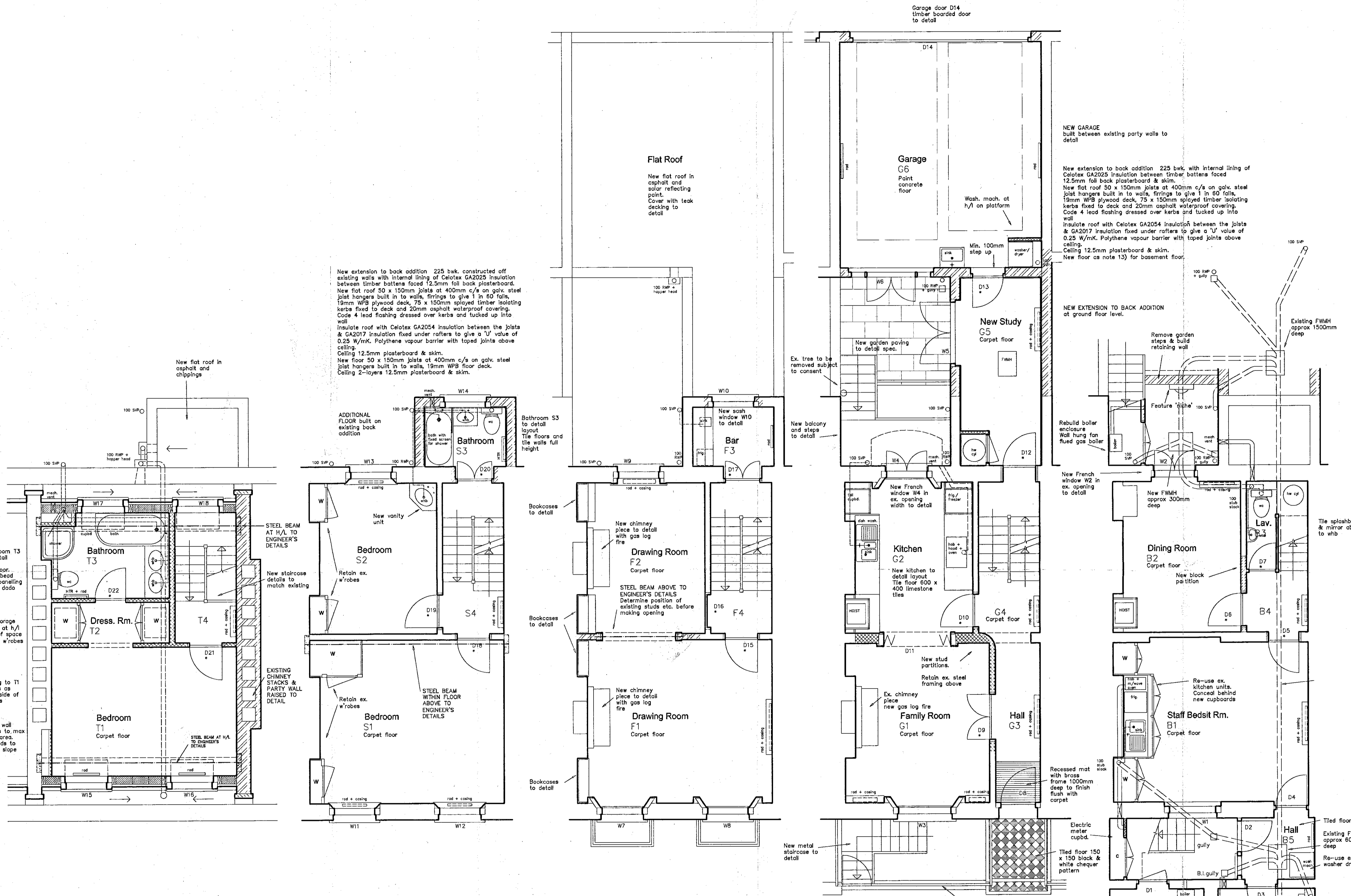


- This drawing is General Arrangement drawing only. See detail drawings and specification, and Engineer's drawings for other working details.
- All new joinery such as doors, architraves, skirtings, windows, shutters, staircases etc. is to be to correct historic detail as Architect's drawings and schedules.
- All new plasterwork such as cornices, beam casings, pilasters etc. is to be to correct historic details as Architect's drawings and schedules.
- Existing chimney pieces are to be retained and protected during the course of the works.
- All doors to the staircase enclosure are to be made half hour fire resisting and self closing. Doors marked * are to be 1/2hr FRSC.
- All mechanical and electrical services are to be retained to detail specification. Basement services to be independent of other floors.
- Service routes are to be agreed on site to take account of existing building fabric.
- New drainage above ground to be in black upvc plastic 'OSMA' or similar approved manufacturer. Installed in accordance with BS 5572. Renew existing SVP and new SVP 100mm dia. Waste pipes to be 32mm dia. to wash basins, 40mm dia. to sinks, baths & shower. All wastes to have 75mm deep seal traps.
- Renew existing RWP and adopt for new hopper head to extension and new RWP from mansard roof. RWP to be 100mm dia. Run new internal RWP horizontally in floor in cast iron 'TIMESAVER 437' system 100mm dia.
- New drainage below ground to be 'OSMA' upvc plastic 100mm dia. laid to falls 1 in 40 on 100mm peg shingle bed and surround up to underside of slab or paving. Where drains pass through walls provide RC lintel in wall over drain. Renew existing drain run under building.
- New manholes 100mm concrete slab base with 225mm semi-eng. brick walls. SG channels, concrete benching to suit, 100mm RC slab top with double seal bolted covers.
- Ventilation to new bedroom with traditional sash windows, operable area in excess of 1/20th floor area and fitted with controllable trickle vents at 8000mm area. Provide mechanical ventilation to new bedrooms and lav. with extract fan min. 15 litres/sec. wired to give 15min. overrun and min. 30 litres/sec. to kitchen hob.
- Renew floor slab throughout basement with 150mm concrete slab reinforced with A142 mesh in top, laid on 40mm JABUTE SD/N insulation on BITUTHENE damp proof membrane on 50mm concrete blinding and hardcore. Finish with 75mm floor screed and finish to detail spec.
- New stud partitions 50 x 100mm s/w studs at max. 450mm c/s covered both sides with 12.5mm plasterboard & skim. Partitions to staircase enclosure to have 2-layers 12.5mm plasterboard & skim to give 1hr fire resistance. Curved wall at ground fl. to have studs covered with expanded metal lath and finished with 20mm plaster in 3 coats.
- New ceilings to be 2-layers 12.5mm plasterboard & skim to give min. 1hr fire resistance.
- New foundations to be 600 wide x min. 1000mm deep to the satisfaction of Local Authority.
- New stairs to match existing. To have min. 225mm goings with max. 200mm risers, min. 200mm clear headroom above nosing line. Handrail balustrade min. 900mm high with balusters set max. 100mm apart.



3rd FLOOR PLAN
 ADDITIONAL FLOOR BUILT AT THIS LEVEL

New mansard roof in natural Welsh blue slates to match existing on treated s/w battens 19 x 38mm, on Wilton 'Corovin Protect' underlating felt, on 50 x 200mm rafters at 400mm c/s, with Celotex GA2054 insulation between the rafters & GA2017 insulation fixed under rafters to give a 'U' value of 0.25 W/mK.

Ceiling 12.5mm plasterboard & skim to 3rd floor only.

New floor 50 x 225mm joists at 400mm c/s and 22mm T & G board flooring.

Ceiling 2-layers 12.5mm plasterboard & skim to 2nd floor.

Timber structural sizes, metal strapping and supporting beams to be to engineer's details.

2nd FLOOR PLAN

STAIRCASE ENCLOSURE TO DETAIL

STAIRCASE ENCLOSURE TO DETAIL

STAIRCASE ENCLOSURE TO DETAIL

STAIRCASE ENCLOSURE TO DETAIL

1st FLOOR PLAN

STAIRCASE ENCLOSURE TO DETAIL

STAIRCASE ENCLOSURE TO DETAIL

STAIRCASE ENCLOSURE TO DETAIL

Ground FLOOR PLAN

STAIRCASE ENCLOSURE TO DETAIL

STAIRCASE ENCLOSURE TO DETAIL

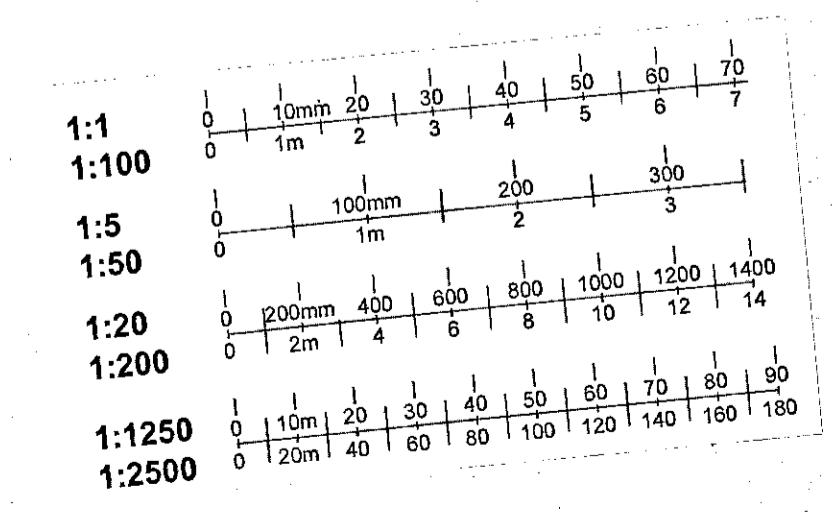
STAIRCASE ENCLOSURE TO DETAIL

Basement PLAN

New floor slab to detail spec.

Existing walls injected with chemical injection DPC.

Existing wall plaster removed and replaced with waterproof agents to detail spec.



REV.

A. 8/12/99
 Minor revisions. Ex. w/robes retained. Structural work updated. Rear steps omitted. Bookcases added. Wash. mach. & hw cyl. moved to garage.

B. 20/12/99
 New black partition shown by D6. Cupbds shown at B1 units. Floor finishes shown. Hw cyl moved to study. Platform added for wash. mach.

C. 24/02/00
 Revisions for planning. Garage glazing omitted, garage door revised. French windows changed to sash type at 1st fl., opening between 1st fl. rooms reduced.

