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**ROYAL BOROUGH OF
KENSINGTON AND
CHELSEA**

(40) CONDITIONS 25 + 29
DOCUMENT TYPE

DISCHARGE OF CONDITIONS
**APPLICATIONS
LATE UPDATE**

PP/02/01324

PP/02/01324

Lots Road Power Station And Chelsea Creek

Due to case file size the content has been broken down and scanned in sections as denoted.

Index of content of case files

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- 41 Condition 27

JRS/DP1025

26 June 2007

VRS 29/6/07 VRS 29/6/07

Royal Borough of Kensington & Chelsea
Planning and Conservation
The Town Hall
Hornton Street
LONDON
W8 7NX
For the attention of Bruce Coey

103

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B. K.C.		28 JUN 2007			PLANNING	
N	C	S	APP		IO	REC
HBS			ARB		FPLN	DES FEES

100 Pall Mall
London SW1Y 5NQ
telephone 020 7004 1700
facsimile 020 7004 1790
www.dp9.co.uk

Dear Sirs

LOTS ROAD POWER STATION

Planning Permission Ref. PP/02/01324 – Submission of Details Pursuant to Conditions 25 and 29

On behalf of our clients, Circadian Ltd, we hereby submit details pursuant to conditions 25 and 29 of the above planning permission granted by the Secretary of State on 30 January 2006. We have previously discussed the submission of details pursuant to conditions with both Bruce Coey and Georgina Slader of your Council's Planning Department.

Condition 25 – Archaeology

August E.H.

Condition 25 states that,

"No development shall take place until the applicant, or its agents or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted to and approved in writing by the local planning authority."

Accordingly, the submission of details comprises four copies of a report prepared by CgMs Consulting entitled 'Specification for a Geoarchaeological Evaluation'. Approval is therefore sought for the enclosed document that proposes the methodology for the Written Scheme of Investigation for the proposed archaeological work.

We can confirm that a copy of the enclosed report has also been sent to English Heritage for their information.

Condition 29 – Renewable Energy

EA Maxime
Clement:

TO NATHAN MILLER/
DAVID BROADLEY
23/7

Condition 29 states that,

"Development shall not begin until a scheme for the inclusion of renewable energy technologies has been submitted to and approved in writing by the local planning authority. The aim of the



scheme shall be to achieve a 'good' rating for Building Research EcoHomes assessment purposes and shall address the use of renewable energy sources, thermal insulation, natural ventilation, double glazing and the use of energy efficient devices. Development shall be carried out in accordance with the approved scheme."

Accordingly, the submission of details pursuant to this condition comprises four copies of a report prepared by Hoare Lea entitled 'Energy Strategy Statement'.

The enclosed report describes the proposed energy strategy for the proposed development of the site and proposes the use of renewable energy technologies as required by the condition. The scheme also illustrates how the proposed apartments would achieve minimum of a 'Good' EcoHomes 2006 rating. Approval is therefore sought for the enclosed report pursuant to the condition.

We trust you will find the enclosed information to be acceptable and will be contacting you to discuss this in more detail in the future. In the meantime, if you have any queries, please contact Julian Shirley at the above address.

Yours faithfully

DP9

Encs.

Meet
Nathan
Milla
Tuesday
11am

PLANNING AND BOROUGH DEVELOPMENT
INTERNAL MEMORANDUM

TO: David Broadley
CC:
FROM: B.Coey
TELEPHONE: 020 7361 2087
EMAIL: bruce.coey@rbkc.gov.uk
DATE: 23 July 2007
SUBJECT: LOTS ROAD POWER STATION

ROOM NO:
ROOM NO: 322
FAX: 020 7361 3463
REF: DPS/DCS/PP/02/01324/BC

I would be grateful if you could appraise the attached Energy Strategy Statement which has been submitted for approval and let me have your comments to enable me to reply.


BRUCE COEY
AREA PLANNING OFFICER

POLICY OBS		
OFFICER	IN	OUT
DB.	25/07	01/08



Communal heating and cooling powered by renewable energy;
Gas-fired communal heating and cooling

Analysis

Renewable Energy

The Energy Statement Ecohomes Pre-Assessment states that 10% of the total energy demand of the development is to come from local renewable or low energy sources. However, the Hoare Lea Energy Statement has not demonstrated why more renewable energy could not be incorporated, particularly on-site electricity-generating sources. The only renewable energy sources considered in the Energy Statement are water-sourced cooling and provision for a future Biomass heating plant.

The applicant firstly needs to carry out an Energy Assessment of the development in line with London Plan Policy 4A.8. Then in line with London Plan Policy 4A.7, the London Renewables Toolkit should be applied to investigate the feasibility and practicality of each renewable technology.

Combined Heat and Power or Communal Heating and Cooling Systems

The proposed heating and cooling systems have not followed the Mayor's hierarchy in Draft Further Alterations Policy 4A.5i which prioritise CHP/CCHP powered by renewable energy. It needs to be demonstrated why this can't be achieved on this major development. For example, the applicant and Local Authority could investigate a Combined Heat and Power plant to provide electricity, heating and cooling on the Lots Road Power Station site and the proposed Chelsea Academy, which is adjacent to the north on Lots Road.

The applicant proposes to use water from the River Thames as a cooling system. It is noted that this must be drawn up with the Environment Agency who would require a license.

The applicant proposes to utilise an energy centre in the London Borough of Hammersmith and Fulham. We should liaise with LBHF and whether they would support the use of a Combined Heat and Power plant to power development on both sides of Chelsea Creek.

BRE Ecohomes

The applicant proposed a 'good' rating of Ecohomes in line with Condition 29. It should be noted that BRE Ecohomes has now been superseded by the Code for Sustainable Homes, which sets much tougher standards for energy and water efficiency and sustainable design. The Government has also proposed it be mandatory for all new housing to be zero carbon dioxide emission from 2016. In light of this, the Council should encourage the applicant to achieve 'Very Good' or even 'Excellent' ratings of Ecohomes on the basis of meeting the ambitions of the Draft London Plan Further Alterations.

Conclusion

The Energy Statement only addresses the bare minimum of Condition 29 which is to 'address' the use of renewable energy and achieve 'good' Ecohomes. However, the other part of the condition states that 'a scheme for the inclusion of renewable energy technologies' is approved by the Council. It is considered the Statement does not consider all available technologies and demonstrate why they could not be incorporated into the scheme to increase the projected electricity/heating/cooling required from onsite renewable sources.

Georgie

PLANNING AND BOROUGH DEVELOPMENT
INTERNAL MEMORANDUM

To:	Bruce Coey	Room No.	331	
Cc:				
From:	David Broadley	Room No.	331	
Telephone:	020 7361 2061			
Email:	David.broadley@rbkc.gov.uk			
Date:	1 st August 2007			
Subject:	Lots Road Power Station PP/02/01324 Condition 29			

Condition 29 states:-

"Development shall not begin until a scheme for the inclusion of renewable energy technologies has been submitted to and approved in writing by the local planning authority. The aim of the scheme shall be to achieve a 'good' rating for Building Research Ecohomes assessment purposes and shall address the use of renewable energy sources, thermal insulation, natural ventilation, double glazing and the use of energy efficient devices. Development shall be carried out in accordance with the approved scheme."

Comments

In April 2007 the Code for Sustainable Homes replaced Ecohomes for the assessment of new housing in England. This is confirmed by the BRE website at:
<http://www.breeam.org/page.jsp?id=21>

Nathan Millar, the Council's Environmental Technologist, states that Ecohomes 'Good' broadly equates to Code for Sustainable Homes Level 2. I suggest you write to BRE asking for confirmation that this is correct. The contact details are:-
BRE, Bucknalls Lane, Watford WD25 9XX.
enquiries@bre.co.uk tel: 01923 664000

Nathan Millar has confirmed the applicant's Ecohomes Pre-Assessment in the Energy Strategy Statement meets the required Ecohomes 'Good' standard. However, this is a major development and an opportunity for an exemplar in sustainability terms in line with the Council's Environment Strategy 2006-11 Theme 5, Draft Planning Policy Statement on Planning and Climate Change and Draft Further Alterations to the London Plan. We should encourage the applicants to go beyond the 'good' Ecohomes/Code 2 standard, however, given the terms of Condition 29, we cannot insist on this.

C. L. W.

From: Millar, Nathan: HHASC-EnvHlth
Sent: 09 August 2007 13:36
To: Broadley, David: PC-Plan
Subject: RE: Lots road obs

Hi David

I have to say that I think they can do a lot better than achieving a Good rating. So no I'm not particularly satisfied with what they're proposing at all really. EcoHomes Good rating is roughly the same as Code for Sustainable Home Level 2... rubbish!! Pleased to hear that you invested the money wisely, what did you get? An Ixus?

Scoring

The Code has 6 levels as follows:

- Code Level 1 – above regulatory standards and a similar standard to BRE's EcoHomes PASS level and the EST's Good Practice Standard for energy efficiency
- Code Level 2 – a similar standard to BRE's EcoHomes GOOD level
- Code Level 3 – a broadly similar standard to BRE's EcoHomes VERY GOOD level and the EST's Best Practice Standard for energy efficiency
- Code Level 4 – Broadly set at current exemplary performance
- Code Level 5 – Based on exemplary performance with high standards of energy and water efficiency
- Code Level 6 – aspirational standard based on zero carbon emissions for the dwelling and high performance across all environmental categories

The Code Level is awarded on the basis of achieving BOTH a set of mandatory minimum standards and a minimum overall score as set out in the diagram below. Most of the criteria within the method are tradable (i.e. they are voluntary and a developer/designer can make choices on the most appropriate standards for a given site). This gives a degree of flexibility in achieving the standards.

From: Broadley, David: PC-Plan
Sent: 09 August 2007 12:49
To: Millar, Nathan: HHASC-EnvHlth
Subject: Lots road obs

Hi Nathan,

Can you confirm that you were satisfied they were meeting 'Good' Ecohomes.

Also, can you confirm that Ecohomes Good correlates to Code for Sustainable Homes Level 3?

Thanks

David

Communal heating and cooling powered by renewable energy;
Gas-fired communal heating and cooling

Analysis

Renewable Energy

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who do
they have to?

breeam

breeam:ecohomes

Ecohomes is a version of BREEAM for homes. It provides an authoritative rating for new, converted or renovated homes, and covers houses, flats and apartments.

Ecohomes balances environmental performance with the need for a high quality of life and a safe and healthy internal environment. Many of the issues are optional, ensuring Ecohomes is flexible enough to be tailored to a particular development or market.

Ecohomes Assessments can be carried out at both the design stage or post construction for:

New build

Major refurbishment projects

In April 2007 the Code for Sustainable Homes replaced Ecohomes for the assessment of new housing in England. EcoHomes 2006 will continue to be used for refurbished housing in England and for all housing in Scotland and Wales.

A stock profiling tool based on Ecohomes is also available. For details please visit our EcohomesXB web page.

The Ecohomes Pre-Assessment Estimator can be used to understand the issues covered by an Ecohomes rating, and to see the level of information required by an assessor. Also available to download is a full copy of the Ecohomes Guidance document and Developer Sheets. The Developer Sheets list the information required from a developer.

Please visit one of the pages below if you are interested in:

- Contacting a licensed Ecohomes assessment organisation
- Having an Ecohomes assessment carried out
- Becoming a licensed Ecohomes assessor
- Learning more about the Code for Sustainable Homes

To find out more please contact the BREEAM Office.



For more information
contact us

E: BREEAM Office
T: 01923 664462

PDF downloads

EcoHomes Pre-Assessment Estimator

EcoHomes Guidance

EcoHomes Developer Sheets



LOTS ROAD DEVELOPMENT

ENERGY STRATEGY STATEMENT

22nd June 2007

HOARE LEA
Sustainability

Glen House
200 – 208
Tottenham
Court Road
London
W1T 7PL

Tel: 020 7890 2500
Fax: 020 7436 8466

EX	HDC	TP	CAC	AD	CLU	AO
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K.C.						
N	C	S		APP	IO	REC
HBS			ARB	FPLN	DES	FEES

AUDIT SHEET

REVISION	DESCRIPTION	DATE	ISSUED BY	REVIEWED BY
22.06.2007	Issued for Comment	22.06.2007	H. Blackwell	A. Bateson

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 - 2.0 ENERGY EFFICIENCY MEASURES
 - 2.1 Passive Energy, Natural Ventilation and Carbon Saving Measures
 - 2.2 Active Energy and Carbon Saving Measures
 - 3.0 DISTRICT HEATING AND COOLING
 - 3.1 District Heating Scheme
 - 3.2 District Cooling Scheme
 - 3.3 Heating and Cooling Interface Connections to the Accommodation
 - 4.0 ECOHOMES
- APPENDIX A – INDICATIVE DISTRICT HEATING/COOLING INTEGRATION SCHEMATIC
- APPENDIX B – INDICATIVE DISTRICT HEATING/COOLING INTEGRATION SCHEMATIC
- APPENDIX C – ECOHOMES PRE-ASSESSMENT

1.0 EXECUTIVE SUMMARY

This document describes the proposed energy strategy for the Lots Road Development in order to demonstrate energy is used efficiently.

The development addresses the needs to use less energy, to use renewable energy sources and to use energy efficiently.

The scheme proposed for Lots Road includes the following:

- **Renewable energy sources**

- a. Heat exchange with the River Thames to provide a low carbon cooling strategy (subject to approval and negotiation with the Environment Agency)
- b. Space provision for future biomass heating plant.

- **Thermal insulation and double glazing**

- a. Good levels of thermal insulation to all dwellings to minimise heat losses through the building envelope
- b. High performance glazing and façade design to minimise heat losses through glazed surfaces.
- c. Energy efficient building services with a range of passive and active measures to minimise a dwellings energy use.

- **Efficient Devices**

- a. Community heating and cooling systems sited in localised 'energy centres' to ensure affordable, efficient and well-maintained services.
- b. Gas-fired condensing boiler plant in the proposed Energy Centres to provide very efficient heating.
- c. Flexibility to connect to other neighbourhood community heating/cooling networks.

In addition, a commitment is made by the Client to ensure that the apartments achieve a minimum of a 'Good' EcoHomes 2006 rating. (An EcoHomes 2006 pre-assessment included in the appendix shows how this can be achieved)

2.0 ENERGY EFFICIENCY MEASURES

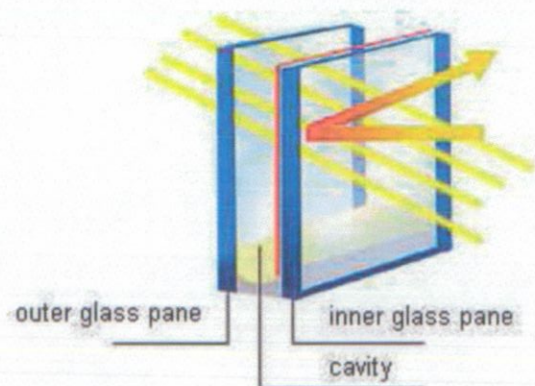
The energy strategy aims to reduce energy demand in the first instance, through a range of passive and active measures, followed by the integration of low carbon energy sources.

