
London W8 7NX

MP  
FOR  
BRIEF  
COMMENT  
- JP

Dear Mr. Thorne,

Re: 15 Sydney Street, London SW3.

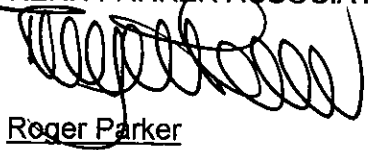
We refer to the planning and listed building consents in respect of the above issued by your Council on 17<sup>th</sup> April 2000.

Our clients have had some further thoughts on the proposed internal layout of the accommodation and would like to introduce an en-suite shower room at second floor level to Bedroom S1.

We enclose two copies of our drawing no: K-9915-5SK that shows the proposed amendment. No doubt you will remember that at this level there are no cornices. The existing skirting although of a later period would be left in-situ and matched to the new partitions. All wastes and plumbing runs will be concealed within the floor void. We are of the opinion that the alteration is not a material alteration. We would be pleased if you could treat this matter as a minor amendment to the original listed building consent.

We would be pleased to receive your confirmation that this minor amendment is acceptable.

Yours sincerely,  
KERR PARKER ASSOCIATES



Roger Parker

Enc.

RECEIVED BY PLANNING SERVICES							
EX Dir	DC	N	C	SV	SE	ENF	AO ACK
06 JUL 2000					40		
				FWD PLN	CON DES	FEE	

JT COPY OF PLANS  
TO INFORMATION  
OFFICE



RBKC  
District Plan Observations  
CONSERVATION AND DESIGN

Address	Appl. No.	L.B.	C.A.	N
15 Sydney Street, SW3	99/2394/JT.	II	18	C SW ✓
Description	Code			
New partition at second floor level.	J			

(30)

Principle - acceptable

Detail - will not adversely harm the character of the building at this level.

- this alteration can be treated as an amendment, as non-material.

- bring forward all conditions.

MP 10/8/05

**PLANNING AND CONSERVATION**

THE TOWN HALL HORNTON STREET LONDON W8 7NX

31

**THE ROYAL  
BOROUGH OF**



**KENSINGTON  
AND CHELSEA**

Executive Director M J FRENCH FRICS Dip TP MRTPI Cert TS

Roger Parker  
Kerr Parker Assoc.  
The Barn  
134 High Street  
Ponders End  
Enfield EN3 4ET

Switchboard: 020 7 937 5464  
Extension: 2467  
Direct Line: 020 7361 2467  
Facsimile: 020 7361 3463  
Email: plnjwd@rbkc.gov.uk

21 August 2000

My reference: DPS/DCSW/JT/    Your reference: K9915/RP.gp.42    Please ask for: John W Thorne  
PP/99/2394 &  
LB/99/2395

Dear Sir

**Town & Country Planning Act 1990**  
**15 Sydney Street SW3**

I refer to your letter dated 5<sup>th</sup> July 2000 accompanied by Plan No. K-9915-5 SK showing the introduction of a shower room at second floor level within the above building.

I confirm that the details shown are acceptable as a minor amendment to the planning permission and listed building consents granted under the above references on 17<sup>th</sup> April 2000.

I note however that the 1<sup>st</sup> floor plan marks the flat roof of the new garage and study 'Cover with teak decking to detail.' You will of course be aware of the provisions of condition 9 attached to the planning permission which proscribes use of this roof as a terrace.

I trust this is of assistance.

Yours faithfully

M J French  
Executive Director, Planning & Conservation

cc District Surveyor

Roger Parker B.Sc. (Arch)  
Edward Mason Dip.Arch. R.I.B.A.

**KERR PARKER associates**  
ARCHITECTS

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Plad

Vat.Reg.No: 656 8189 86

Our Ref: K9915/RP.gp.57  
Your Ref: PP/99/02394&LB/99/02395

8<sup>th</sup> February 2001

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The Royal Borough of Kensington and Chelsea  
Planning and Conservation Department  
The Town Hall  
Hornton Street  
London W8 7NX

RECEIVED BY PLANNING SERVICES							
EX DIR	HDC	N	G	SM	SE	ENF	AO ACK
63		9 FEB 2001			✓ AM 9/2		
APPEALS	IO	REC	ARB	FWD PLN	CON DES	FEES	

Dear Sirs,

Re: 15 Sydney Street, London SW3.

We refer to the listed building consent in respect of the above issued by your Council on 17<sup>th</sup> April 2000 under reference LB/99/02395.

We write to discharge Condition 3 of the consent (reproduced below) that required the submission of further drawings.