DELEGATED APPROVAL
 17 APR 2000

R.B.K.&C.
 TOWN PLANNING
 25 FEB 2000
 RECEIVED

PP/2394/A

KERR PARKER associates
 ARCHITECTS

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CONTRACT
 15 SYDNEY STREET
 LONDON SW3

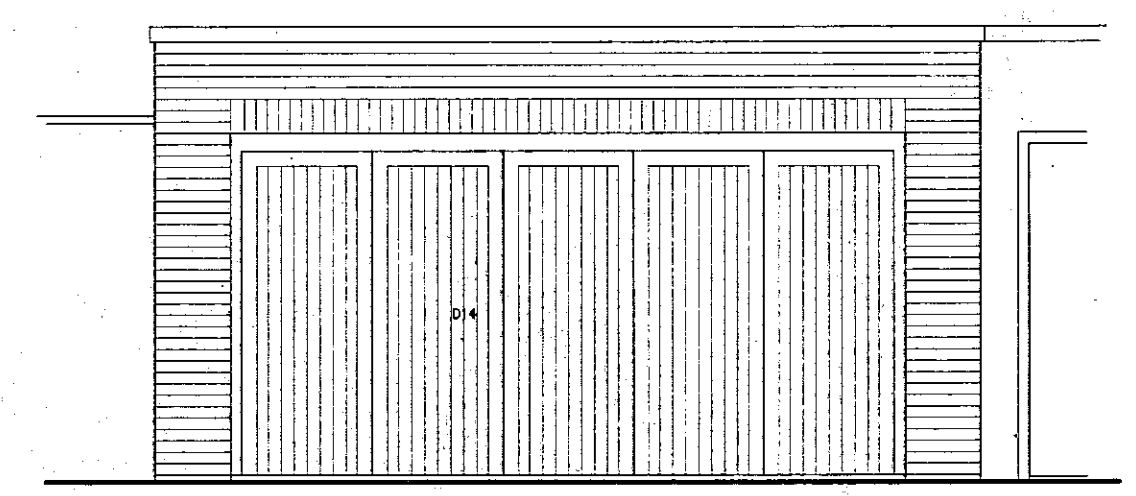
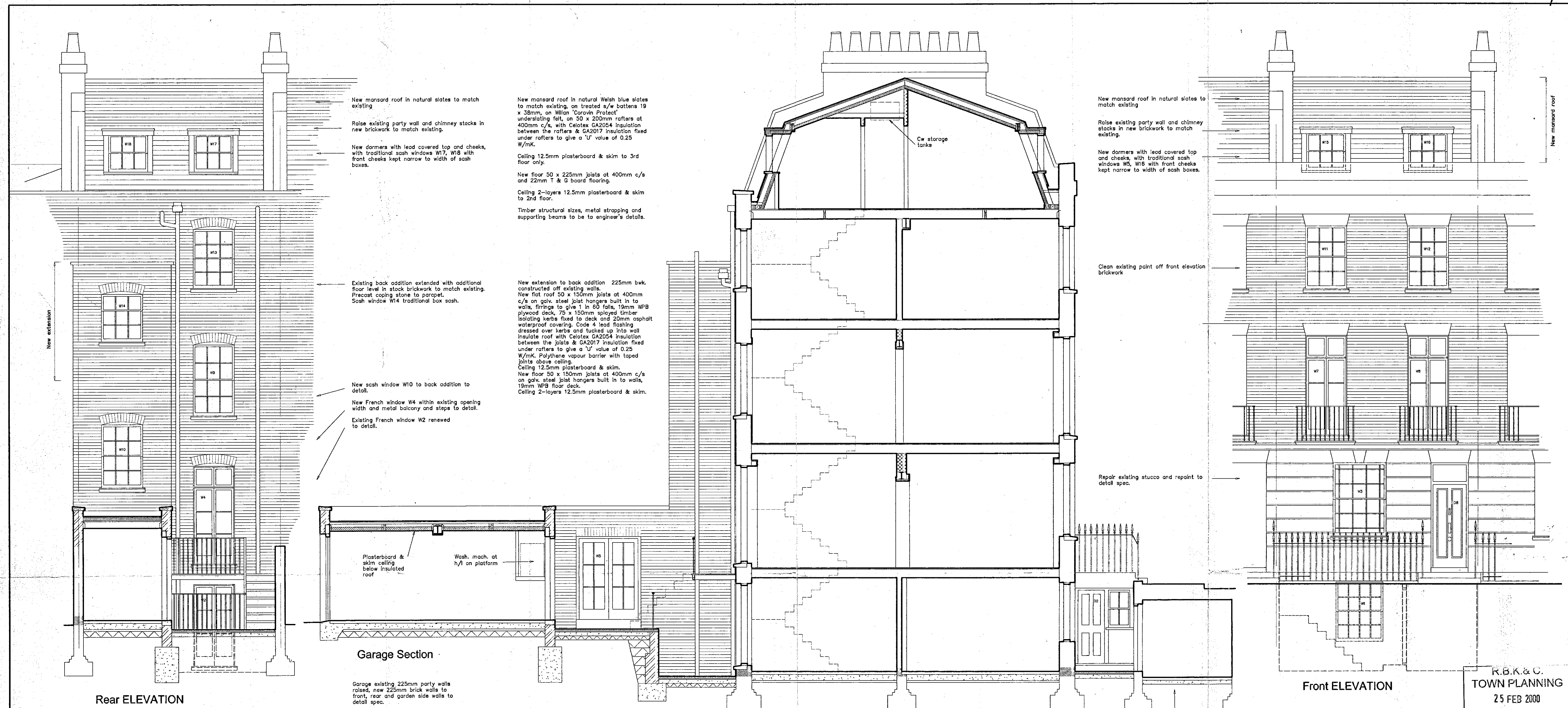
DRAWING
 FLOOR PLANS
 AS PROPOSED

SCALE 1:50 DATE 20/10/99

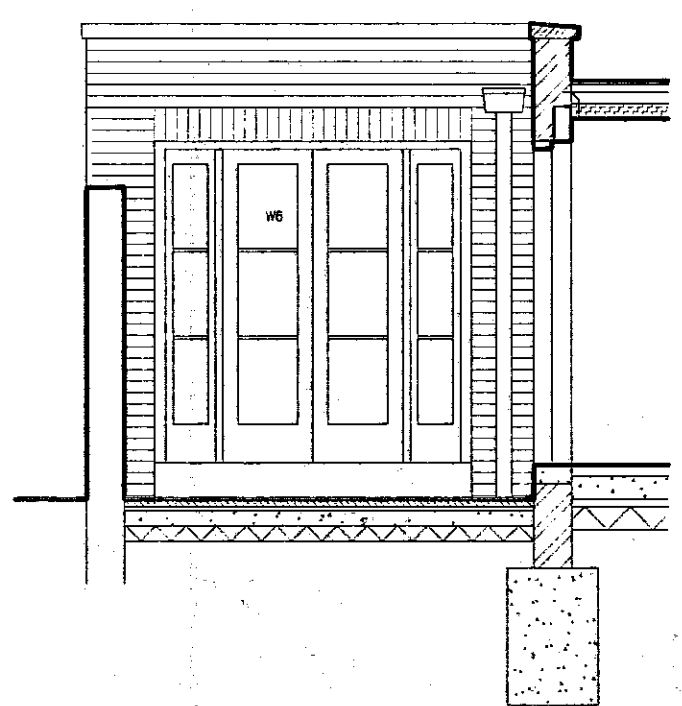
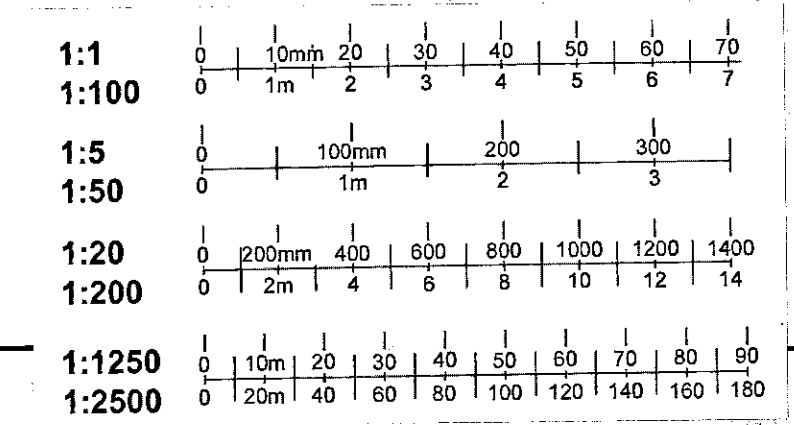
DRAWN EJM CHECKED

DRAWING NO. REV.
K-9915-5 C

REVISED



Garage ELEVATION



Courtyard ELEVATION

SECTION

New floor slab to detail spec.
Existing walls injected with chemical injection GPC.
Existing wall plaster removed and replastered with waterproof agents to detail spec.

New floor slab to vaults to detail spec.
Existing vault wall plastered with 'Sika' render to detail spec.

- This drawing is General Arrangement drawing only. See detail drawings and specification, and Engineer's drawings for other working details.
- All new joinery such as doors, architraves, skirtings, windows, shutters, staircases etc. is to be to correct historic detail as Architect's drawings and schedules.
- All new plasterwork such as cornices, beam ceilings, plasters etc. is to be to correct historic details as Architect's drawings and schedules.
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- All doors to the staircase enclosure are to be made half hour fire resisting and self closing. Doors marked * are to be 1/2hr FRSC.
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- Service routes are to be agreed on site to take account of existing building fabric.
- New drainage above ground to be in black upvc plastic 'OSMA' or similar approved manufacturer installed in accordance with BS.572. Renew existing SVP and new SVP 100mm dia. Waste pipes to be 32mm dia. to wash basin, 40mm dia. to sink, baths & shower. All wastes to have 75mm deep seal traps.
- Renew existing RWP and adapt for new hopper head to extension and new RWP from mansard roof. RWP to be 100mm dia. Run new internal RWP horizontally in floor in cast iron 'TIMESAVER 437' system 100mm dia.
- New drainage below ground to be 'OSMA' upvc plastic 100mm dia. laid to falls 1 in 40 on 100mm pea shingle bed and surround up to underside of slab or paving. Where drains pass through walls provide RC lintel in wall over drain. Renew existing drain run under building.
- New manholes 100mm concrete slab base with 225mm semi-ang. b/wk walls. 50 channels concrete benching to suit, 100mm RC slab top with double seal bolted covers.
- Ventilation to new bedroom with traditional sash windows, openable area in excess of 1/20th floor area and fitted with controllable trickle vents at 8000sqmm area. Provide mechanical ventilation to new bathrooms and lav. with extract fan min. 15 litres/sec. wired to give 15min. overrun and min. 30 litres/sec. to kitchen hob.
- Renew floor slab throughout basement with 150mm concrete slab reinforced with A142 mesh in top, laid on 40mm VAPURITE SD/N insulation on 'BITUHENE' damp proof membrane on 50mm concrete blinding and hardcore. Finish with 75mm floor screed and finish to detail spec.
- New stud partitions 50 x 100mm s/v studs at max. 450mm c/s covered both sides with 12.5mm plasterboard & skim. Partitions to staircase enclosure to have 2-layers 12.5mm plasterboard & skim to give the fire resistance. Curved wall at Ground FL to have studs covered with expanded metal lath and finished with 20mm plaster in 3 coats.
- New ceilings to be 2-layers 12.5mm plasterboard & skim to give min. the fire resistance.
- New foundations to be 800 wide x min. 1000mm deep to the satisfaction of Local Authority.
- New stairs to match existing. To have min. 225mm goings with max. 200mm risers, min. 2000mm clear headroom above nosing line. Handrail balustrade min. 900mm high with balusters set max. 100mm apart.