2.1 Passive Energy, Natural Ventilation and Carbon Saving Measures

It is the developer's ambition to naturally ventilate all buildings on the site. Where possible apartments will utilise natural ventilation using trickle vents (for winter conditions) and openable windows (for purge and summer ventilation) as the primary means of ensuring adequate air change and comfort in the summer, thus minimising dependency on mechanical systems. Some apartments may need mechanical ventilation as a consequence of the site acoustic assessment but this will only be provided where necessary. Where this is the case for acoustic reasons, the mechanical ventilation systems will have heat recovery and include low energy motor systems.

An efficient building envelope with good levels of thermal insulation and low air infiltration rates is part of the fabric strategy to reduce heat loss. A sample of the units will be pressure tested to demonstrate air leakage rates are below that required by the Building Regulations. In addition, the apartments will be provided with high performance glazing with low-e coating. The double glazing will help to reduce heat losses in the winter, whilst the low-e coating will minimise heat radiation passing through the glazing. As a result heat radiation inside the building is reflected back into the building in the winter keeping the dwelling warm, whilst direct solar radiation in the summer is reflected back outside, reducing summer overheating.

Good daylighting in the apartments will limit the need for artificial lighting energy that would normally constitute significant annual carbon emissions.



**LOW-E glass lets the sunlight inside and
does not let the warmth to outside**

Figure 1: High performance glazing with low-e coating will be specified in all apartments.

2.2 Active Energy and Carbon Saving Measures

The following active measures are proposed:

- Ventilation control in bathrooms and kitchens to reduce fan energy when not in use.
- Centralised heating and cooling plant to allow the selection of large high-efficiency, engineered central plant rather than enable a proliferation of smaller capacity and lower efficiency "packaged" units.
- Primary flow water temperature from the centralised boiler plant can be adjusted according to the external ambient temperature for high energy efficiency. For example a winter flow temperature of 80 °C to meet heating demand, but a summer flow temperature of 60 °C in summer when there is a reduced heat demand.
- Variable speed pumping of chilled and heating water services to take advantage of load diversity between sectors of the development.
- Variable speed pumping water supply services to reduce annual energy demand and take maximum advantage of diversity of load between the sectors
- High efficiency motors incorporated into all building services.
- High efficiency water chillers and boiler plant.
- Air to air heat recovery and variable speed fans installed within air handling plant, where provided, so as to recover the heat in the extract airstreams prior to the exhaust of vitiated air to atmosphere, and minimise energy use required for supplying and exhausting air.
- Variable speed car park ventilation controlled by reference to the level of carbon monoxide, reducing fan run time to the minimum necessary for effective dilution ventilation and reducing the energy required for supplying and exhausting air.
- High efficiency electronic lighting ballasts and high efficacy lamps.
- Passive infra red and daylight responsive lighting control where possible in common and landlord areas
- Photocell switched external lighting.
- Energy meters in the heating and chilled water supplies to each apartment to facilitate effective feedback, monitoring and control
- Energy metering of central plant enabling effective energy monitoring against benchmarks, facilitating feedback and appropriate action
- Individual room temperature controllers and thermostatic control valves for all heating and cooling (where fitted) systems.

3.0 DISTRICT HEATING AND COOLING

3.1 District Heating Scheme

A **community heating scheme** is provided throughout the site to feed all accommodation. The community heating scheme is made up of three main elements:

- i. The **Energy Centres** housing the heating plant (gas-fired condensing boilers and space for future biomass plant).
- ii. The **District Heating Network** that carries heat from the Energy Centres to each building.
- iii. The **Heat Interface Units (HIU)** that connect the individual accommodation units to the district heating network.

Figure 2 shows the proposed method of integrating the heating plant in the Energy Centres. A Building Management System would control the boilers, the pumps and the valves, to ensure efficient plant operation

An assessment of renewable energy sources has shown that biomass heating could be a future zero carbon energy source, when security of supply issues, logistics and commercial viability have become fully established. Until that time, it is not proposed to provide the biomass boiler plant but to include space for future implementation. The proposed energy strategy is therefore future proofed to include renewable energy at a later stage.

It should also be noted that the provision of a site wide community heating network (Appendix A) enables connection to other neighbourhood or city-wide community heating/cooling systems in the future.

3.2 District Cooling Scheme

A district cooling system is proposed, which will utilise the River Thames for heat rejection, thus reducing the duty for conventional vapour compression cooling plant (subject to approval and negotiation with the Environment Agency).

The schematic given in Appendix A shows the proposed district cooling scheme integration.

3.3 Heating and Cooling Interface Connections to the Accommodation

Each residential unit will be connected to the district energy networks via an interface unit which contains a heat exchanger. A schematic is available in Appendix B showing how this would work and a possible layout of the heat interface units in each apartment.

The heat interface unit (HIU) is essentially the interface between the community part of the heating system, and the domestic part of the system. It delivers the heating or chilled water (where specified) that is provided through the district networks. Controls will be provided to allow each occupant to set their own temperature set-point (within the design limit) and programming schedules.

The interface unit can incorporate an integral meter, or a meter can be located remotely. The meter measures thermal energy delivered through the HIU.

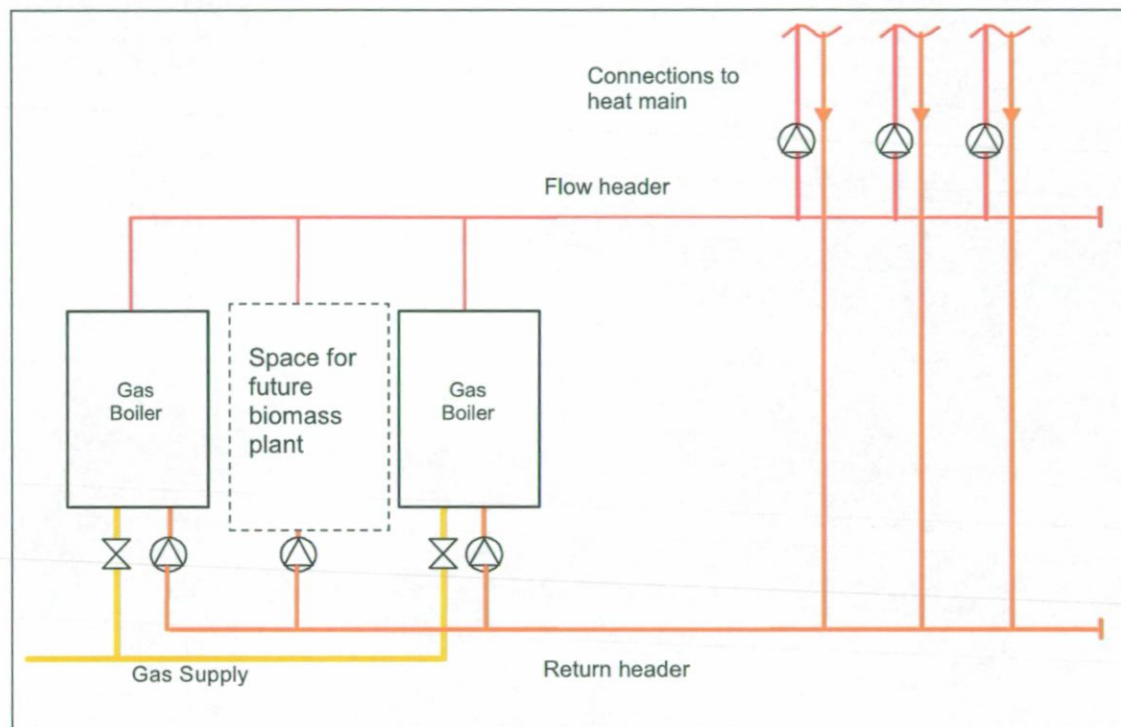


Figure 2: Indicative System Schematic for Heating Plant located in the Energy Centre.

4.0 ECOHOMES

The developer is committed to achieving an EcoHomes 'Good' rating, in part through the following measures.

A dedicated fixed drying area in all flats, with humidistat controlled ventilation to control moisture levels within the space, decrease drying time and reduce the energy required to ventilate the space.

Providing only A+ rated fridges and freezers, A rated washing machines and dishwashers (where fitted) and B rated washer dryers or tumble dryers (where fitted) to all apartments.

A minimum 40% of internal fixed light fittings in all dwellings to be dedicated low energy fittings. All communal and external light fittings will be dedicated low energy fittings with suitable automatic controls to prevent excessive energy use (E.g. PIR, Daylight controls, timers) This exceeds the Part L minimum requirements.

Dedicated secure weatherproof cycle storage to 50% of all apartments.

The provision of a suitable 'home office' space in every apartment to facilitate working from home for all residents.

All thermal and sound insulation materials installed specified to have a Global Warming Potential (GWP) of less than 5.

Dedicated segregated internal recycling bins for all residents to ease recycling. Additionally the site will be designed to allow residents to take advantage of the council's current waste recycling scheme.

Water efficient sanitary ware fitted to all apartments, for example low flow taps fitted to all washbasins, water efficient dual flush toilets in all bathrooms, water efficient white goods specified where fitted.

Good levels of daylighting in all dwellings, reducing the requirement for electrical lighting.

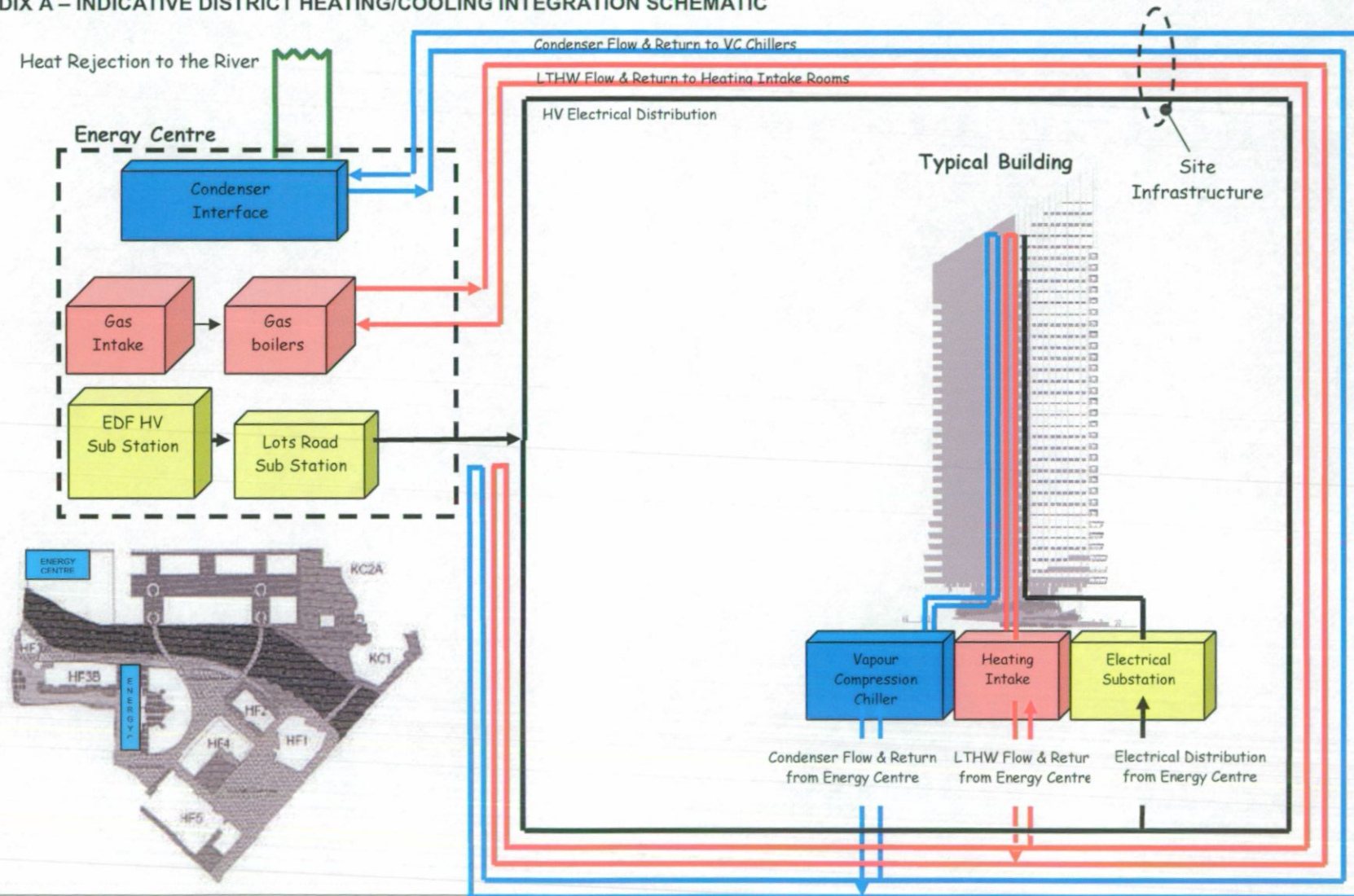
Sound insulation to all apartments in line with the requirements of approved document E, with a regime of testing conducted to prove compliance.

A detailed Home User guide provided to all residents, giving information on the features and equipment installed in the flat and how to operate them properly and efficiently, as well as details of local services and information on the local area.

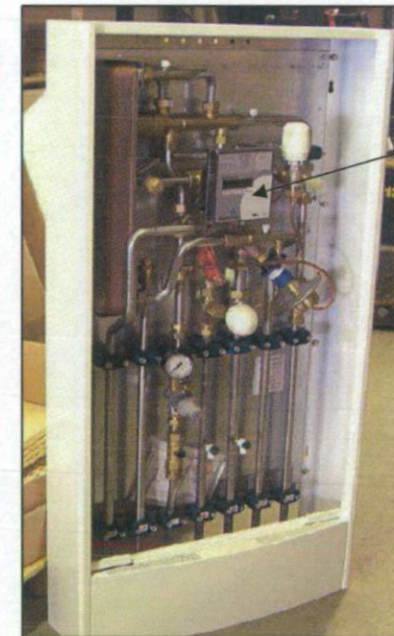
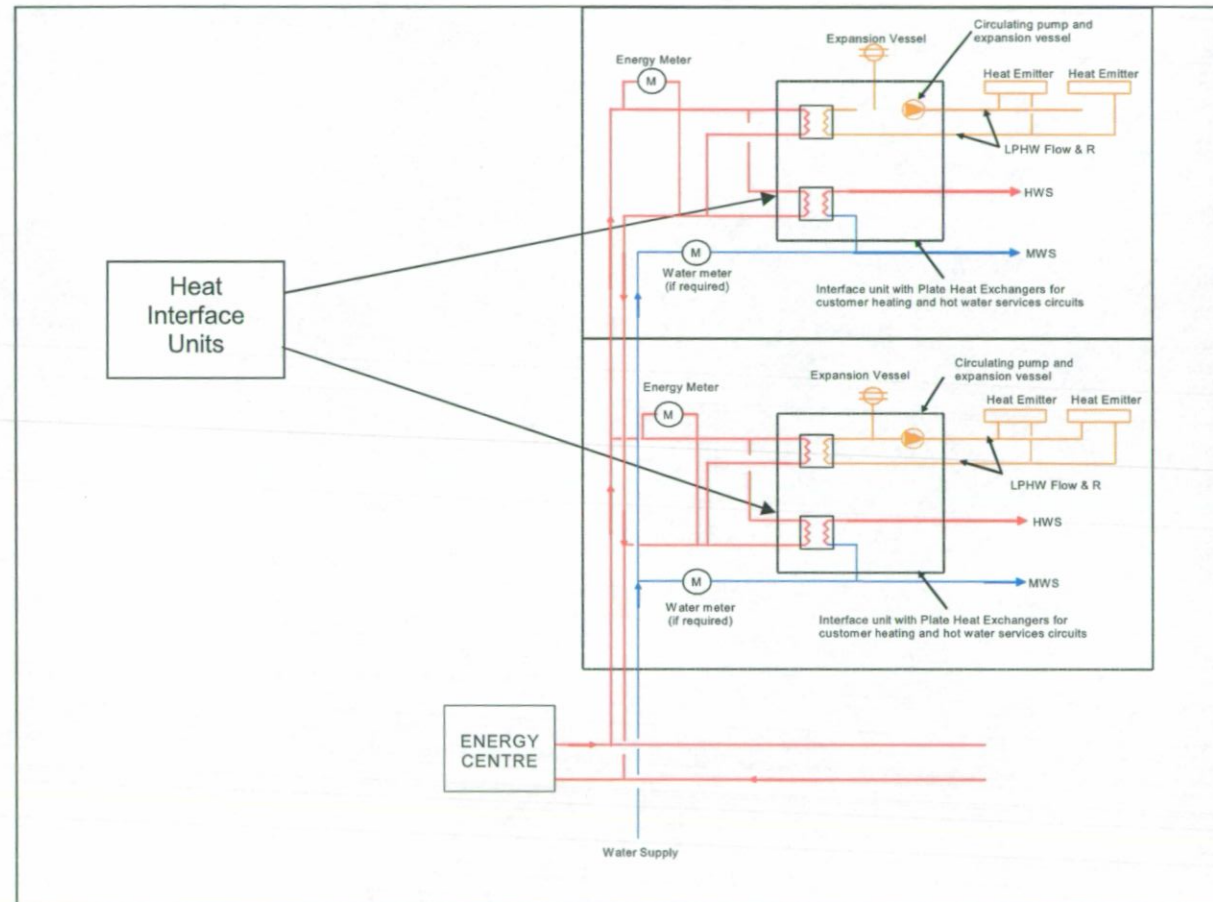
Best management site management principles as measured against the considerate constructors' scheme as well as a site management plan set up to promote the recycling of construction waste, and reduce energy and water consumption during construction.