3. Detailed drawings or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the Local Planning Authority before the relevant part of the work is begun:

- (a) Proposed pattern and dimensions of the tiling for the entrance steps.
- (b) New fireplaces
- (c) New doors.
- (d) The new opening between front and rear rooms at first floor.

We enclose two copies of the following drawings and documents in respect of the conditions listed.

Condition 3(a) drawing no: K-9915-17.

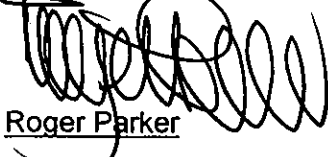
Condition 3(b) A4 colour copies of Roundel fireplace for first floor drawing rooms F1 & F2.

Condition 3(c) Drawing nos: K-9915-10, 11, 12 & 13.

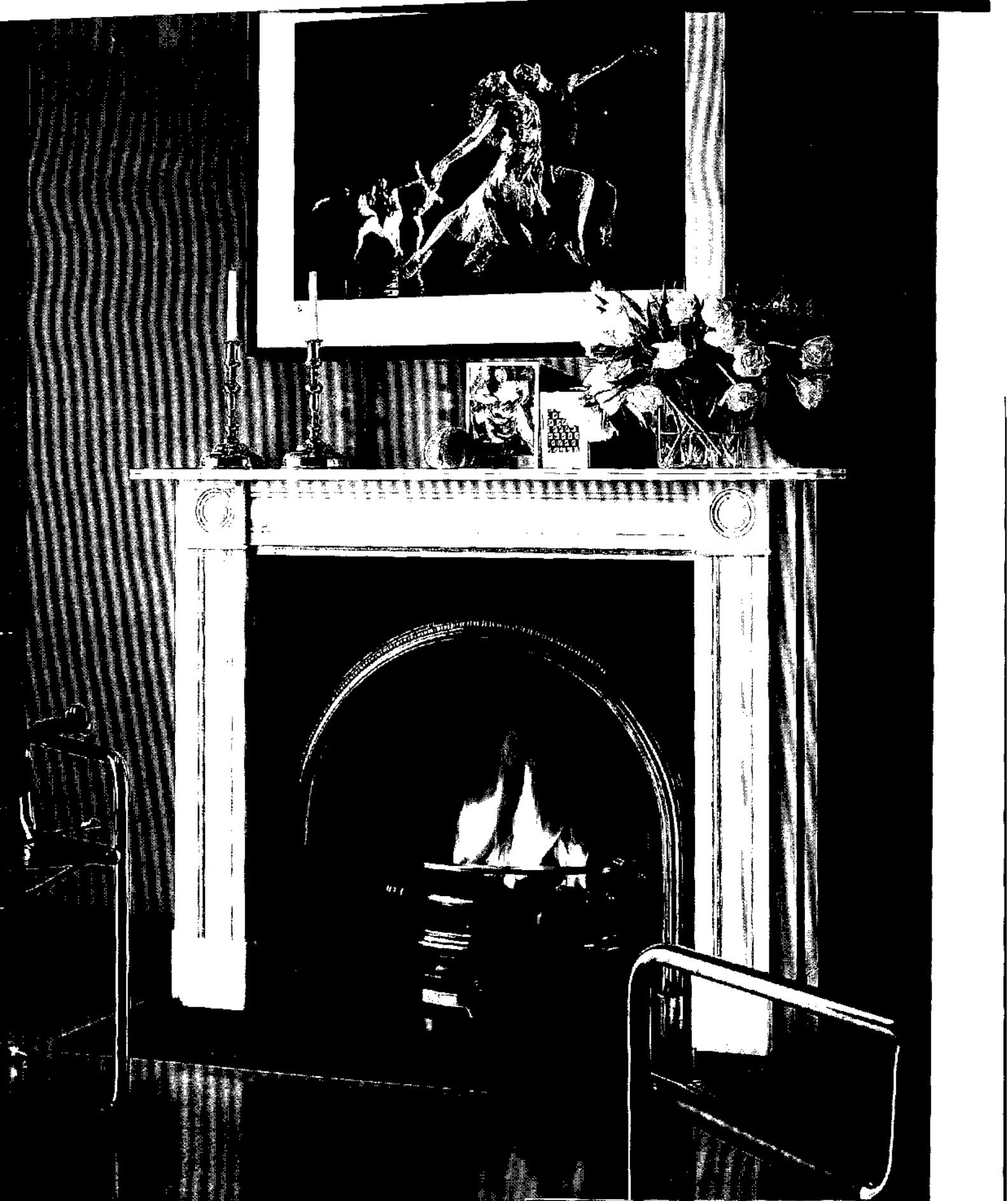
Condition 3(d) Drawing no: K-9915-18.