REVISED

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TOWN PLANNING
25 FEB 2000
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REV.

A. 8/12/99
Minor revisions

B. 20/12/99
Minor revisions

C. 24/02/00
Revisions to rear elevation for planning

DELEGATE APPROVAL
17 APR 2000

PP/2394/A

KERR PARKER associates
ARCHITECTS

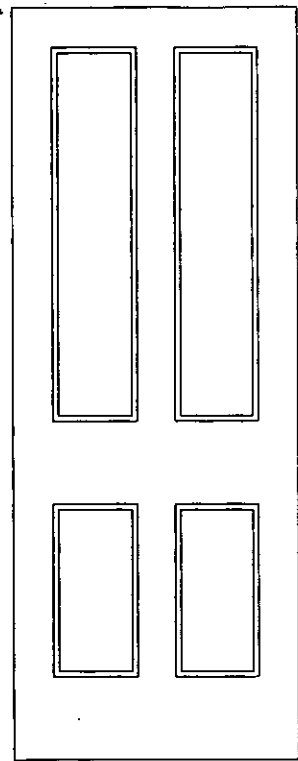
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CONTRACT
15 SYDNEY STREET
LONDON SW3

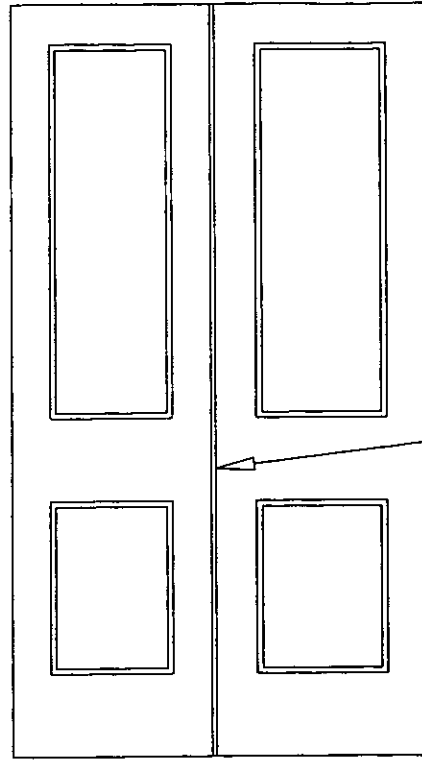
DRAWING
ELEVATIONS & SECTION
AS PROPOSED

SCALE 1:50 DATE 10/11/99
DRAWN EJM CHECKED

DRAWING NO. **K-9915-6** REV. **C**



4-panel
DOORS



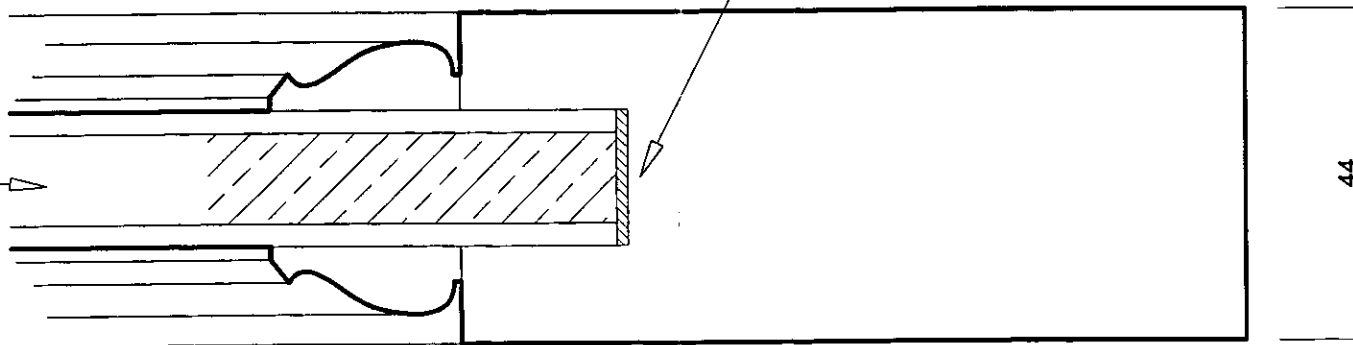
Pair 2-panel
DOORS

Rebated meeting stiles
with bead & quirk

Panel moulds to match existing

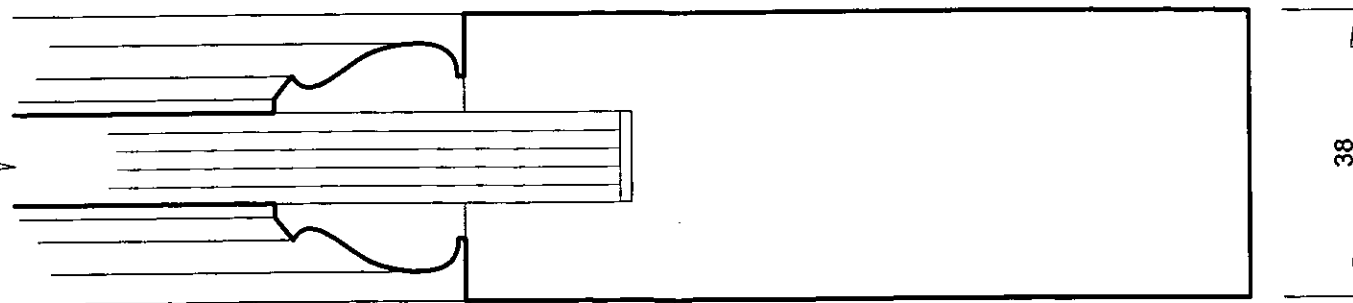
Intumescent
mastic seal

Door panels
12mm Superlux
faced both sides with
3mm m.d.f.



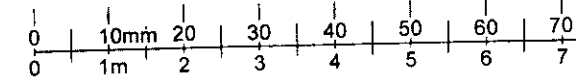
AF type Half Hour FIRE DOORS

Door panels
12mm WPB
plywood

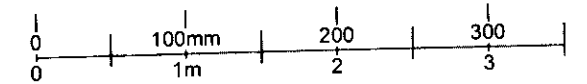


A type Non-fire DOORS

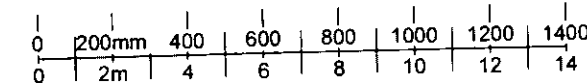
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1:100



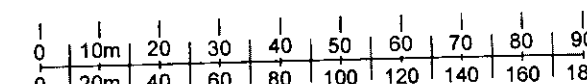
1:5
1:50



1:20
1:200



1:1250
1:2500



3

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LONDON SW3

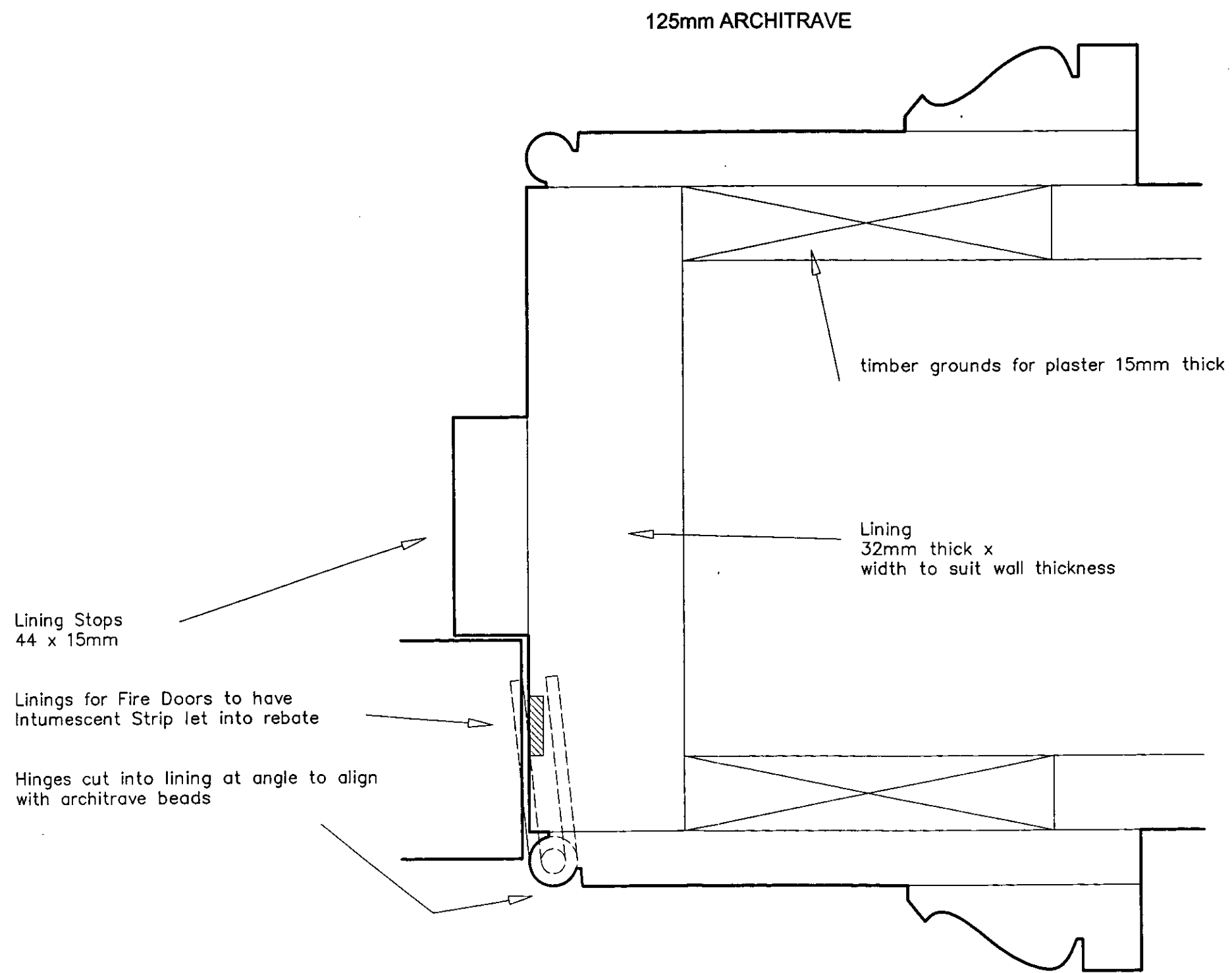
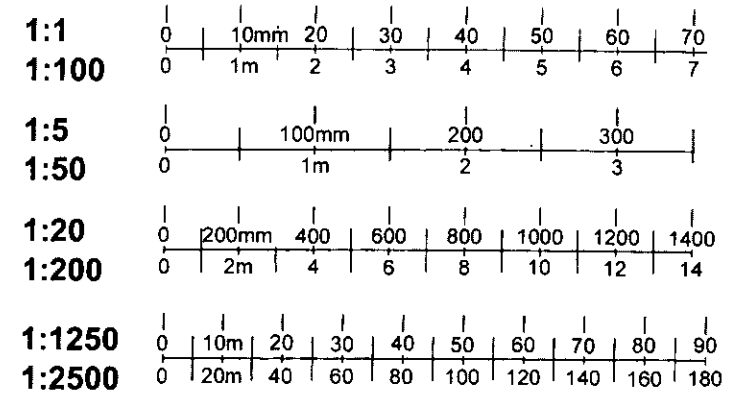
DRAWING
DOOR DETAILS
Typical for Ground, 1st & 2nd Floors