An EcoHomes preassessment has been conducted (Appendix C) which confirms that the development achieves an EcoHomes 'Good' rating. Where any one credit does not prove to be technically or commercially viable alternative credits will be re-assessed with the aim of achieving the target 'Good' rating.

APPENDIX A – INDICATIVE DISTRICT HEATING/COOLING INTEGRATION SCHEMATIC



APPENDIX B – INDICATIVE DISTRICT HEATING/COOLING INTEGRATION SCHEMATIC



Heat
Meter

Above: Heat Interface Unit (HIU) typically installed for each apartment. **Left:** Schematic diagram showing possible connection of each apartment to the community networks.

APPENDIX C – ECOHOMES PRE-ASSESSMENT



ENGLISH HERITAGE

Richard Meager
CgMs Consulting
Morley House
26 Holborn Viaduct
London
EC1A 2AT

Our ref: **LAG 20/074 & LAG**
K&C ref: **PP/02/01324**
H&F refs: **2002/03132/FUL
2007/02511/DET**
Telephone 020 7973 3732
Fax 020 7973 3792

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B. K.C.		11 OCT 2007		PLANNING		
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9th October 2007

(28)

GCS

Dear Richard,

RE: LOTS ROAD POWER STATION COMPLEX - HISTORIC BUILDING RECORDING AND GEOARCHAEOLOGICAL EVALUATION

Further to our site meeting on 25th July 2007, we confirm receipt of your letter dated 22nd August and have the following comments:

HISTORIC BUILDING RECORDING

- **Survey plans of observations along twenty sections of Chelsea Creek undertaken by Waterman Environmental in March 2003.** These were required to ensure a record of the Creek's profile was made prior to any proposed terracing undertaken as part of the development. I understand from the correspondence on file that a large/medium format photographic record was also to be made of the Creek. This was to include coverage of both banks and longitudinal shots at both high and low tides (e-mail 26/09/03). Can you or Anne confirm that this has been undertaken? The Creek should also feature in the written record.
- **A Schedule of Works for Anne Upson's Building Recording report.** The written statement provided indicates that a complete photographic record of all buildings within the Lots Road Power Station site, including the Oil Storage Building, has been completed. It also lists those aspects of the report which are currently undergoing completion. Although this is useful and has been noted, we did expect to receive a gazetteer or tick list indicating in more detail which aspects of the buildings have been recorded. In the absence of the main report, this would help to ensure us that the demolition works proposed are able to proceed. Can this be produced for our files, as requested? I attach a copy of the WSI for information.

1 WATERHOUSE SQUARE, 138 - 142 HOLBORN, LONDON, EC1N 2ST

Telephone 020 7973 3000 Facsimile 020 7973 3001

www.english-heritage.org.uk

Please note that English Heritage operates an access to information policy.
Correspondence or information which you send us may therefore become publicly available





- **Recording during Demolition Works.** Following our recent conversation, we discussed the need for your buildings analyst to be present during the proposed demolition works. This will ensure that any additional features revealed during these works can be included within the report. This should also include the Power Station machinery. It is not clear from the statement whether this will be the case and further clarification should be provided.
- **Oil Storage Building.** We are grateful for copies of the photographs taken by Anne Upson of the fuel storage building on the H&F boundary. Can you please confirm the building will still feature in the final report/archive?

SPECIFICATION FOR GEOARCHAEOLOGICAL EVALUATION

In addition to the above, we confirm receipt of the Specification for a Geoarchaeological Evaluation of the above site (CgMs, May 2007). This has been assessed in relation to the existing geotechnical data supplied for the site and basement plans.

The Specification accords with English Heritage guidelines and we will continue to monitor the archaeological work on behalf of the Royal Borough of Kensington & Chelsea and the LB of Hammersmith & Fulham. At least one weeks prior notice of commencement should be provided.

Following the evaluation, further archaeological work may be required to fully mitigate the proposed impact. This will be confirmed in due course. As you are aware, the archaeological condition is not fully satisfied until all phases of archaeological field and post-excavation work are complete and the results assessed.

We look forward to hearing from you however please do not hesitate to contact us should you wish to discuss this further. *Please note this letter refers solely to archaeological considerations.*

Yours sincerely,

Diane Walls/ Kim Stabler
Archaeology Advisors

Greater London Archaeology Advisory Service, London Region

diane.walls@english-heritage.org.uk

kim.stabler@english-heritage.org.uk

cc: Bruce Coey

cc: Paul Entwistle

cc: Sheila Stones

cc: Duncan Hawkins

cc: Daniel Gray

cc: Rory McManus

cc: Georgina Slader

K&C

H&F

EH

CgMs

Hutchison Whampoa

DP9

K&C



1 WATERHOUSE SQUARE, 138 – 142 HOLBORN, LONDON, EC1N 2ST

Telephone 020 7973 3000 Facsimile 020 7973 3001

www.english-heritage.org.uk

Please note that English Heritage operates an access to information policy.

Correspondence or information which you send us may therefore become publicly available



ENGLISH HERITAGE

Richard Meager
CgMs Consulting
Morley House
26 Holborn Viaduct
London
EC1A 2AT

Our ref: **LAG 20/074 & LAG**
K&C ref: **PP/02/01324**
H&F refs: **2002/03132/FUL**
2007/02511/DET

9th October 2007

EX DIR	HDC	TP	CAC	AD	CLU	AD AK
R.B. K.C.		11 OCT 2007			PLANNING	
N	C	S		APP	IO	EC
HBS			ARB	FPLN	DES	DES

Telephone 020 7973 3732
Fax 020 7973 3792

Dear Richard,

RE: LOTS ROAD POWER STATION COMPLEX - HISTORIC BUILDING RECORDING AND GEOARCHAEOLOGICAL EVALUATION

Further to our site meeting on 25th July 2007, we confirm receipt of your letter dated 22nd August and have the following comments:

HISTORIC BUILDING RECORDING

- **Survey plans of observations along twenty sections of Chelsea Creek undertaken by Waterman Environmental in March 2003.** These were required to ensure a record of the Creek's profile was made prior to any proposed terracing undertaken as part of the development. I understand from the correspondence on file that a large/medium format photographic record was also to be made of the Creek. This was to include coverage of both banks and longitudinal shots at both high and low tides (e-mail 26/09/03). Can you or Anne confirm that this has been undertaken? The Creek should also feature in the written record.
- **A Schedule of Works for Anne Upson's Building Recording report.** The written statement provided indicates that a complete photographic record of all buildings within the Lots Road Power Station site, including the Oil Storage Building, has been completed. It also lists those aspects of the report which are currently undergoing completion. Although this is useful and has been noted, we did expect to receive a gazetteer or tick list indicating in more detail which aspects of the buildings have been recorded. In the absence of the main report, this would help to ensure us that the demolition works proposed are able to proceed. Can this be produced for our files, as requested? I attach a copy of the WSI for information.

1 WATERHOUSE SQUARE, 138 - 142 HOLBORN, LONDON, EC1N 2ST

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- **Recording during Demolition Works.** Following our recent conversation, we discussed the need for your buildings analyst to be present during the proposed demolition works. This will ensure that any additional features revealed during these works can be included within the report. This should also include the Power Station machinery. It is not clear from the statement whether this will be the case and further clarification should be provided.
- **Oil Storage Building.** We are grateful for copies of the photographs taken by Anne Upson of the fuel storage building on the H&F boundary. Can you please confirm the building will still feature in the final report/archive?

SPECIFICATION FOR GEOARCHAEOLOGICAL EVALUATION

In addition to the above, we confirm receipt of the Specification for a Geoarchaeological Evaluation of the above site (CgMs, May 2007). This has been assessed in relation to the existing geotechnical data supplied for the site and basement plans.

The Specification accords with English Heritage guidelines and we will continue to monitor the archaeological work on behalf of the Royal Borough of Kensington & Chelsea and the LB of Hammersmith & Fulham. At least one weeks prior notice of commencement should be provided.

Following the evaluation, further archaeological work may be required to fully mitigate the proposed impact. This will be confirmed in due course. As you are aware, the archaeological condition is not fully satisfied until all phases of archaeological field and post-excavation work are complete and the results assessed.

We look forward to hearing from you however please do not hesitate to contact us should you wish to discuss this further. *Please note this letter refers solely to archaeological considerations.*

Yours sincerely,

Diane Walls
Diane Walls/ Kim Stabler
Archaeology Advisors
Greater London Archaeology Advisory Service, London Region
diane.walls@english-heritage.org.uk
kim.stabler@english-heritage.org.uk

cc: Bruce Coey	K&C
cc: Paul Entwistle	H&F
cc: Sheila Stones	EH
cc: Duncan Hawkins	CgMs
cc: Daniel Gray	Hutchison Whampoa
cc: Rory McManus	DP9
cc: Georgina Slader	K&C

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Telephone 020 7973 3000 Facsimile 020 7973 3001

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Slader, Georgina: PC-Plan

From: WALLS, Diane [Diane.Walls@english-heritage.org.uk]
Sent: 01 November 2007 13:13
To: Richard Meager
Cc: Julian Shirley; Slader, Georgina: PC-Plan
Subject: RE: Lots Road Power Station - below ground archaeology
Attachments: CGMSResponse09.10.07.doc

Dear Richard,

Thank-you for your response and I look forward to receiving the information as per your last e-mail.

With regards to the condition, we have advised approval of the Specification which implements the archaeological work required by the condition. The archaeological condition is not usually discharged until all phases of field and post-excavation work are complete and the results assessed.

My previous letter copied to K&C should be sufficient for this purpose (see above). It also refers to the planning reference PP/02/01324 and was discussed by the case officer during the time of writing.

Regards,

Diane

Diane Walls
Archaeology Advisor
Greater London Archaeological Advisory Service
English Heritage - London Region
1 Waterhouse Square
138-142 Holborn
London
EC1N 2ST

Tel: 020 7973 3732
Fax: 020 7973 3792

-----Original Message-----

From: Richard Meager [mailto:richard.meager@cgms.co.uk]
Sent: 31 October 2007 17:36
To: WALLS, Diane
Cc: Julian Shirley
Subject: FW: Lots Road Power Station - below ground archaeology

Dear Diane

I am hoping to forward Anne Upson's schedule of works, together with the 2006 photographic survey to you as soon as possible.

In the meantime, I was wondering if you could confirm in writing to RBK&C that the condition relating to archaeology can now be discharged, given your confirmation of the Specification for the proposed Geoarchaeological Investigation at the site, in your letter of 9 October. I do realise that this was copied to RBK&C, but I would be extremely grateful if you could prepare a letter confirming

01/11/2007

acceptance of this, as it does relate to a specific condition:

Planning ref: PP/02/01324

The relevant condition to below ground archaeology is:

Royal London Borough of Kensington & Chelsea Condition 25

No development shall take place until the applicant, or its agents or successors in title, has secured the implementation of a programme of archaeological works in accordance with a written scheme of investigation which has been submitted to and approved in writing by the local planning authority

Hope this helps

Many thanks

Richard.

Richard Meager BA MA AIFA
Associate Director
Direct Dial: 020 7832 1487
Mobile: 0776 483 0956
Email address: richard.meager@cgms.co.uk

CgMs Consulting
Planning, Archaeology & Historic Buildings Consultants
Morley House, 26 Holborn Viaduct, London, EC1A 2AT
Tel: 020 7583 6767
Fax: 020 7832 1498
www.cgms.co.uk

Registered Offices: 5-11 Mortimer Street, London W1T 3HS
Registered in England: No 3303376

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JRS/DP1025

14 November 2007

Planning and Borough Development
RB Kensington & Chelsea
The Town Hall
Hornton Street
LONDON
W8 7NX
For the attention of Georgina Slader

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B. K.C.	16 NOV 2007				PLANNING	
N	C	S		APP	IO	REC
HBS			ARB	FPLN	DES	FEES

100 Pall Mall
London SW1Y 5NQ

telephone 020 7004 1700
facsimile 020 7004 1790

www.dp9.co.uk

Dear Sirs

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
LOTS ROAD POWER STATION
Condition 25 - Archaeology

We refer to your letter dated 29 October 2007 in respect of the discharge of conditions pursuant to planning permission ref. PP/02/01324 at the above site.

In respect of Condition 25 (Archaeology), we note from your letter that you require confirmation that English Heritage has been provided with the information as requested in their letter to CgMs dated 9 October 2007 and that once you have received this information; your Council will be able to discharge the condition.

We hereby confirm that the following information was sent to Diane Walls and Kim Stabler at English Heritage on 1st November 2007 as requested in their letter;

- **Survey plans of observations along twenty sections of Chelsea Creek undertaken by Waterman Environmental in march 2003:** A plan showing the locations along twenty sections of Chelsea Creek and a photographic record of the Creek;
- **A Schedule of Works for Anne Upson's Building Recording Report:** A schedule setting out which aspects of the buildings have been recorded;
- **Recording during Demolition Works:** Clarification with regard to the attendance of a building analyst during proposed demolition works has been sent by email to English Heritage;
- **Oil Storage Building:** It has been confirmed to English Heritage that the Oil Storage building will be included in the final report.