We trust that the enclosures will enable your Council to formally discharge the reserved matters.

Yours sincerely,  
KERR PARKER ASSOCIATES

  
Roger Parker

Enc.



**Kerr Parker Associates  
Architects**

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Ponders End, Enfield EN3 4ET  
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15 Sydney Street, London SW3 - Fireplaces proposed for  
First Floor Drawing Rooms F1 & F2 Sheet 1

15 SYDNEY ST. SW3

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R.B.K. & C.  
TOWN PLANNING  
23 NOV 1999  
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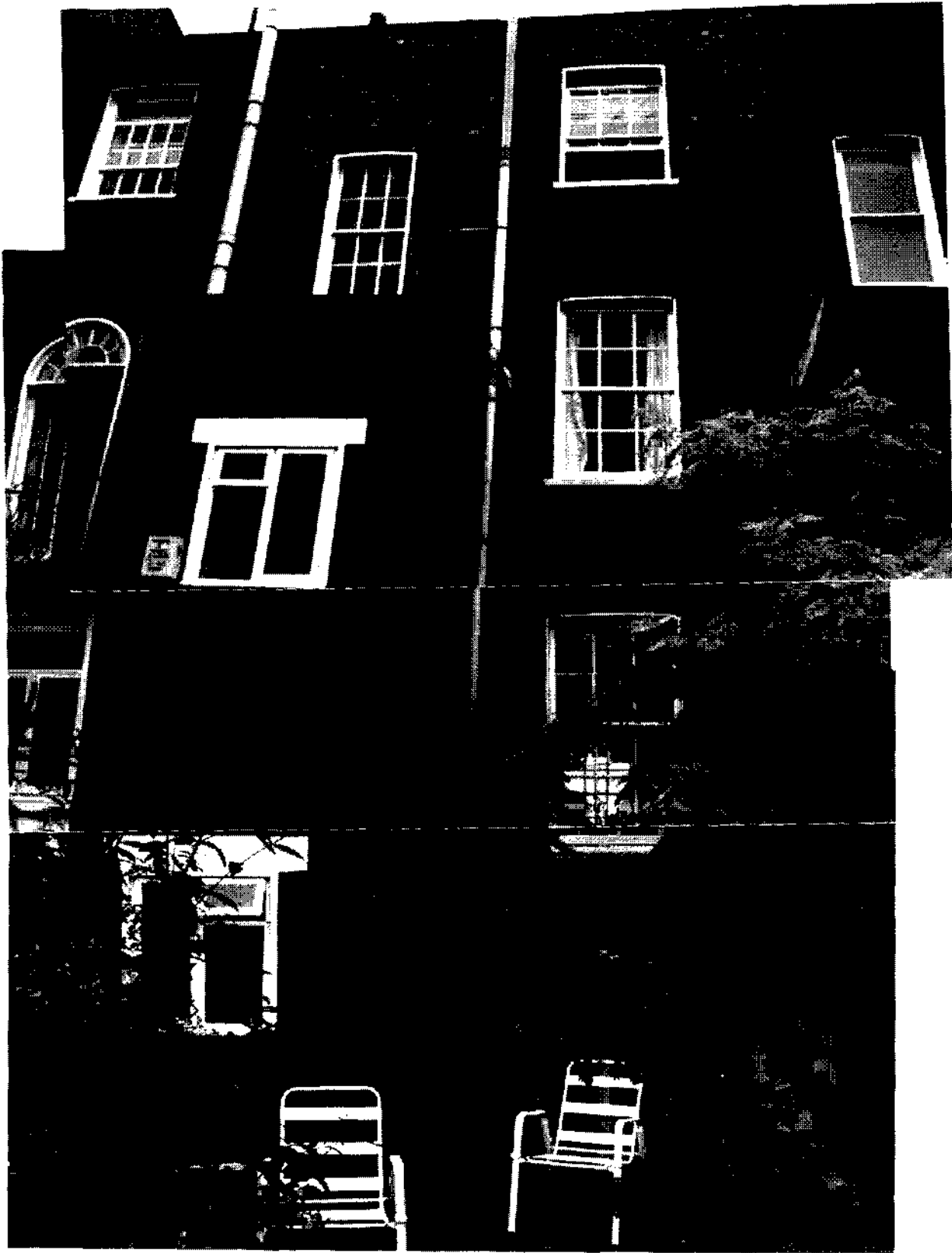
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REAR  
ELEVATION.

15 SYDNEY STREET, SW3

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EXISTING REAR ELEVATION