SCALE 1:20, Full Size (at A3) DATE 30/11/99

DRAWN EM CHECKED

DRAWING NO.

K-9915-10



TYPICAL LINING DETAIL

Note: All mouldings are to match existing

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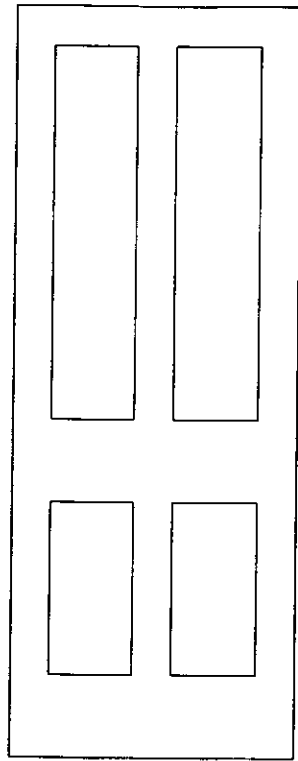
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CONTRACT
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LONDON SW3

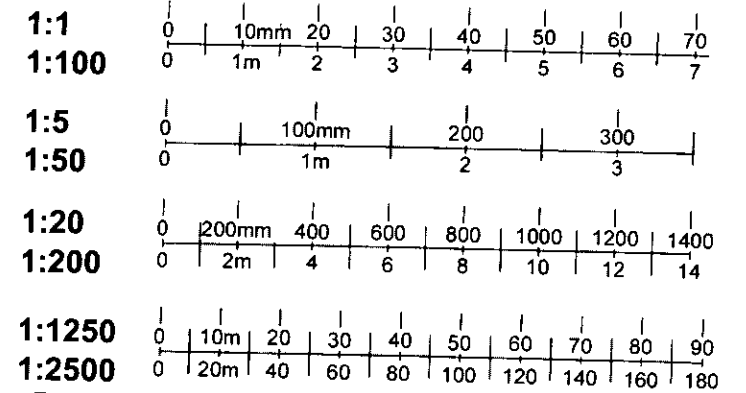
DRAWING
DOOR FRAME & ARCHITRAVE DETAILS
Typical for Ground, 1st & 2nd Floors

SCALE	Full Size (at A3)	DATE	30/11/99
DRAWN	EM	CHECKED	

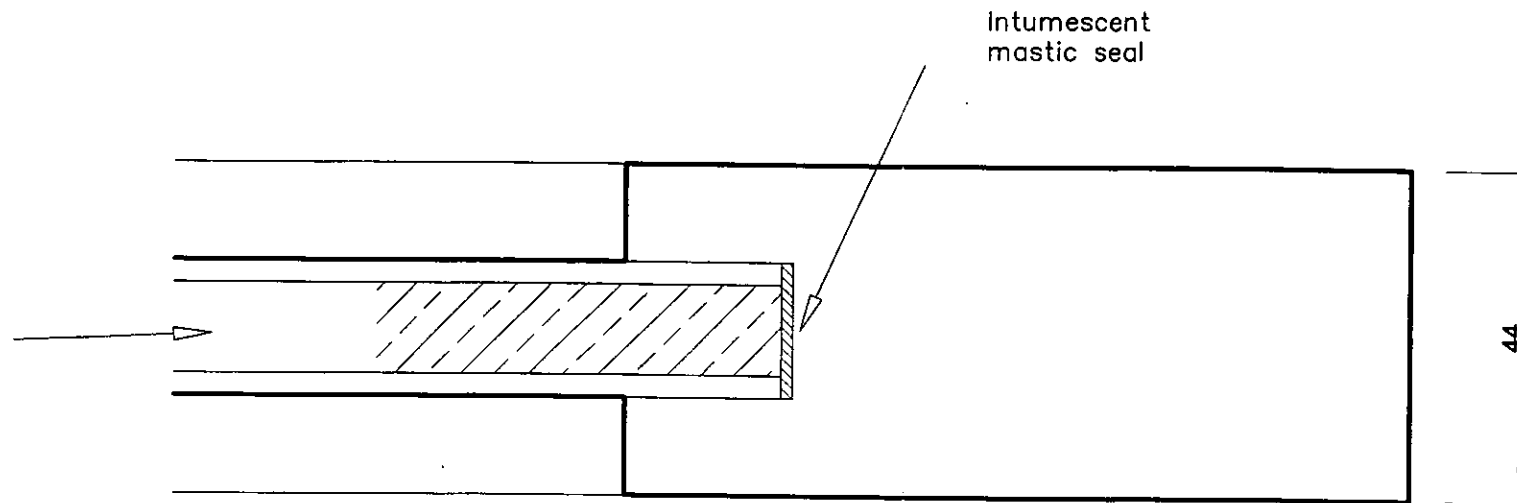
DRAWING NO. **K-9915-11**



4-panel
DOORS

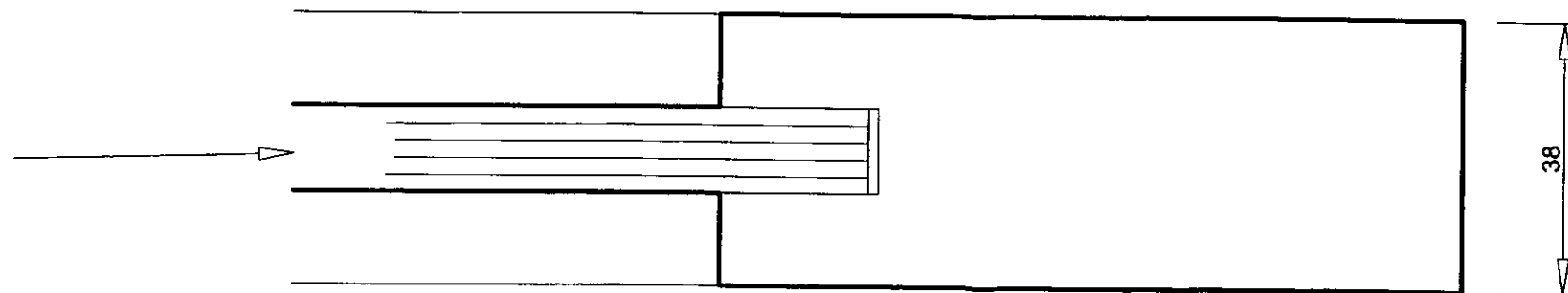


Door panels
12mm Superlux
faced both sides with
3mm m.d.f.



AFP type Half Hour FIRE DOORS

Door panels
12mm WPB
plywood



AP type Non-fire DOORS

5

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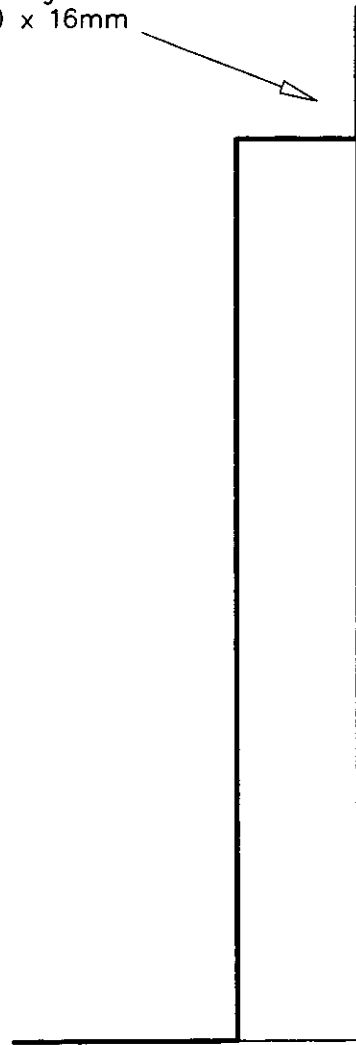
CONTRACT
15 SYDNEY STREET
LONDON SW3