A copy of the above information is also enclosed for your information:

We trust this meets the requirements of your Council in order to formally discharge the above condition. Whilst writing, we are pleased to note in your letter that Condition 29 (Renewable Energy) can now be discharged and that details relating to proposals for soft landscaping



submitted pursuant to Condition 7 (Landscaping) are acceptable. We look forward to receiving formal confirmation from your Council on these matters. If, however, you have any queries, please contact Julian Shirley at the above address.

Yours faithfully

DP9

Encs.

CC:	Daniel Gray	Circadian Limited
	Duncan Hawkins	CgMs
	Richard Meager	CgMs
	Paul Entwistle	LB Hammersmith & Fulham

Drawing No 65220999/101B

: status

Project Director Edge
Date: March 03

Project Engineer
Scale : 1500

SECTION LINES & VOLUME

Title :

LOTS ROAD
POWER STATION

Project :

WATERMAN ENVIRONMENTA

Client :



Date	Description	PV.
8/1/03	AUGUST 2003 RESULTS ADDED.	
5/1/03	MAY 2003 RESULTS ADDED.	

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PLANNING 16 NOV 2007

Volume calculated from the combined February 1995 & June 2000 surveys differ from base by 0 cu metres
assumed value of 0 cu metres
Volume taken from February 2003 taken as on
1995 & June 2000 surveys differ from base by
-20 cu metres
Volume comparisons with the 1995/2000 survey are
for general guidance only because:
1995 survey was restricted to accessible safe areas
2000 survey was restricted by manoeuvrability
of the hovercraft.
2003 survey is a more complete model of the
correct & less reliant on interpolated levels.
Volume calculated from the May 2003 survey
(iii) differs from base by 667 cu metres
(ii) differs from base by 880 cu metres
(i).

Area of volume comparison,
8240 sq metres

VOLUME CALCULATIONS:

1. Grid is based on arbitrary coordinates.

NOTES:





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LOTS ROAD POWER STATION

London Borough of Hammersmith and Fulham and
Royal Borough of Kensington and Chelsea

Document to clarify scope and status of programme of Historic Building Recording

A Written Scheme of Investigation (WSI) for the archaeological recording of the Lots Road Power Station was prepared in August 2003 and approved by the Greater London Archaeology Advisory Service (GLAAS) of English Heritage. The scope of the recording work for the power station building and associated buildings and structures was to conform to the *Recommendations for Mitigation* made in Section B of the Standing Building Impact Assessment carried out in 2002.

In order to ensure that the photographic recording of the power station was carried out before the interior was visually compromised by the removal of asbestos, a decision was made to carry out the photographic recording prior to the award of planning consent for the redevelopment of the site.

At the time of preparation of the initial WSI, the exact redevelopment proposals for which planning consent would be granted remained unclear, as alternative architectural schemes had been submitted. The exact scope of the archaeological recording was therefore also unclear, as the degree of retention of the original steel frame of the building would dictate the necessity for a detailed drawn record of same.

These matters have now been resolved, and the scheme of re-development which is to be implemented on the site will retain three lines of structure/two bays of the original steel frame towards the eastern end of the boiler house, where it survives in most authentic condition. Since preparation of the original WSI, the extensive archive of architects and engineers drawings have also been catalogued and studied in detail. It has therefore been confirmed that a comprehensive set of engineering drawings survives providing detailed information on both the setting out and detail of the steel frames of both the boiler house and generating hall. The partial *preservation in situ* inherent in the current redevelopment proposals will provide the optimum record of the steel frame of the building, and, together with the comprehensive survival of original construction drawings will obviate the necessity for any further detailed drawn record to be made of the steel frame.

It is now considered appropriate that a document be produced which sets out the scope of recording to be carried out for each of the buildings of the power station complex in view of the current redevelopment proposals, and to identify which elements of recording have been completed to date. This will, by implication, identify the items which remain outstanding, and will facilitate decisions with regard to whether demolition of ancillary buildings can take place.

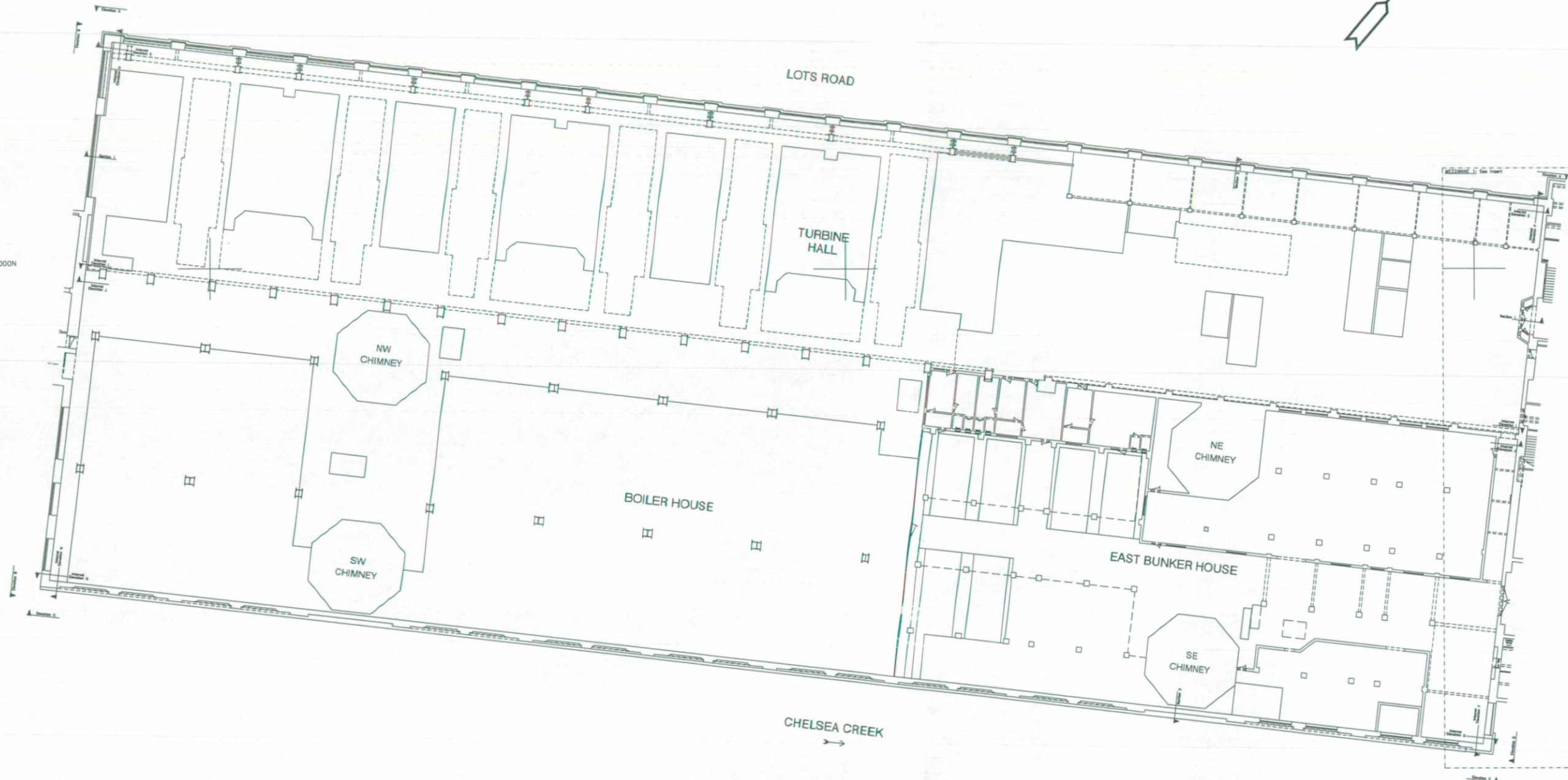
The individual building numbers referred to below are as identified on Figure 1 of the Standing Building Assessment (copy attached).

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B. K.C.	16 NOV 2007				PLANNING	
N	C	S		APP	IO	REC
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	Scope of recording	Completed
Documentary research	Additional research to clarify: <ul style="list-style-type: none"> • details of the contracts relating to the production and erection of the steelwork • the potential role of the architect Leslie Green in the design of the power station • a comparison of Lots Road power station with the earlier projects of the engineer James R. Chapman 	
	Selection of historic photos from various archives for reproduction in report and/or archive	
Building ref.		
1.i- 1.ii	Collation of representative set of architects and engineers drawings to fully describe the structure and detail of the steel frame and curtain wall	
	Large format and 35mm colour slide photographic record of exterior of building	√
	Large format, 35mm b/w and 35mm colour slide photographic record of interior of building	√
	Photographic record during dismantling of single turbo-alternator and associated plant (by Waterman Group)	
	Photographic record during dismantling of single boiler (by Waterman Group)	
1.iii	Selection and reproduction of architects drawings	
	Selection and reproduction of historic photos	
	Large format, 35mm b/w and 35mm colour slide photographic record of exterior and interior of building, including Control Room	√
2.i-ii	Large format photographic record of exterior of building in relation to neighbours	√

	35mm b/w and colour slide photographic record of interiors of building	√
2.iii	No record	-
3	Low level photographic record	√
4	Low level photographic record	√
5	Low level photographic record	√
6	No record	-
7	No record	-
8	Low level photographic record	√
9 & 10	Low level photographic record	√
Report production	Drawn record: Selection of a representative collection of architect's and engineer's drawings held in various archives for reproduction and inclusion in the site archive.	
	Report text: written report as set out in section 4.0 of WSI	
	Report illustrations: as identified in section 4.7 of WSI	
Archive preparation	Preparation of two copies of comprehensive site archive for deposition at NMR and retention on site	

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NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
PLEASE REFER TO SHEET Nos F1 & F2.

GRID:
THE GRID IS BASED ON EXISTING SURVEY CONTROL.
CLIENT DRAWING: ML3412100

LLOYD'S REGISTER
QUALITY ASSURANCE
CERTIFICATED COMPANY



Aworth
SURVEY CONSULTANTS

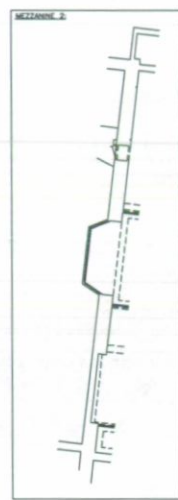
LROA Certificated Office
Norfolk House, Norfolk Way, Uckfield, TN22 1EP
Tel:- 01825 768319 Fax:- 01825 768310
als@aworth.co.uk als@london.compuserve.com
Lombard Business Park, 8 Lombard Road,
Wimbledon, London SW19 3TZ
Tel:- 020 8544 9959 Fax:- 020 8544 1186

Scale 1:1300	Revision
Drawing number 2814	Checked AP
Sheet A2-3	Drawn BO
	Date 23/02/07

Project
LOTS ROAD POWER STATION
FIRST FLOOR

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

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A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
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THE
SURVEY
ASSOCIATION

Aworth
SURVEY CONSULTANTS

LRQA Certificated Office
Norfolk House, Norfolk Way, Uckfield, TN22 1EP
Tel:- 01825 768319 Fax:- 01825 768310
als@aworth.co.uk als@london.compuserve.com

Lombard Business Park, 8 Lombard Road,
Wimbledon, London SW19 3TZ
Tel:- 020 8544 9959 Fax:- 020 8544 1186

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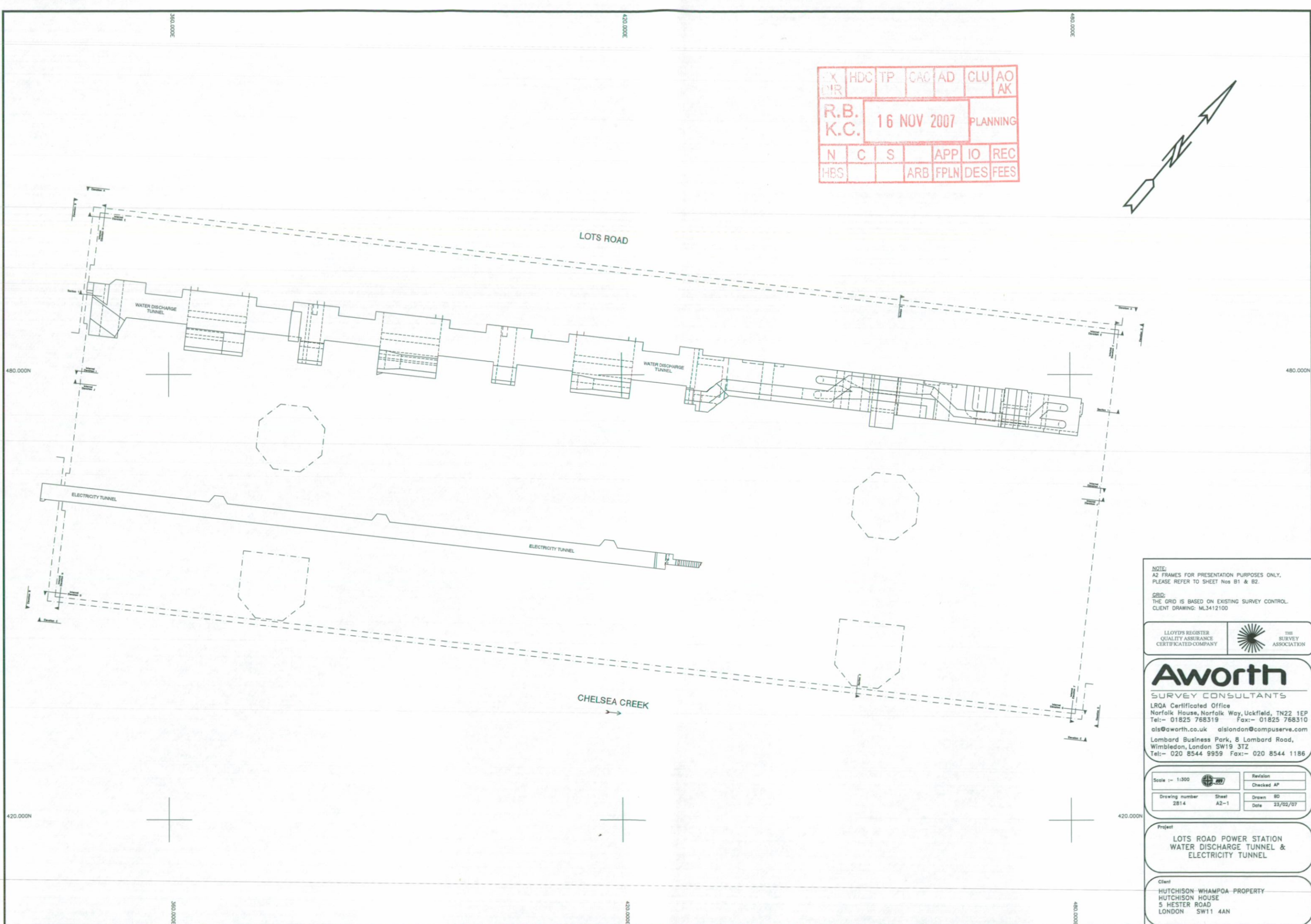
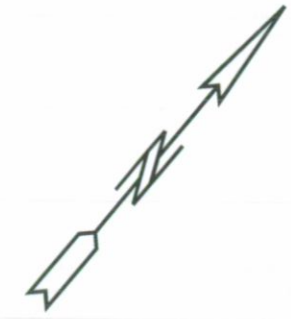
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Date 23/02/07

Project
LOTS ROAD POWER STATION
SECOND FLOOR

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

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NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
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LLOYD'S REGISTER
QUALITY ASSURANCE
CERTIFICATED COMPANY

THE SURVEY ASSOCIATION

Aworth

SURVEY CONSULTANTS

LRQA Certificated Office
Norfolk House, Norfolk Way, Uckfield, TN22 1EP
Tel:- 01825 768319 Fax:- 01825 768310
als@aworth.co.uk als@london.compuServe.com

Lombard Business Park, 8 Lombard Road,
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Tel:- 020 8544 9959 Fax:- 020 8544 1186

Scale 1:300	Revision
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	Date 23/02/07

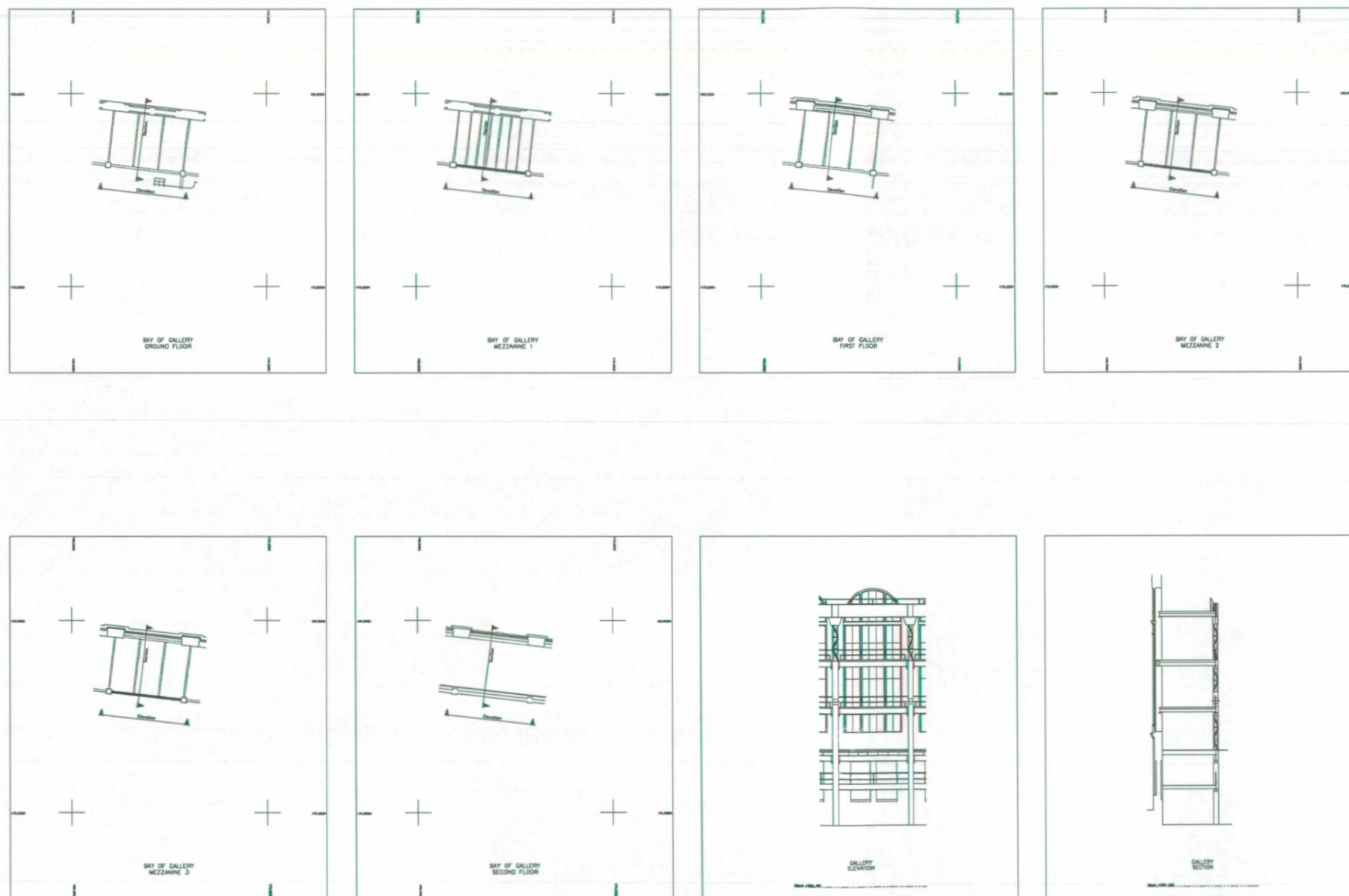
Project

LOTS ROAD POWER STATION
WATER DISCHARGE TUNNEL &
ELECTRICITY TUNNEL

Client

HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

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NOTE:
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CLIENT DRAWING: ML3412100

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QUALITY ASSURANCE
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THE
SURVEY
ASSOCIATION

Aworth

SURVEY CONSULTANTS

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als@aworth.co.uk als@london@compuserve.com
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Wimbledon, London SW19 3TZ
Tel:- 020 8544 9959 Fax:- 020 8544 1186

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	Date 25/02/07

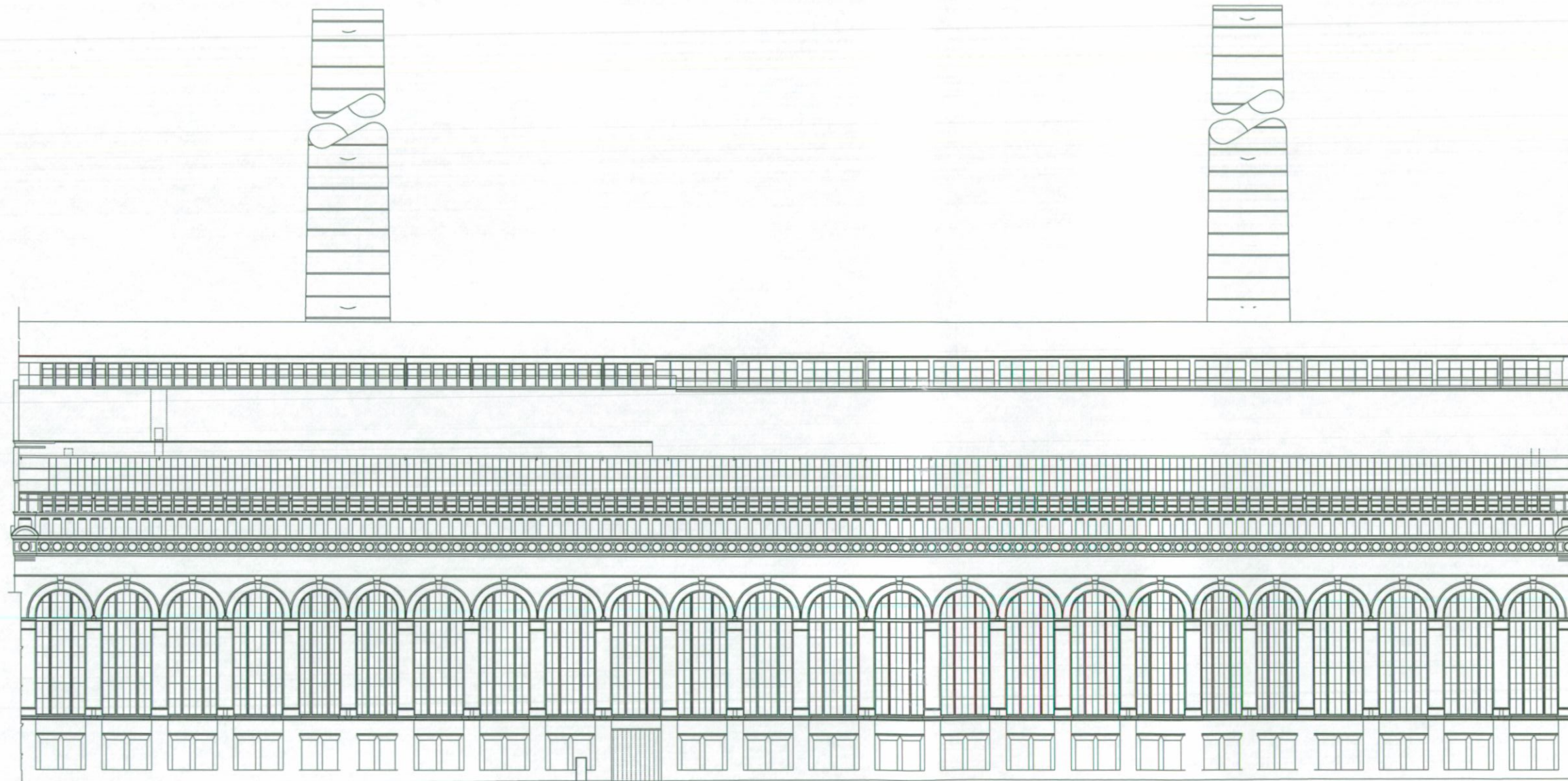
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LOTS ROAD POWER STATION
BAY OF GALLERY

Client

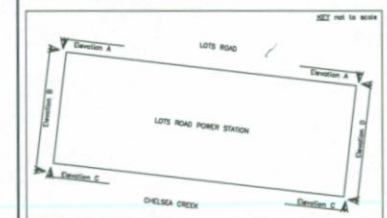
HUTCHISON WHAMPOL PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

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K.C.						
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LOTS ROAD POWER STATION
ELEVATION A

Drawn: J. P. M. 2007



A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
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	Date 23/02/07

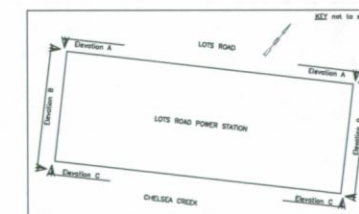
Project
LOTS ROAD POWER STATION
ELEVATION A

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

X	HDC	TP	CAC	AD	CLU	AO
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K.C.						
N	C	S		APP	IO	REC
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LOTS ROAD POWER STATION
ELEVATION B



NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
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Sheet	Date 23/02/07
A2-7	

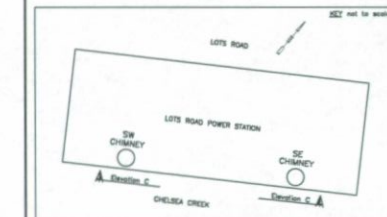
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LOTS ROAD POWER STATION
ELEVATION B

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

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R.B.		16 NOV 2007		PLANNING			
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LOTS ROAD POWER STATION
ELEVATION C2
(CHIMNEY DETAIL)



NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
PLEASE REFER TO SHEET No EE-5.



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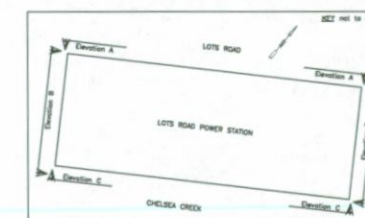
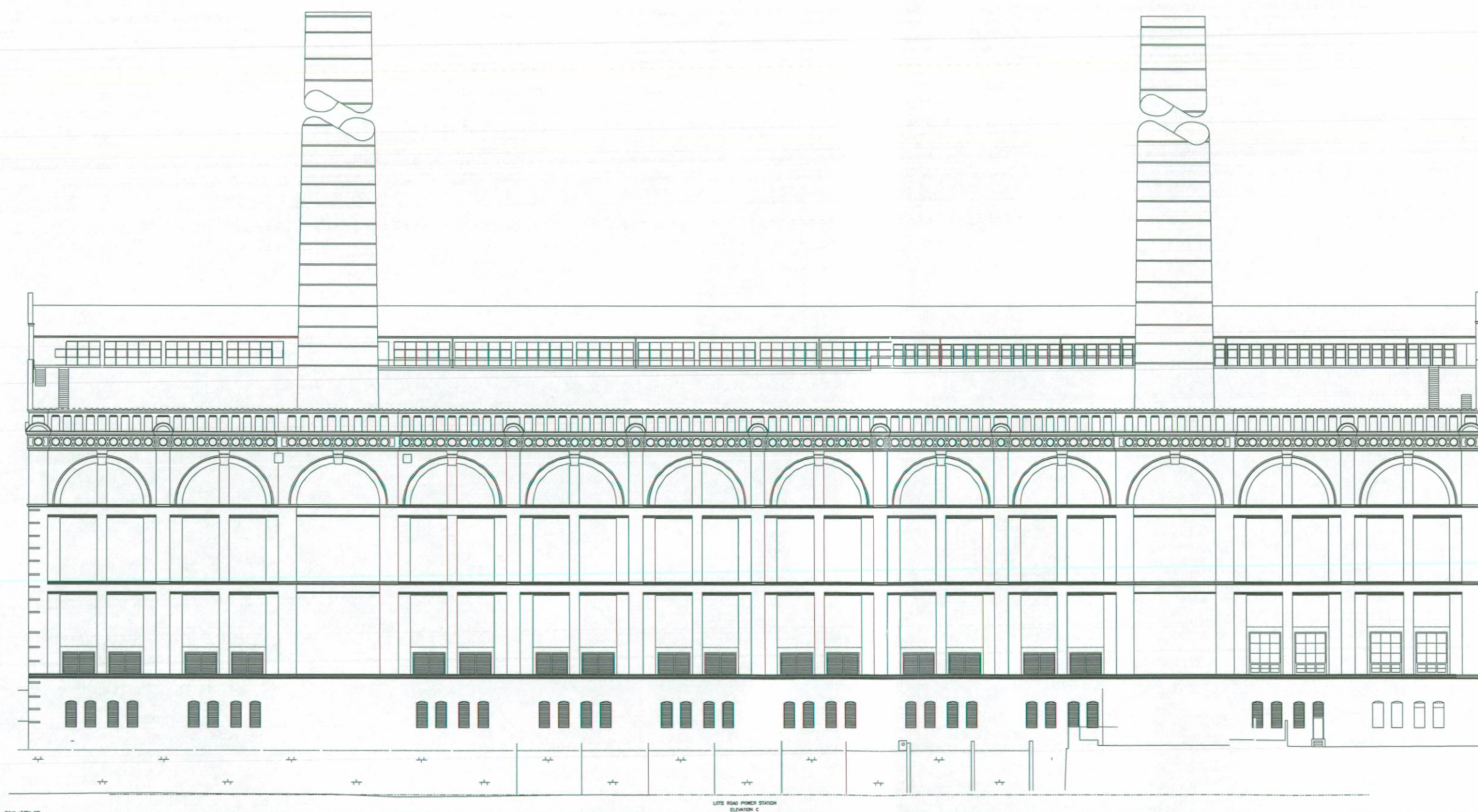
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Tel:- 020 8544 9959 Fax:- 020 8544 1186

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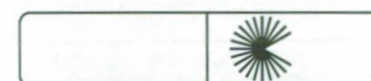
Project
LOTS ROAD POWER STATION
ELEVATION C2
CHIMNEY DETAIL

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

EX	HDC	TP	CAC	AD	CLU	AO
DIR						AK
R.B.		16 NOV 2007			PLANNING	
K.C.						
N	C	S		APP	IO	REC
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NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
PLEASE REFER TO SHEET No EE-3.