DRAWING
DOOR DETAILS
Typical for Basement Level

SCALE 1:20, Full Size (at A3) DATE 30/11/99
DRAWN EM CHECKED

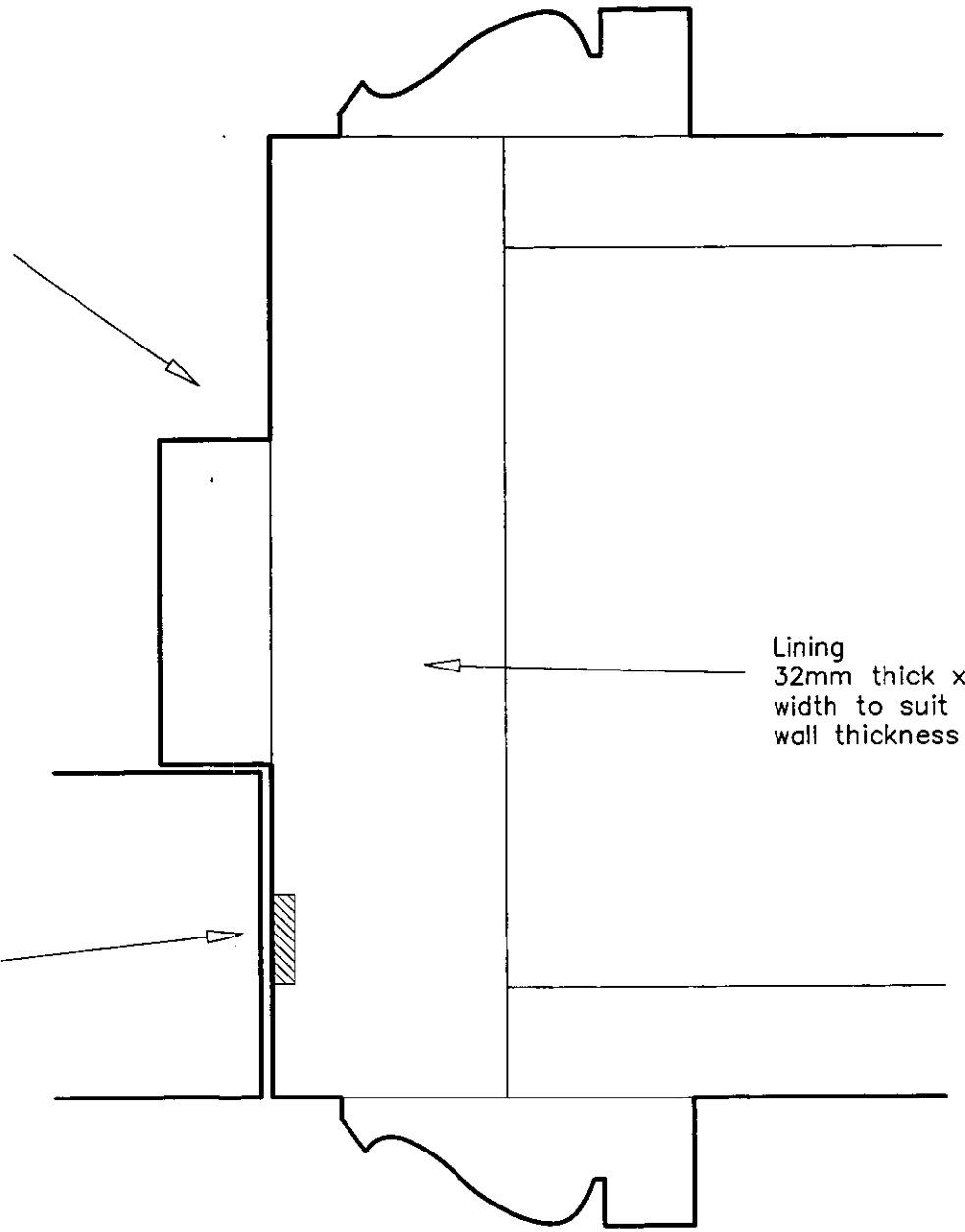
DRAWING NO. **K-9915-12**

Skirting
120 x 16mm



TYPICAL PLAIN SKIRTING
DETAIL

Lining Stops
44 x 15mm



50mm ARCHITRAVE

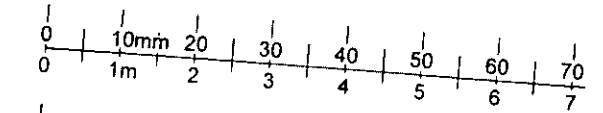
Lining
32mm thick x
width to suit
wall thickness

Linings for Fire Doors to have
Intumescent Strip let into rebate

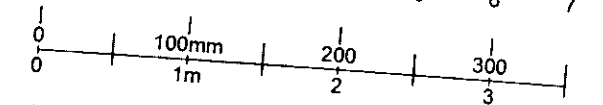
TYPICAL LINING DETAILS

Note: All mouldings are to match existing

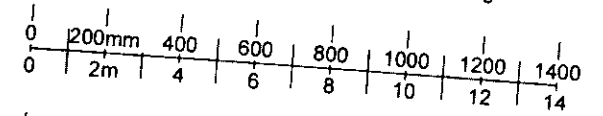
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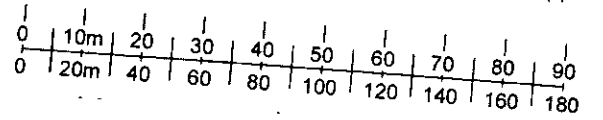
1:5
1:50



1:20
1:200



1:1250
1:2500



6

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15 SYDNEY STREET
LONDON SW3

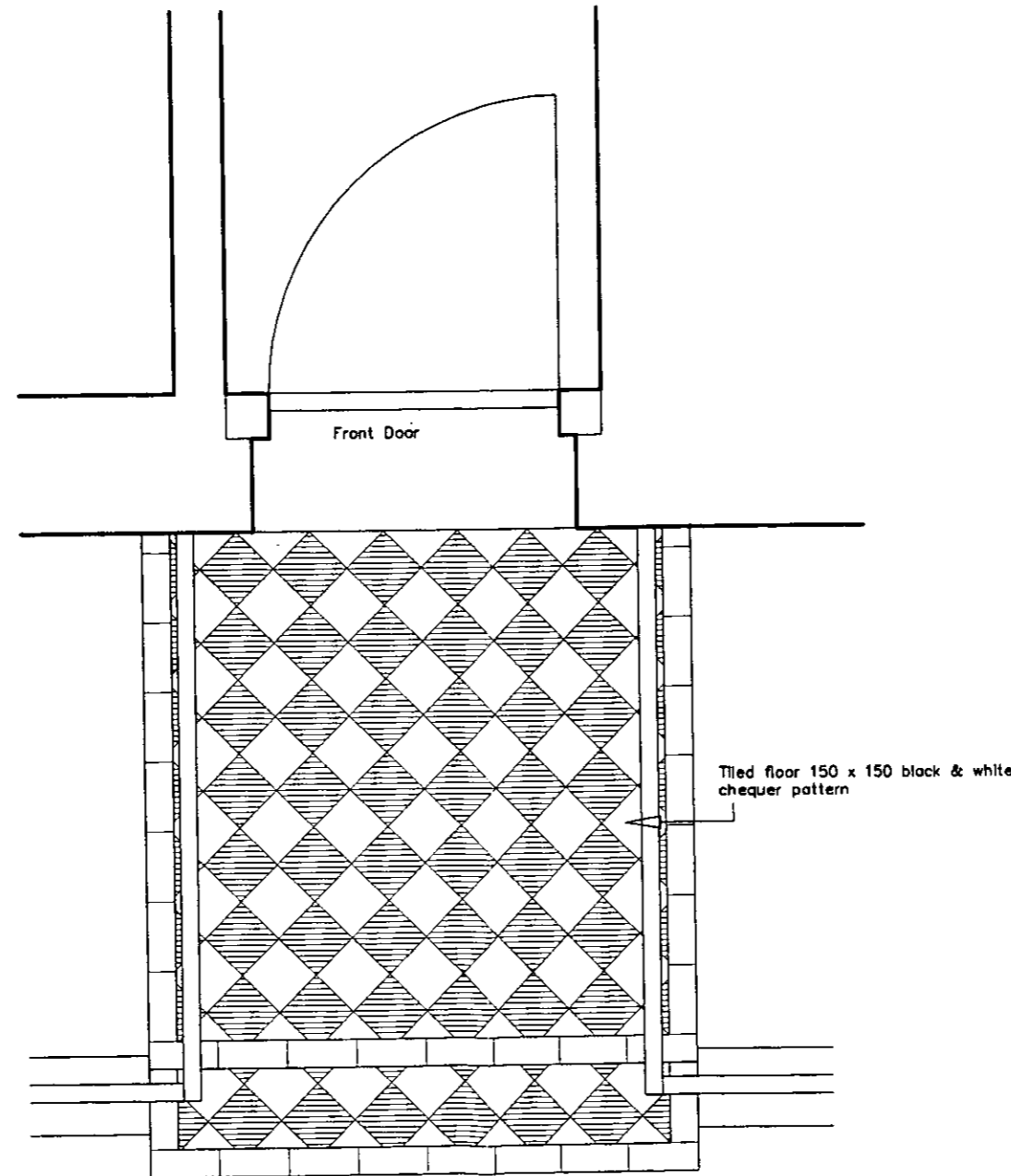
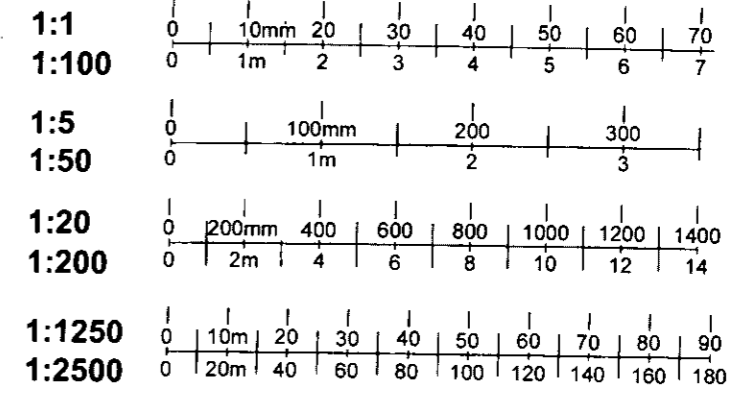
DRAWING
SKIRTING, DOOR FRAME &
ARCHITRAVE DETAILS
Typical for Basement Level

SCALE Full Size (at A3) DATE 30/11/99

DRAWN EM CHECKED

DRAWING NO.

K-9915-13



PLAN

7

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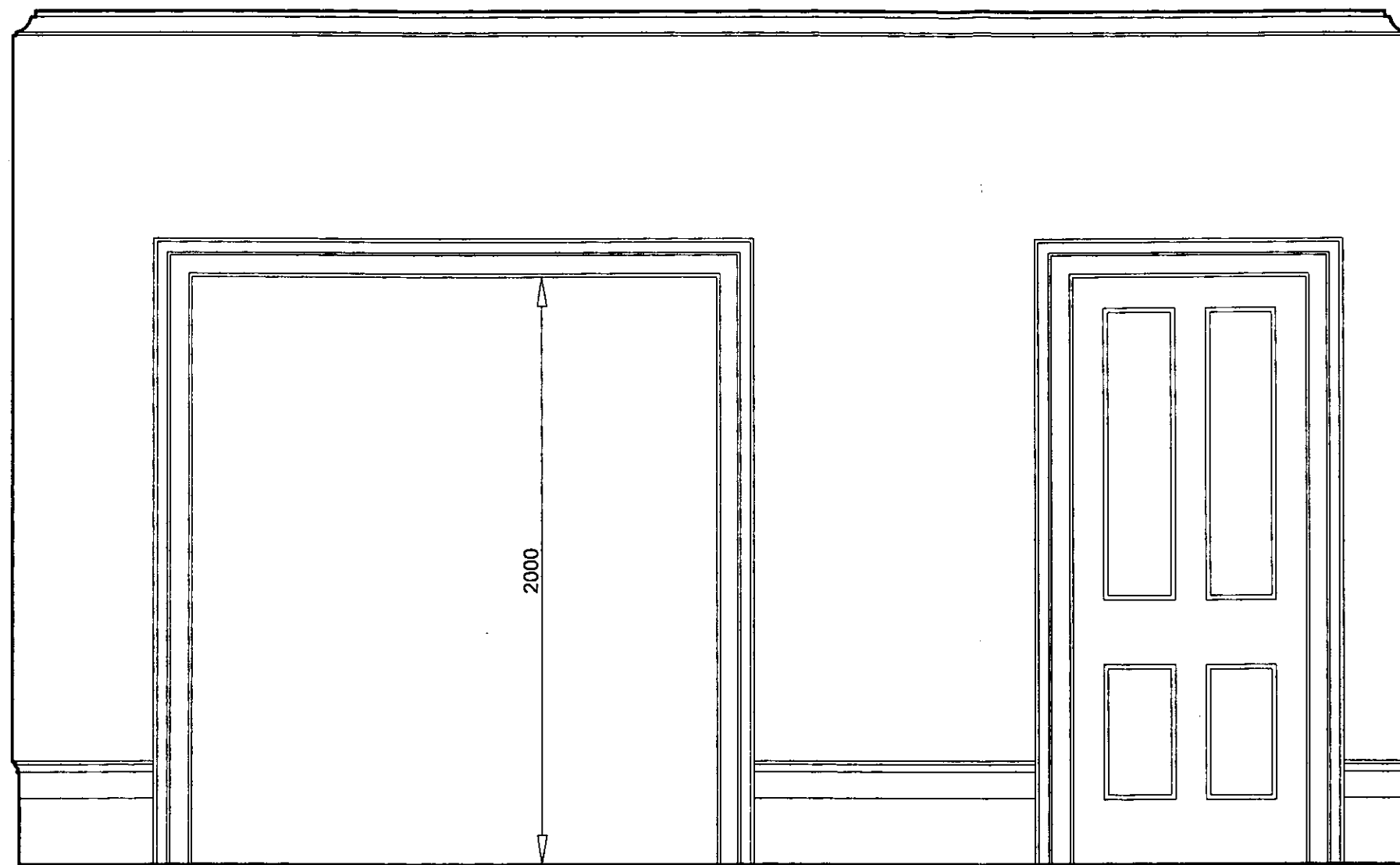
THE BARN, 134 HIGH STREET, PONDER'S END, ENFIELD EN3 4ET
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CONTRACT
15 SYDNEY STREET
LONDON SW3

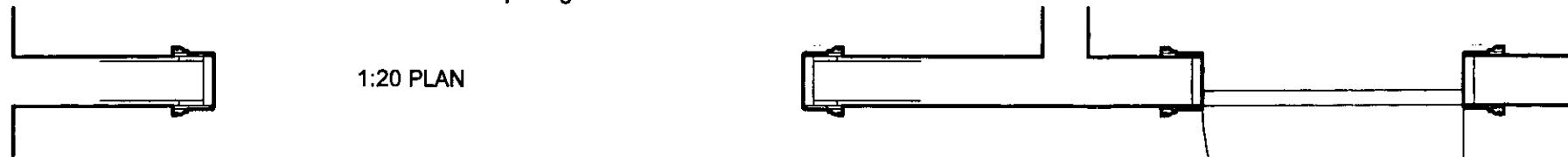
DRAWING
DETAILS OF TILING TO FRONT STEP

SCALE	1:20 (at A3)	DATE	08/02/01
DRAWN	EM	CHECKED	

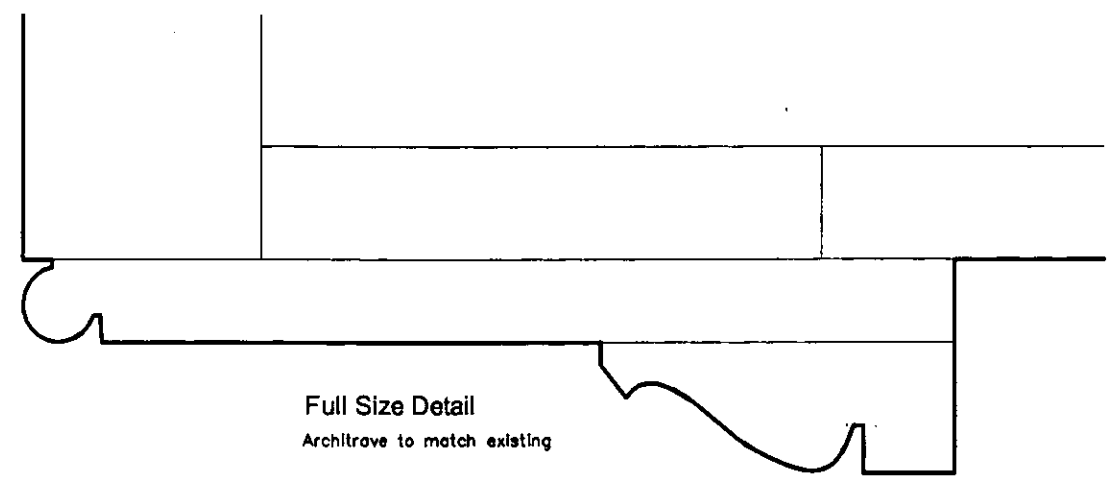
DRAWING NO.
K-9915-17



1650
ELEVATION opening F1 to F2



1:20 PLAN



Full Size Detail
Architrave to match existing

- 1:1 0 10mm 20 30 40 50 60 70
- 1:100 0 1m 2 3 4 5 6 7
- 1:5 0 100mm 200 300
- 1:50 0 1m 2 3
- 1:20 0 200mm 400 600 800 1000 1200 1400
- 1:200 0 2m 4 6 8 10 12 14
- 1:1250 0 10m 20 30 40 50 60 70 80 90
- 1:2500 0 20m 40 60 80 100 120 140 160 180

8

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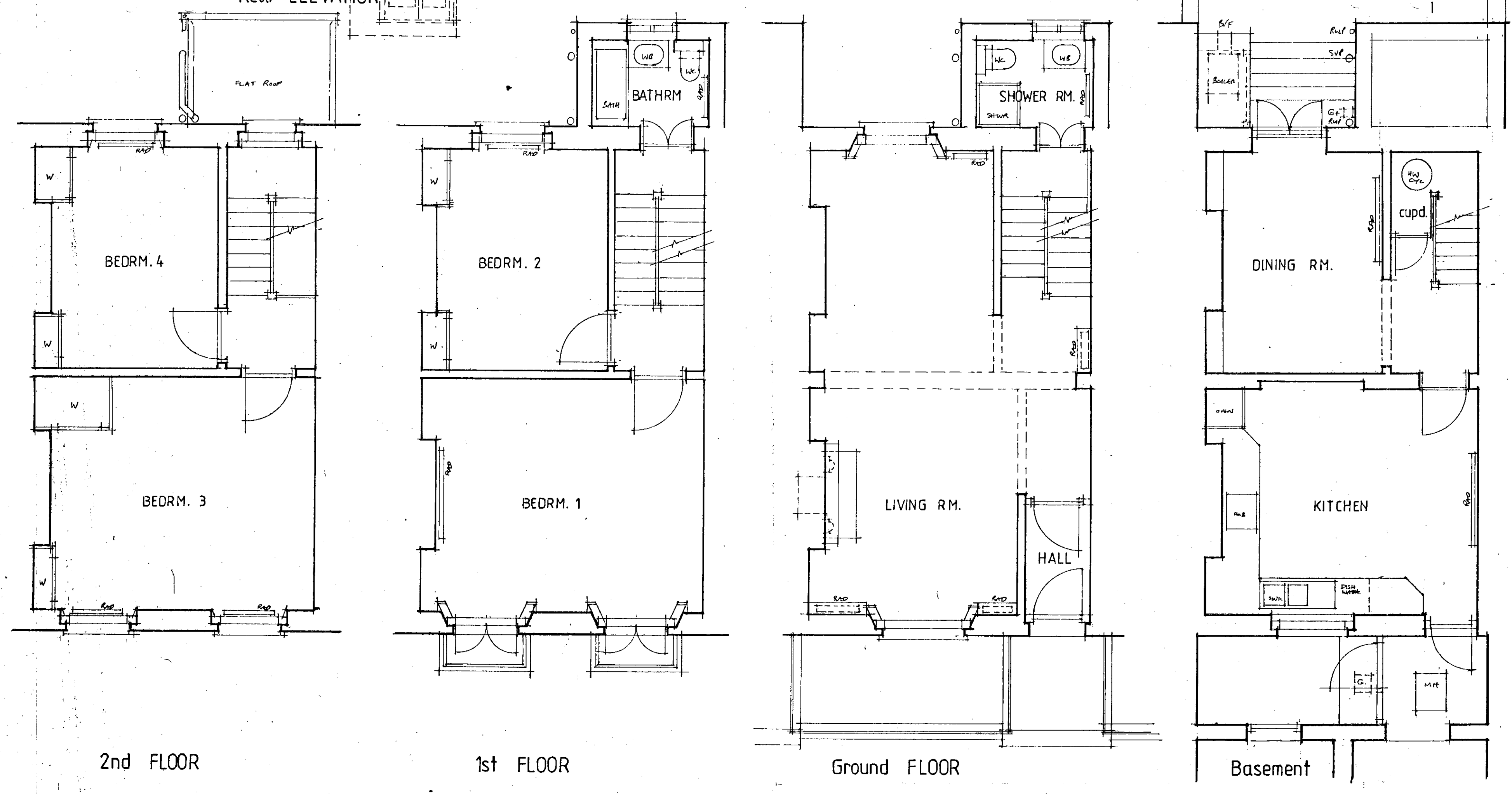
CONTRACT
15 SYDNEY STREET
LONDON SW3