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	Checked AP
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Sheet A2-8	Date 23/02/07

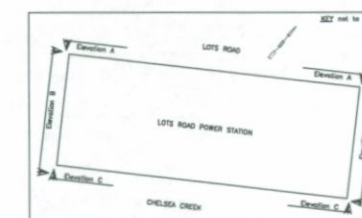
Project
LOTS ROAD POWER STATION ELEVATION C

Client
HUTCHISON WHAMPOA PROPERTY HUTCHISON HOUSE 5 HESTER ROAD LONDON SW11 4AN

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DIR						AK
R.B.		16 NOV 2007		PLANNING		
K.C.						
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LOTS ROAD POWER STATION
ELEVATION D



NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
PLEASE REFER TO SHEET No EE-4



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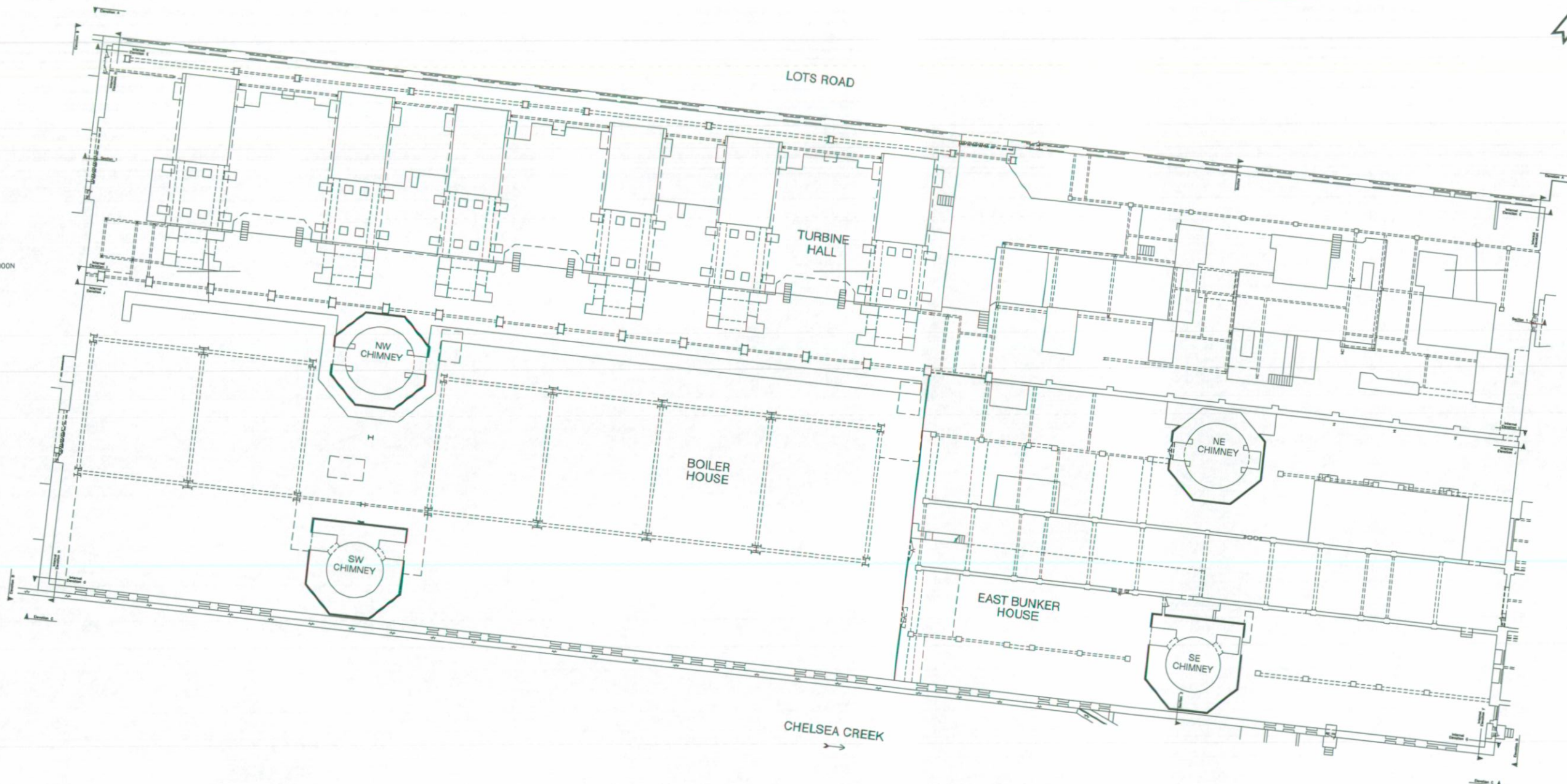
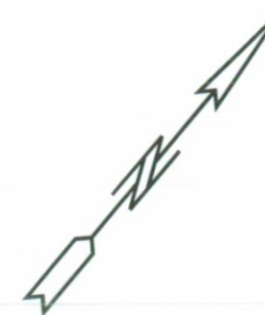
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Scale 1:1500	Revision
Drawing number 2814	Checked AP
Sheet A2-9	Drawn BD
	Date 23/02/07

Project
LOTS ROAD POWER STATION ELEVATION D

Client
HUTCHISON WHAMPOA PROPERTY HUTCHISON HOUSE 5 HESTER ROAD LONDON SW11 4AN

EX	HDC	TP	CAC	AD	CLU	AO
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R.B.		16 NOV 2007		PLANNING		
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NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
PLEASE REFER TO SHEET Nos G1 & G2.

GRID:
THE GRID IS BASED ON EXISTING SURVEY CONTROL.
CLIENT DRAWING: ML3412100

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Tel:- 020 8544 9959 Fax:- 020 8544 1186

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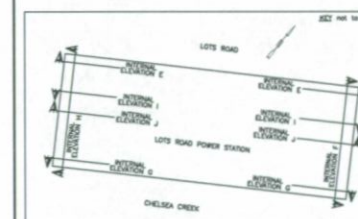
Project
LOTS ROAD POWER STATION
GROUND FLOOR

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

MR	HDC	TP	CAC	AD	CLU	AO	AK
R.B.		16 NOV 2007		PLANNING			
N	C	S		APP	IO	REC	
HBS			ARB	FPLN	DES	FEES	



TURBINE HALL
LOTS ROAD POWER STATION
INTERNAL ELEVATION E



NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY,
PLEASE REFER TO SHEET No IE-1.

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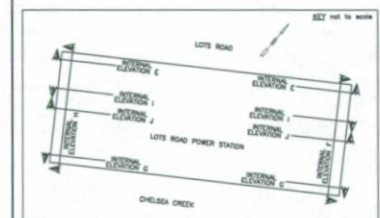
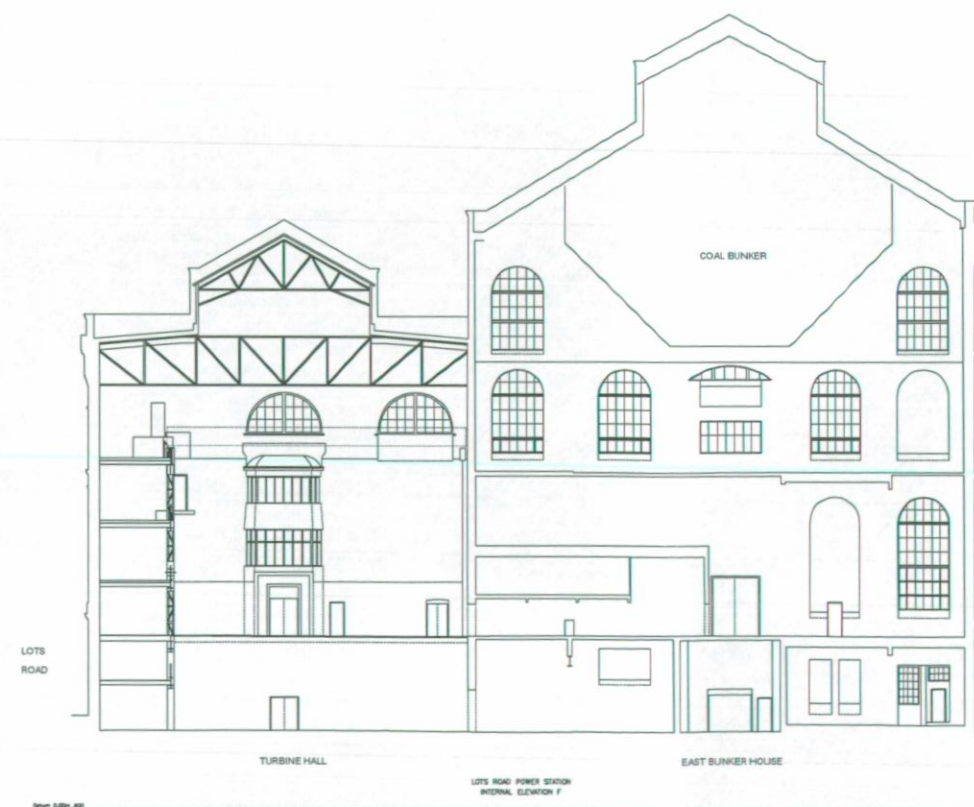
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als@aworth.co.uk als@london.compuServe.com
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Scale 1:100	Revision
Drawing number 2814	Checked AP
Sheet A2-11	Drawn BD
	Date 22/02/07

Project
LOTS ROAD POWER STATION
INTERNAL ELEVATION E

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

HDC	TF	CAC	AD	CLU	AO
AK					
R.B.		16 NOV 2007		PLANNING	
K.C.					
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NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
PLEASE REFER TO SHEET No IE-2.

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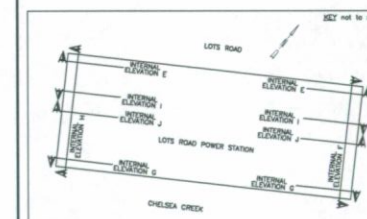
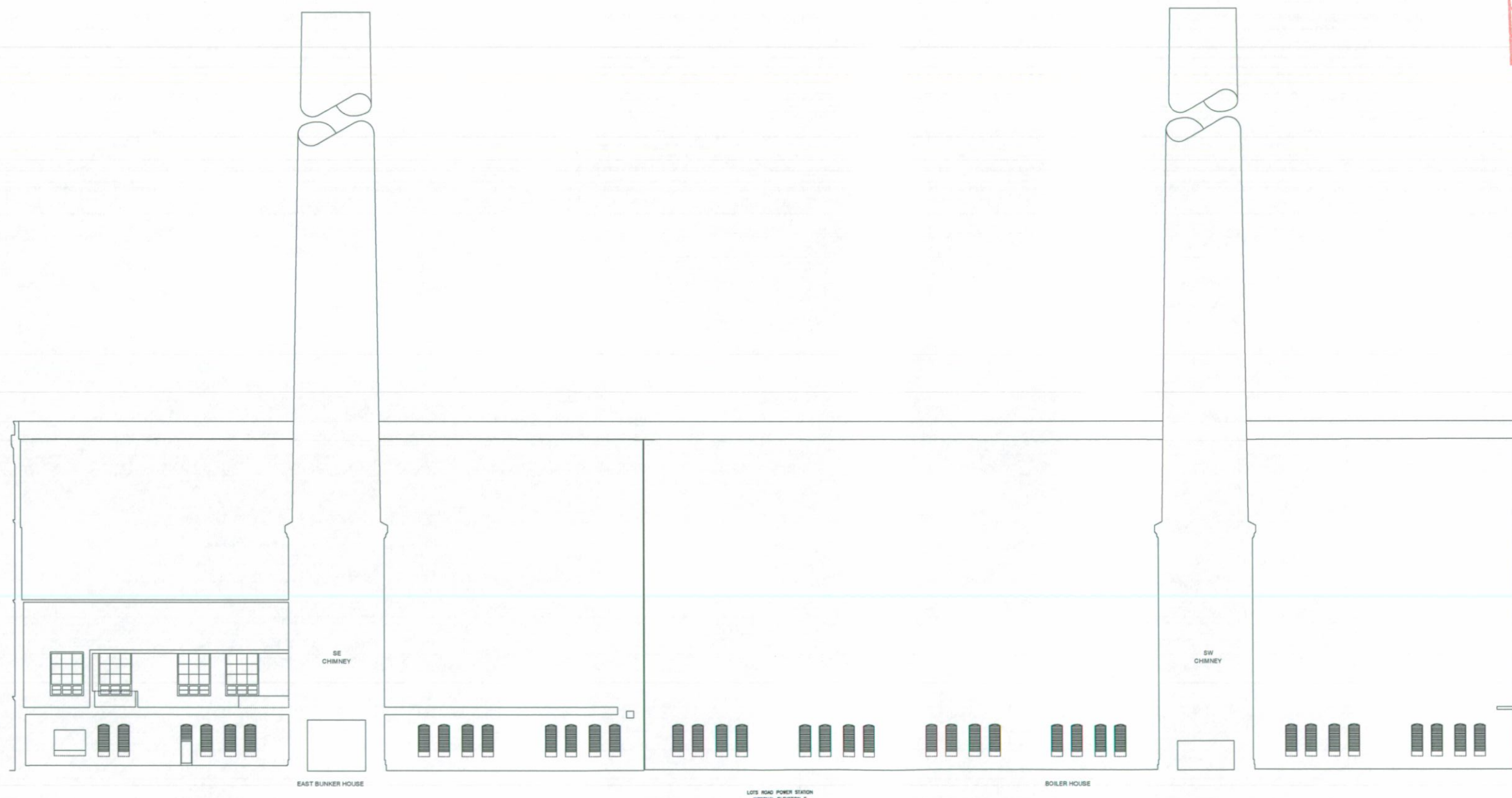
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Wimbledon, London SW19 3TZ
Tel:- 020 8544 9959 Fax:- 020 8544 1186

Scale :- 1:100	Revision
Drawing number	Checked AP
2814	Drawn BD
Sheet	Date 22/02/07
A2-12	

Project
LOTS ROAD POWER STATION
INTERNAL ELEVATION F

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B. K.C.		16 NOV 2007		PLANNING		
N	C	S		APP	IO	REC
HBS			ARB	FPLN	DES	FEES



NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY,
PLEASE REFER TO SHEET No IE-3.

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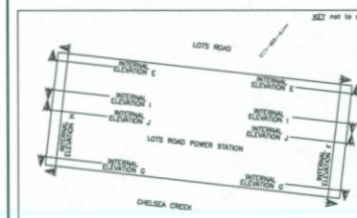
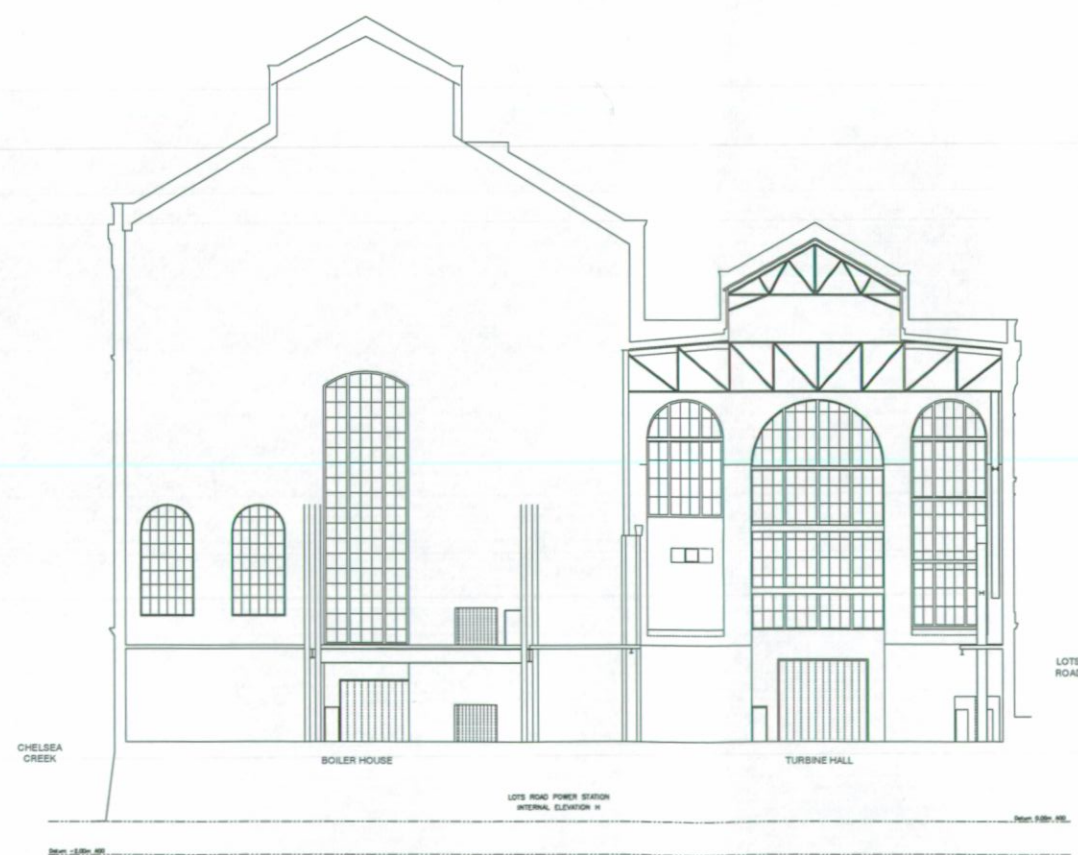
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Wimbledon, London SW19 3TZ
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Scale 1:100	Revision
Drawing number 2814	Checked AP
Sheet A2-13	Drawn BD
	Date 22/02/07

Project
LOTS ROAD POWER STATION
INTERNAL ELEVATION G

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

EX	HDC	TP	CAC	AD	CLU	AO
DIR						AK
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K.C.						
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NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY,
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Scale :- 1:100



Revision

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Date 22/02/07

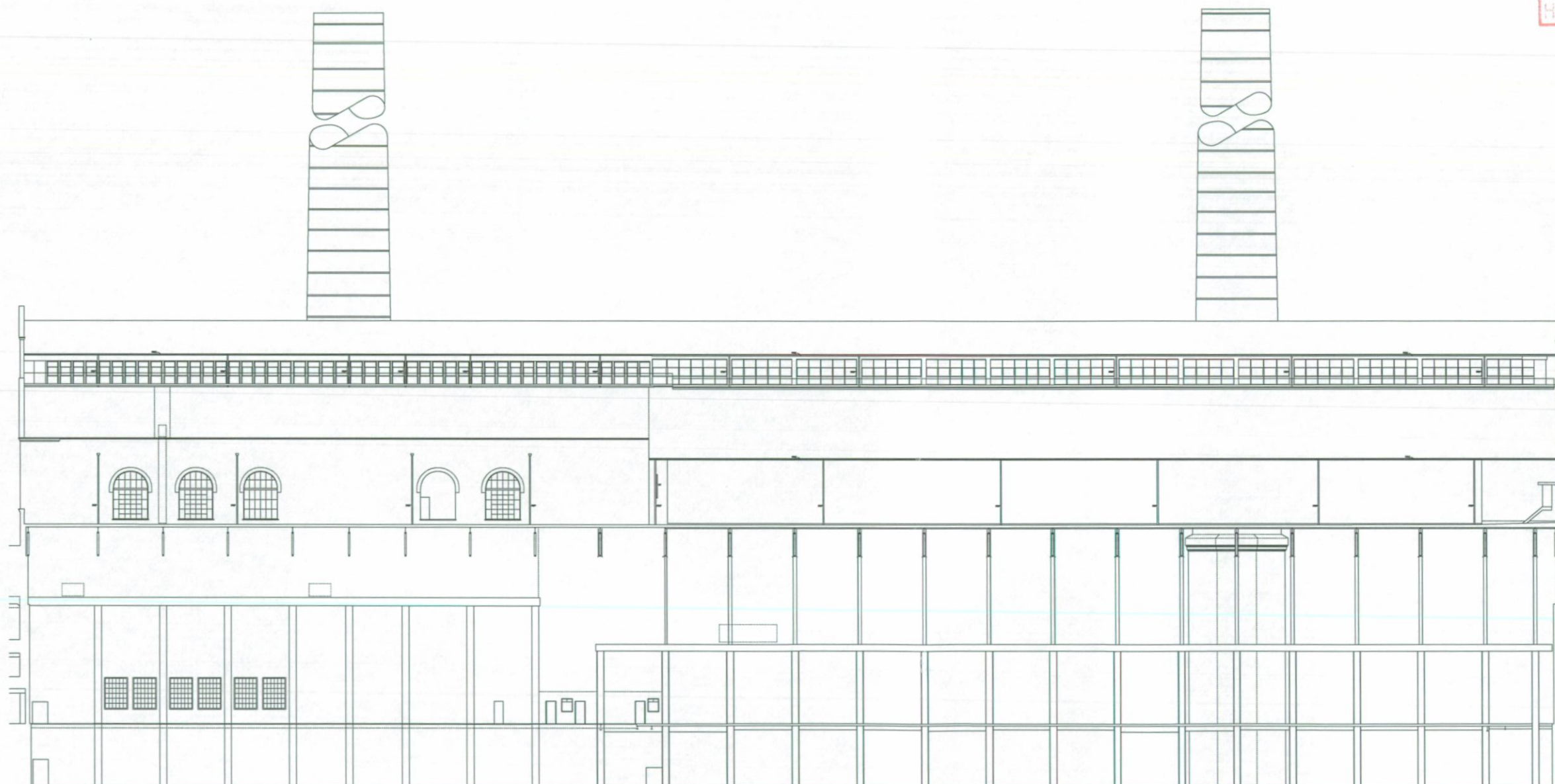
Project

LOTS ROAD POWER STATION
INTERNAL ELEVATION H

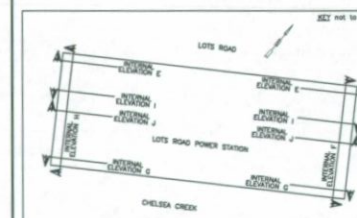
Client

HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

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TURBINE HALL
LOTS ROAD POWER STATION
INTERNAL ELEVATION 1



NOTE:
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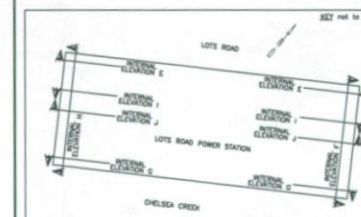
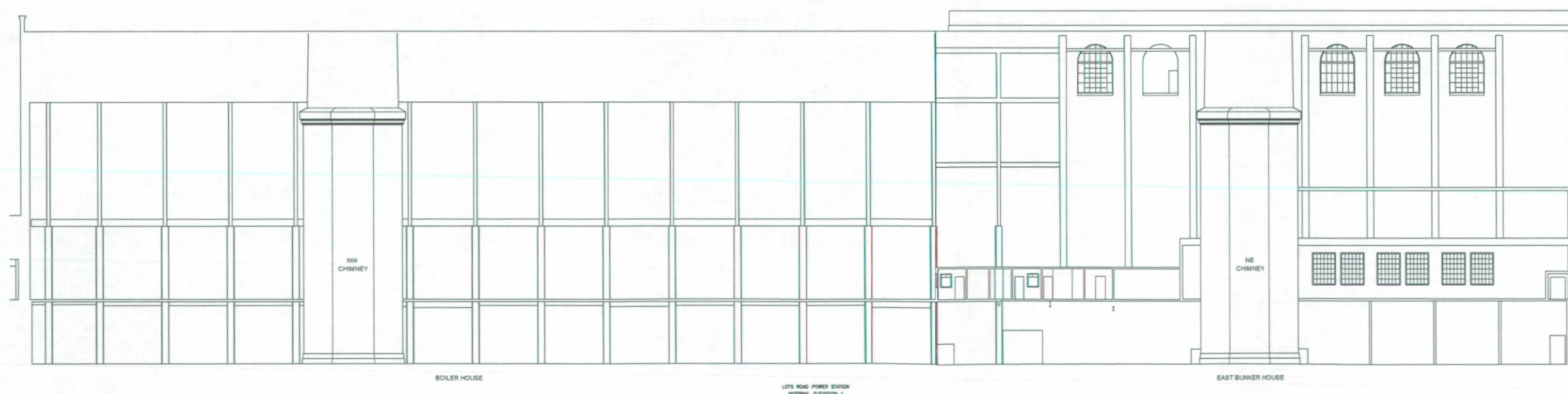
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Scale 1:100	Revision
Drawing number 2814	Checked AP
Sheet A2-15	Drawn BD
	Date 22/02/07

Project
LOTS ROAD POWER STATION
INTERNAL ELEVATION 1

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

EX	HDC	TP	CAC	AD	CLU	AO
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NOTE:
A2 FRAMES FOR PRESENTATION PURPOSES ONLY.
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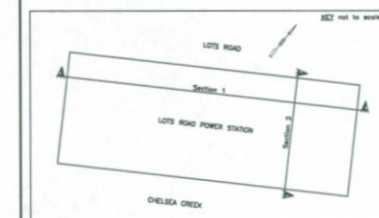
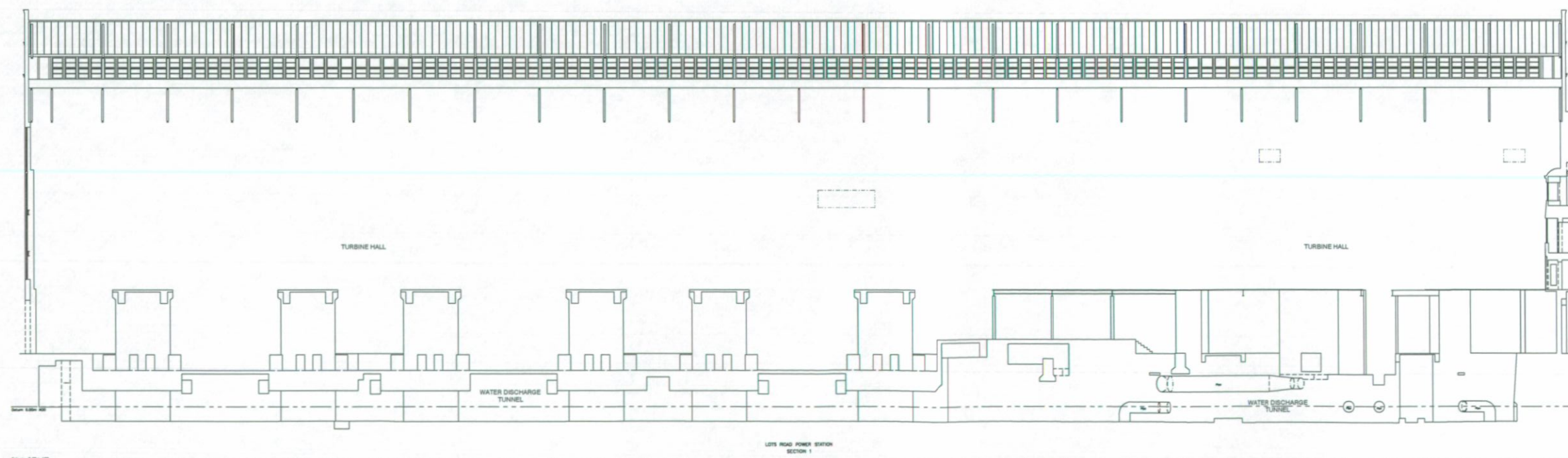
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Scale 1:100
Drawing number 2814
Sheet A2-16
Revision
Checked AP
Drawn BD
Date 22/02/07

Project
LOTS ROAD POWER STATION
INTERNAL ELEVATION J

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B. K.C.		16 NOV 2007		PLANNING		
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HBS			ARB	FPLN	DES	FEE



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A2 FRAMES FOR PRESENTATION PURPOSES ONLY,
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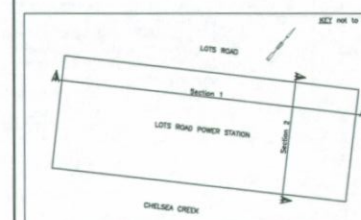
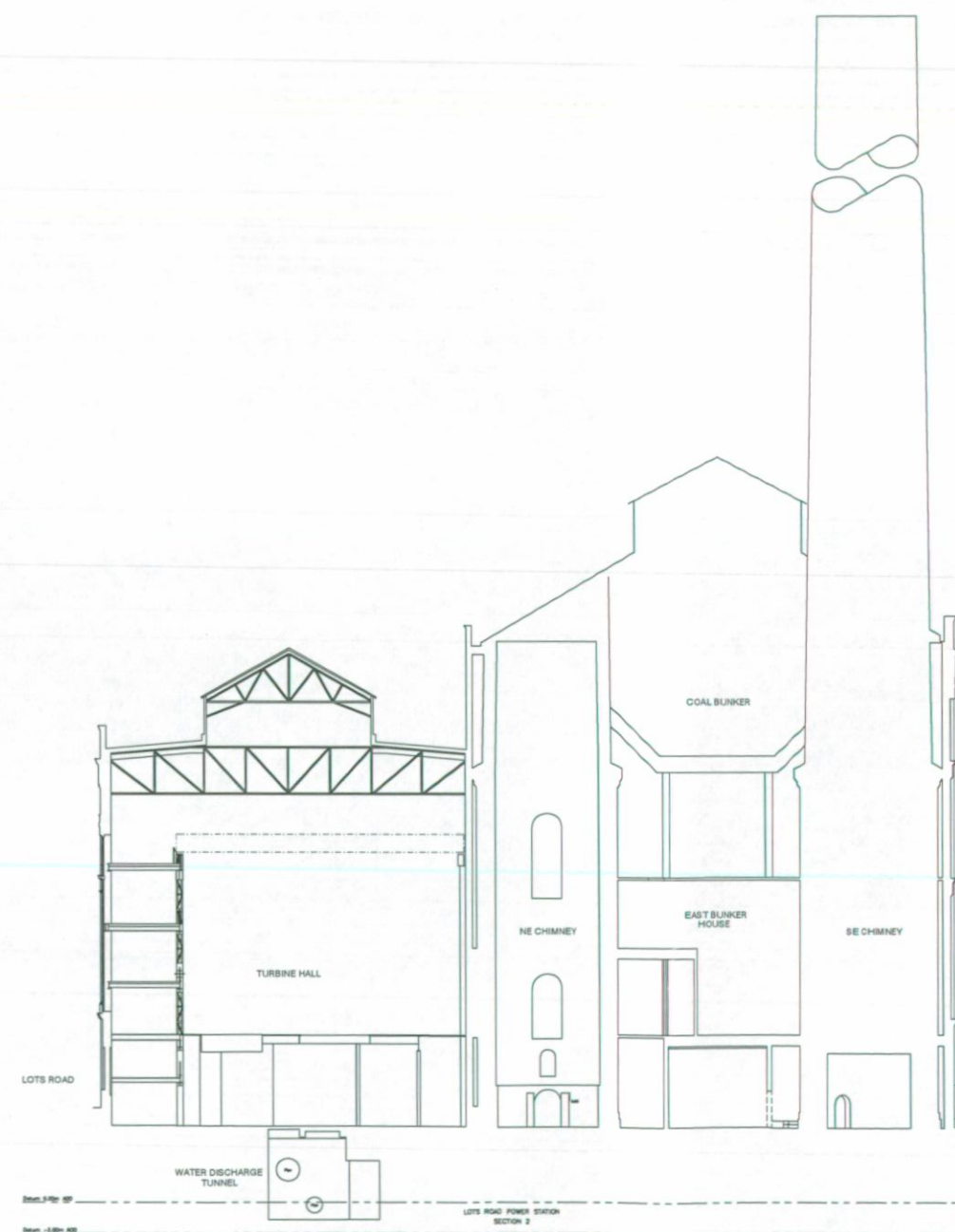
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Tel:- 020 8544 9959 Fax:- 020 8544 1186