DRAWING
DETAILS OF OPENING FIRST FLOOR

SCALE 1:20 (at A3) DATE 08/02/01

DRAWN EM CHECKED

DRAWING NO. **K-9915-18**



REV

1:1	0 10mm 20 30 40 50 60 70
1:100	0 1m 2 3 4 5 6 7
1:5	0 100mm 200 300
1:50	0 1m 2 3
1:20	0 200mm 400 600 800 1000 1200 1400
1:200	0 2m 4 6 8 10 12 14
1:1250	0 10m 20 30 40 50 60 70 80 90
1:2500	0 20m 40 60 80 100 120 140 160 180

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23 NOV 1999
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**Kerr Parker Associates
Architects**
134 High Street, Ponders End, Enfield EN3 4ET
Tel: 01 - 805 7400 Fax: 01 - 804 0810

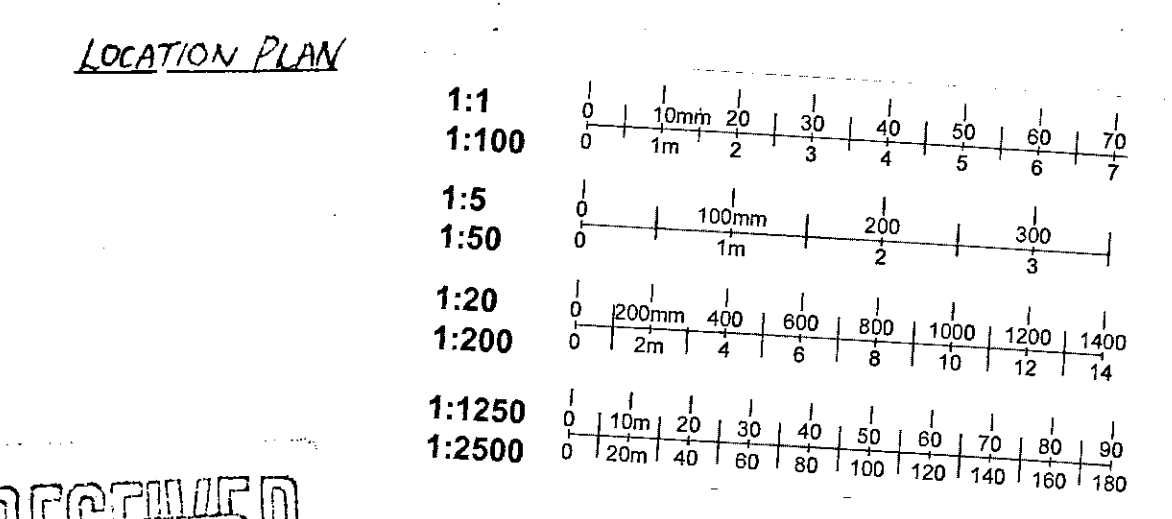
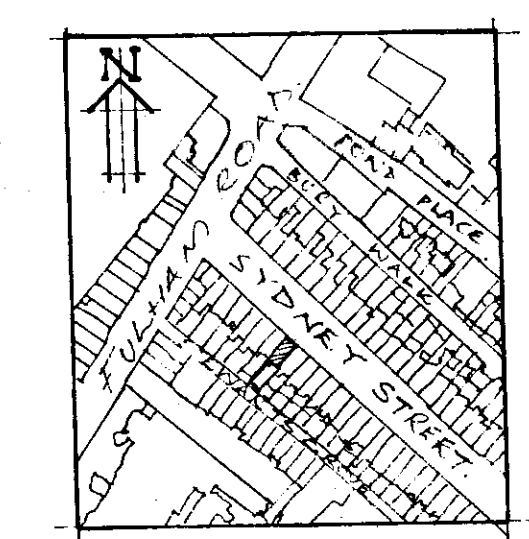
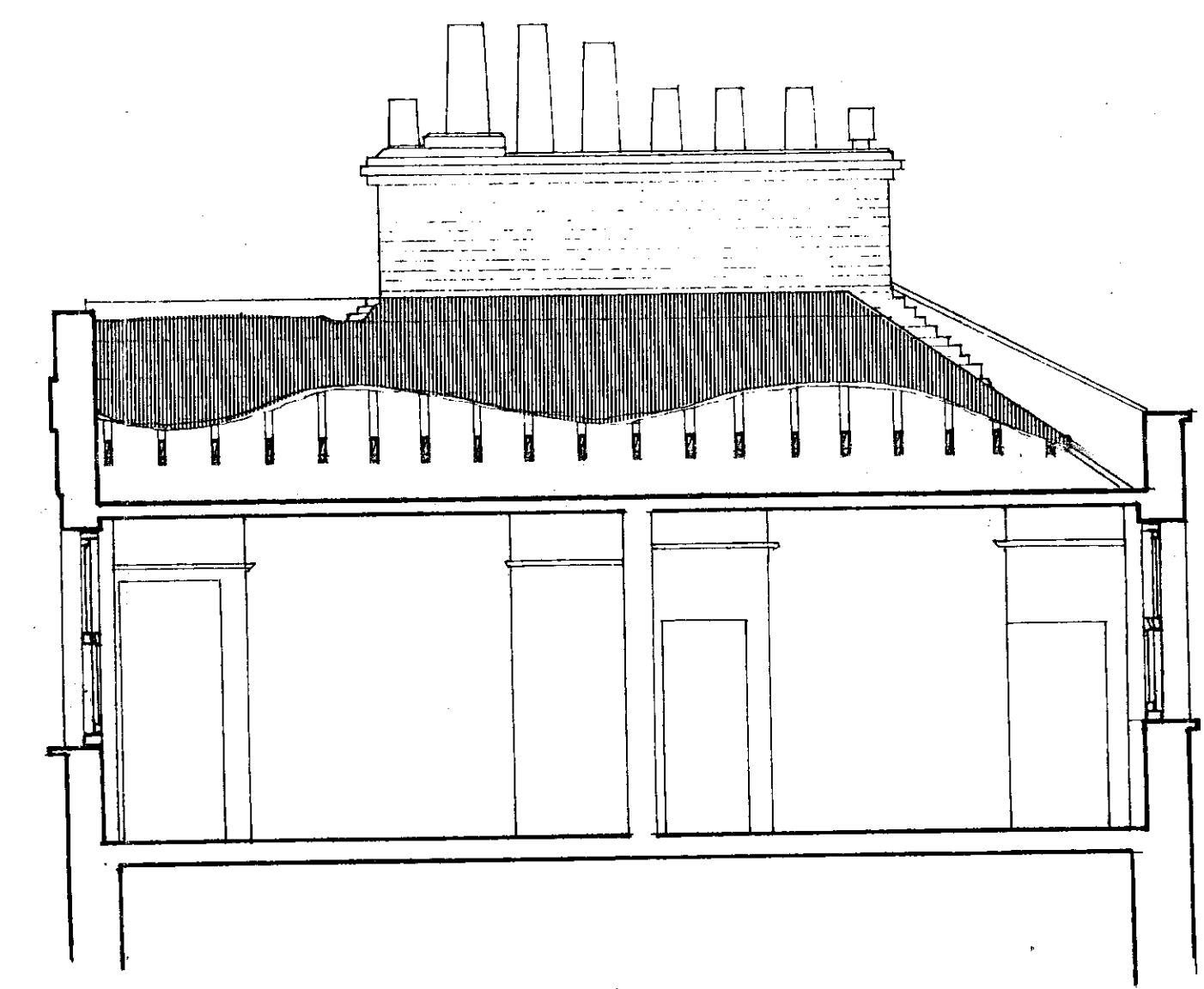
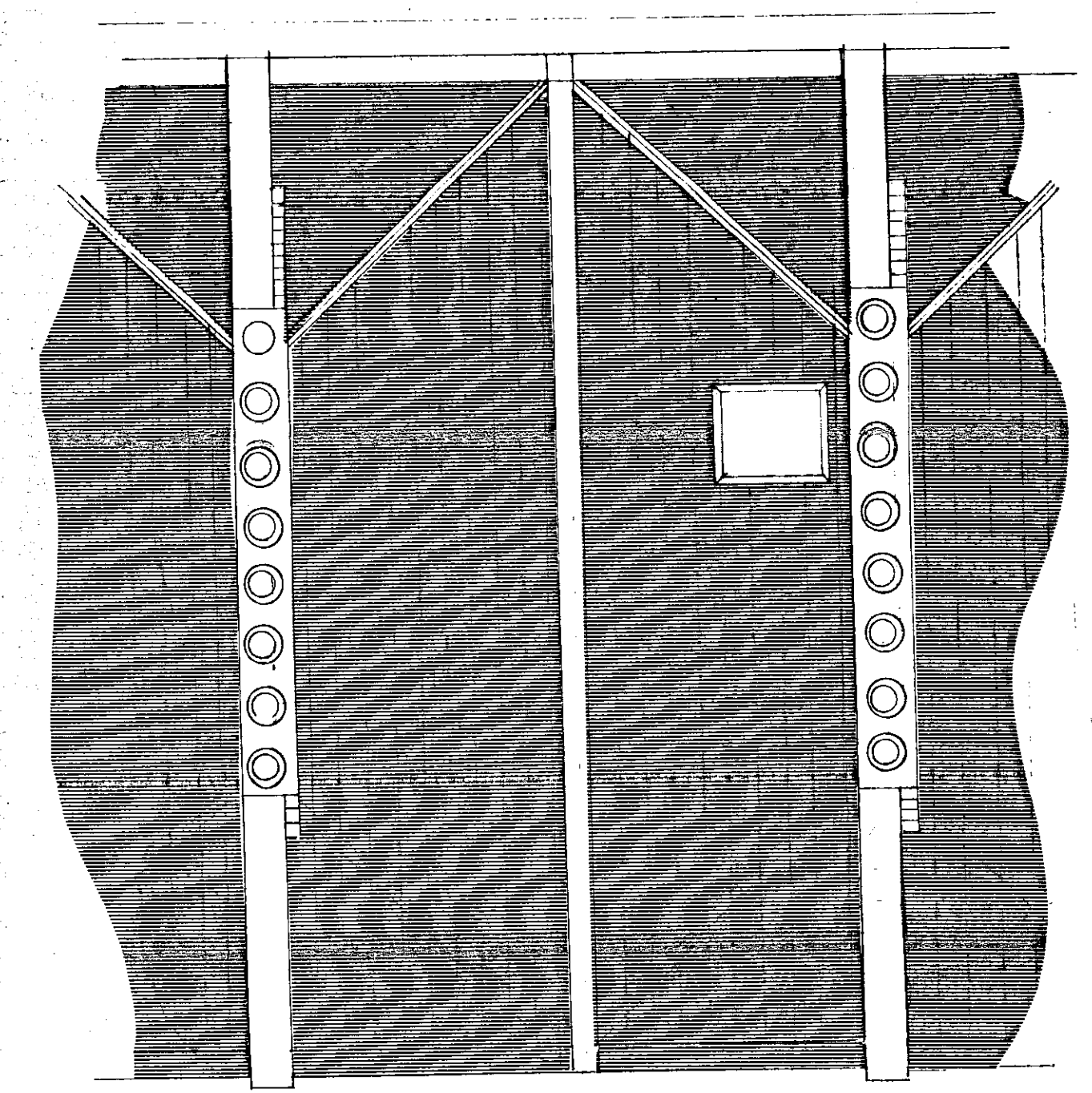
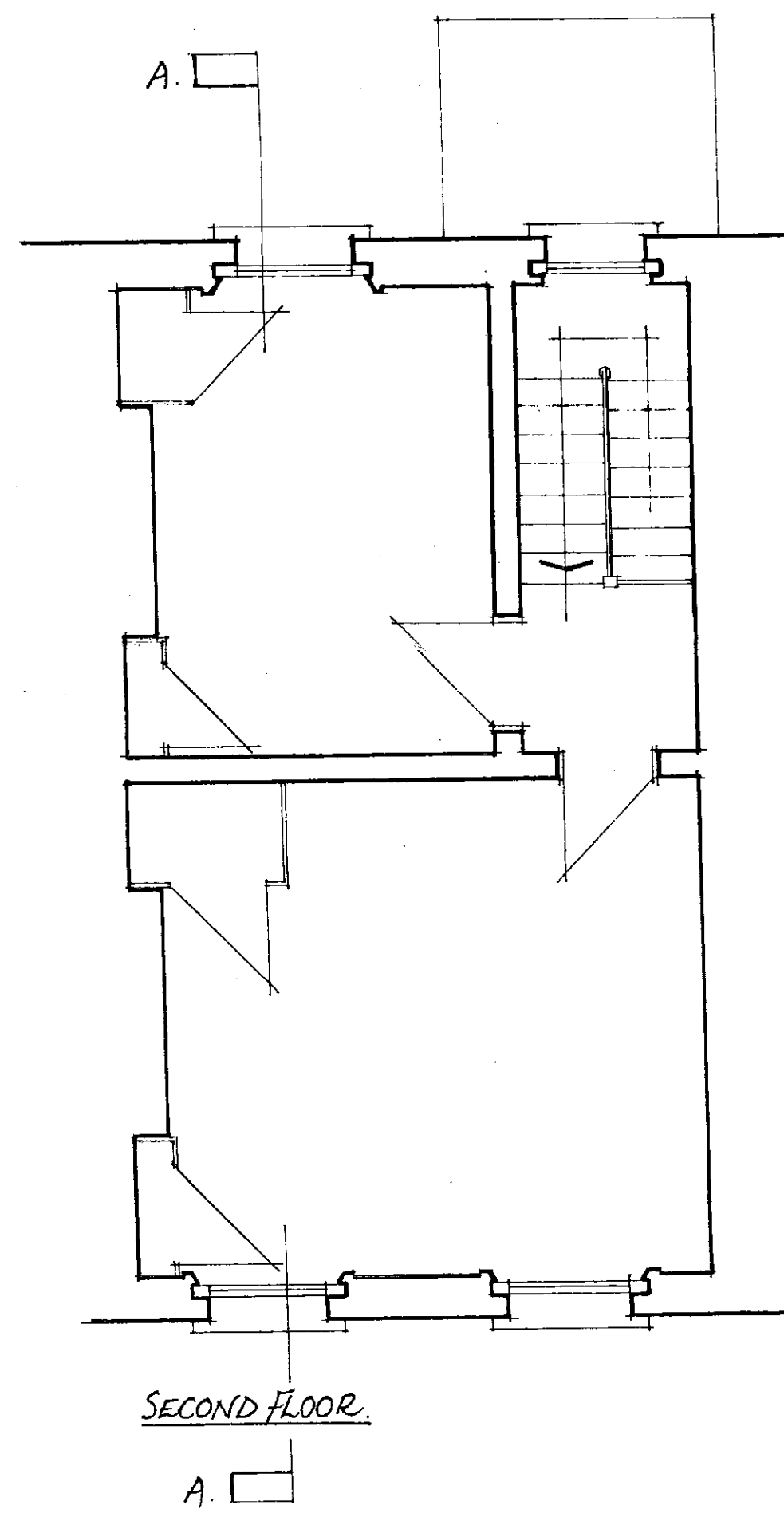
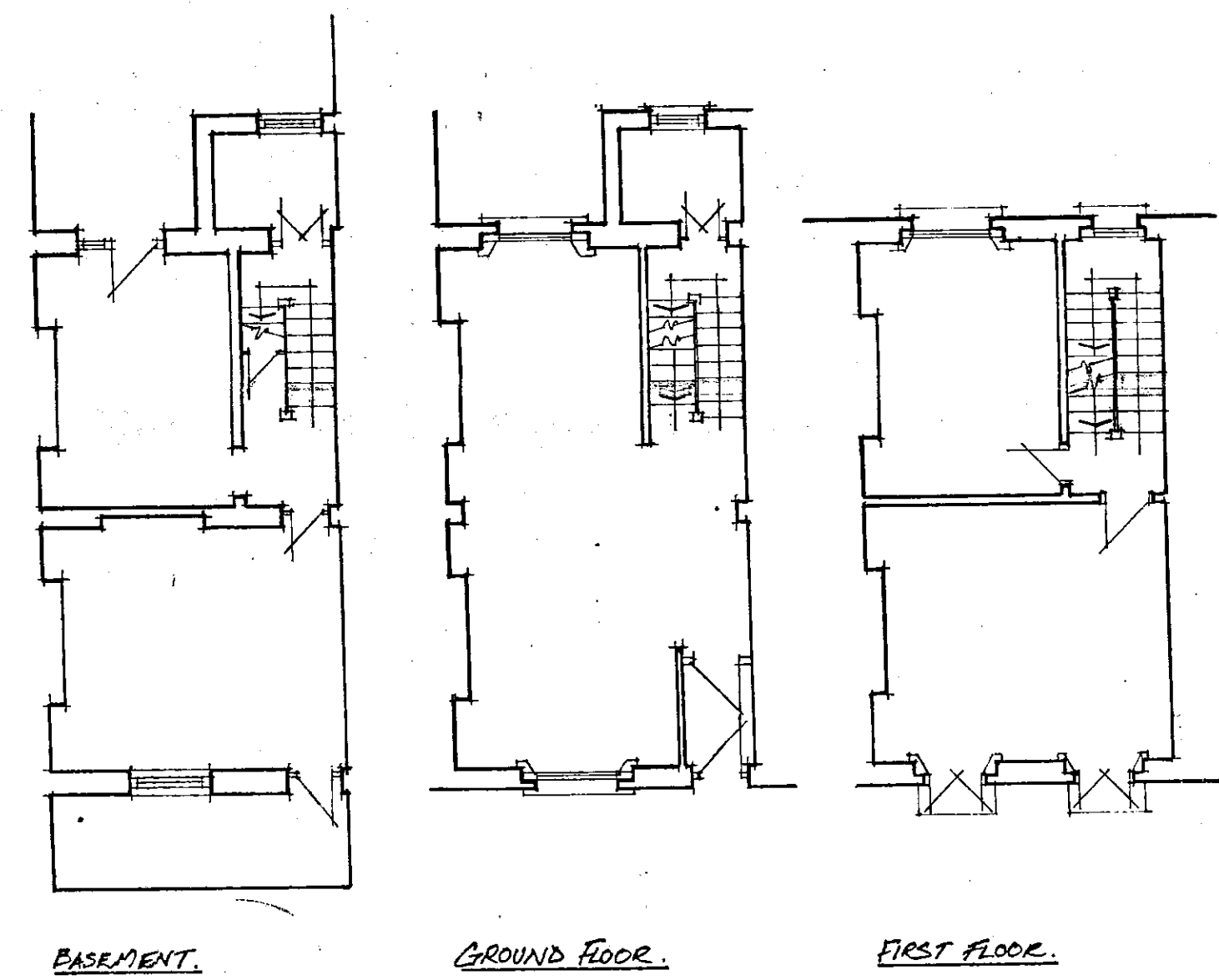
CONTRACT
**15 SYDNEY STREET
LONDON SW3**

DRAWING
PLANS AS EXISTING

SCALE 1:50 DATE May 90

DRAWN CHECKED

DRAWING NO.
K-9009-1



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REAR ELEVATION.

FRONT ELEVATION.

REV A - 23 Feb 1988 - Casement doors on Basement rear elevation amended

15 SYDNEY ST. LONDON SW3

EXISTING PLANS SECTIONS & ELEVATIONS

1:200 1:1000 1:500 1:2000

15.5.3.31A

clarke GREEN

Chartered Surveyors

15, Sydney Street, London SW3 2ND

Telephone 01-593 6401