Scale 1:100	Revision
Drawing number 2814	Checked AP
Sheet A2-17	Drawn BD
	Date 25/02/07

Project
LOTS ROAD POWER STATION
SECTION 2

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

EX	HDC	TP	CAC	AD	CLU	AO	AK
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K.C.							
N	C	S		APP	IO	REC	
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NOTE:
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CERTIFICATED COMPANY



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SURVEY
ASSOCIATION

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SURVEY CONSULTANTS

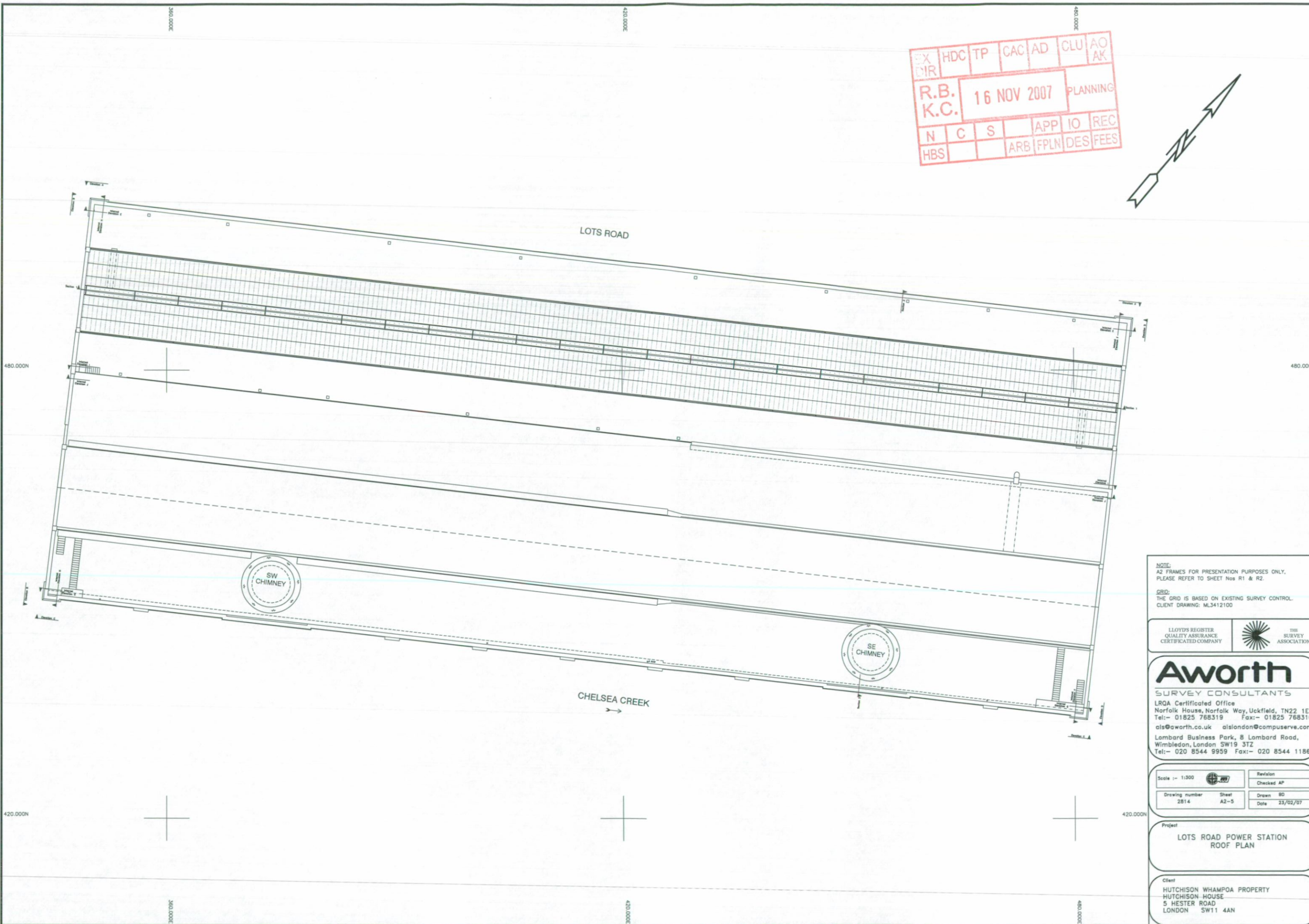
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Scale :- 1:100	Revision
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Sheet A2-18	Date 25/02/07

Project
LOTS ROAD POWER STATION
SECTION 2

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN

EX	HDC	TP	CAC	AD	CLU	AO
DIR						AK
R.B.		16 NOV 2007		PLANNING		
N	C	S		APP	IO	REC
HBS			ARB	FPLN	DES	FEES



NOTE:
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PLEASE REFER TO SHEET Nos R1 & R2.

GRID:
THE GRID IS BASED ON EXISTING SURVEY CONTROL.
CLIENT DRAWING: ML3412100

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Wimbledon, London SW19 3TZ
Tel:- 020 8544 9959 Fax:- 020 8544 1186

Scale 1: 11300	Revision
Drawing number 2814	Checked AP
Sheet A2-5	Drawn BO
	Date 23/02/07

Project
LOTS ROAD POWER STATION
ROOF PLAN

Client
HUTCHISON WHAMPOA PROPERTY
HUTCHISON HOUSE
5 HESTER ROAD
LONDON SW11 4AN



ENGLISH HERITAGE

Executive Director of Planning & Conservation,
Royal Borough of Kensington and Chelsea,
The Town Hall,
Hornton Street,
LONDON,
W8 7NX

Our ref: Your **LAG 20/074 P4**
ref: **PP/02/01324**

Telephone **020 7973 3732**
Fax **020 7973 3792**

26th November 2007

For the attention of: Georgina Slader

Dear Sir

RE: Lots Road Power Station
Approval of Specification for Geo-Archaeological Evaluation

EX DIR	HDC	TP	CAC	AD	CLU	AO AK
R.B. K.C.		29 NOV 2007			PLANNING	
N	C			APP	IO	REC
HBS			ARB	FPLN	DES	FEEs

(38)

Further to previous correspondence, I have received a copy of the Specification for a geo-archaeological evaluation of the above site. This has been prepared by the applicant's archaeological consultants at CgMs Ltd (CgMs, May 2007).

I confirm that this specification accords with English Heritage guidelines and I will monitor the works on behalf of the Royal Borough's planning authority. *GLAAS should be informed at least one week in advance of fieldwork commencing.*

Should significant archaeological remains be revealed during evaluation, further archaeological work may be necessary in order to mitigate the impact of development. This will be confirmed on receipt of the results. Any further archaeological work required will need to be adequately programmed into the timetable for redevelopment.

I will advise you further in due course regarding the full discharge of the archaeological condition as this should not be fully discharged until all phases of archaeological field and post-excavation work are complete and the results assessed.

In the meantime, please do not hesitate to contact me should you need further information. *This response relates solely to archaeological issues.*

Yours sincerely,

Diane Walls

Diane Walls MA PgDip MIFA
Archaeology Advisor
Greater London Archaeology Advisory Service, London Region
diane.walls@english-heritage.org.uk

cc: Richard Meager
cc: Bruce Coey

CgMs Ltd
RBK&C

1 WATERHOUSE SQUARE, 138 - 142 HOLBORN, LONDON, EC1N 2ST

Telephone 020 7973 3000 Facsimile 020 7973 3001

www.english-heritage.org.uk

Please note that English Heritage operates an access to information policy.
Correspondence or information which you send us may therefore become publicly available





ENGLISH HERITAGE

Executive Director of Planning & Conservation,
Royal Borough of Kensington and Chelsea,
The Town Hall,
Hornton Street,
LONDON,
W8 7NX

Our ref: Your ref: **LAG 20/074 P4**
PP/02/01324

Telephone 020 7973 3732
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26th November 2007

For the attention of: Georgina Slader

Dear Sir

RE: Lots Road Power Station
Approval of Specification for Geo-Archaeological Evaluation

Further to previous correspondence, I have received a copy of the Specification for a geo-archaeological evaluation of the above site. This has been prepared by the applicant's archaeological consultants at CgMs Ltd (CgMs, May 2007).

I confirm that this specification accords with English Heritage guidelines and I will monitor the works on behalf of the Royal Borough's planning authority. *GLAAS should be informed at least one week in advance of fieldwork commencing.*

Should significant archaeological remains be revealed during evaluation, further archaeological work may be necessary in order to mitigate the impact of development. This will be confirmed on receipt of the results. Any further archaeological work required will need to be adequately programmed into the timetable for redevelopment.

I will advise you further in due course regarding the full discharge of the archaeological condition as this should not be fully discharged until all phases of archaeological field and post-excavation work are complete and the results assessed.

In the meantime, please do not hesitate to contact me should you need further information. *This response relates solely to archaeological issues.*

Yours sincerely,

Diane Walls MA PgDip MIFA
Archaeology Advisor
Greater London Archaeology Advisory Service, London Region
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NOTE: The prediction checklist only provide an estimate of an EcoHomes rating. Predicted ratings are likely to change slightly after formal assessment by a licensed BREEAM assessor.

CREDIT REF	CREDIT TITLE	CREDITS AVAILABLE			COMMENTS	POTENTIAL ADDITIONAL CREDITS	POTENTIAL ADDITIONAL WEIGHTED CREDITS
		AVAILABLE	PRIVATE RESIDENTIAL	AFFORDABLE RESIDENTIAL			
ENE 1	Dwelling Emission Rate	15	5	7	Taken from Part L SAP analysis (with addition of CO2 emissions from cooling for Private residential). Assumed credits based on conservative estimate - needs to be checked by SAP calculations.	?	?
ENE 2	Building Fabric	2	2	2	Taken from Part L SAP analysis. Assumed credits need to be checked by SAP calculations.		
ENE 3	Drying Space	1	1	1	Assuming the provision of a line or fixings over the bath, heating to the bathroom and an extract fan with humidistat control.		
ENE 4	EcoLabelled Goods	2	2	2	Maximum credits taken assuming provision of eco labelled white goods throughout Private and Affordable apartments.		
ENE 5	Internal Lighting	2	1	1	One credit taken assuming provision of 40% low energy lighting. All fittings must be in habitable rooms and not common areas. (Note: SAP requires us to provide minimum 30% low energy lighting). Additional credit available for provision of 75% low energy lighting. To be reviewed as design progresses.	1	0.92
ENE 6	External Lighting	2	2	2	One credit taken on the basis of the provision of low energy lighting for all external and communal area lighting with suitable automatic controls. The second credit is taken on the basis that there is no dedicated security lighting and the points are awarded by default.		
TRA 1	Public Transport	2	2	2	Maximum award taken on the basis of 80% of apartments within 500m of a transport node with 15min peak and 30min off-peak service.		
TRA 2	Cycle Storage	2	1	1	Credits taken assume provision of cycle storage to 50% of apartments. 1 space for each 1/2 bed flat, 2 spaces for each 3 bed flat, 4 spaces for each 4 bed flat and above. Space available to be verified - TYP to advise.		
TRA 3	Local Amenities	3	3	3	Maximum award taken. The details of this item need to be checked to ensure all the criteria for the maximum award have been met.		
TRA 4	Home Office	1	1	1	Provision of 1.8m space and services for a home office. For 1/2 bed flats - space in living room or one bedroom. For 3/4 bed flats - space cannot be in living room or master bedroom.		
POL 1	Insulant GWP	1	1	1	Requires the specification of insulating materials that have a global warming potential (GWP) of less than 5.		
POL 2	NO _x Emissions	3	0	0	NO _x emissions with wood chip boilers are not as low as gas fired but are better than grid electricity. Expected emissions are approximately 500 mg/kWh. No credits possible with Biomass. To be reviewed if Biomass not used.	2	1.82
POL 3	Reduction of Surface Runoff	2	0	0	Require 50% of peak run off from roofs and hard standings to be attenuated to achieve both credits. (i.e. permeable paving, green roofs, holding tanks, soakaways etc). No credits taken. To be reviewed as design progresses - Thames Water may stipulate a requirement - JWP to advise.		
POL 4	Renewable & Low Emission Energy Source	3	2	2	Two credits taken on the basis of the provision of 10% of the total energy demand of the development from local renewable or low energy sources. To be confirmed with planning requirements.		
POL 5	Flood Risk	2	0	0	No credits taken. Flood risk criteria to be confirmed.	?	?
MAT 1	Environmental Impact of Materials	16	7	7	Credits assumed for A rated materials for Roof, Internal Walls, Boundary Protection. Architects to confirm assumptions.		
MAT 2	Responsible Sourcing of Materials: Basic Building Elements	6	2	2	Difficult to achieve as it requires all materials to demonstrated as having been responsibly and sustainably sourced. Manufacturers and contractors will struggle to demonstrate this point. Minimum credits taken.		
MAT 3	Responsible Sourcing of Materials: Finishing Elements	3	1	1	Difficult to achieve as it requires all materials to demonstrated as having been responsibly and sustainably sourced. Manufacturers and contractors will struggle to demonstrate this point. Minimum credits taken.		
MAT 4	Recycling Facilities	6	6	6	Maximum credits taken on the basis of the provision of three internal storage bins within apartments and communal external bins suitably sized to meet the local authorities requirements for collection. To be reviewed with waste management strategy.		
WAT 1	Internal Potable Water Use	5	3	3	Credits taken assume the use of low flow taps, showers, sanitary ware and water saving appliances. Further credits only available by application of grey water recycling. Sanitaryware/white goods specifications to be reviewed as design progresses.		
WAT 2	External Potable Water Use	1	0	0	Requires rainwater harvesting system to gain credit. No credits possible without employing rain water harvesting.		
ECO 1	Ecological Value of Site	1	0	0	Middlemarsh Environmental cannot recommend that this credit should be awarded, as habitat of moderate ecological value will be removed as part of the development.		
ECO 2	Ecological Enhancement	1	1	1	As Middlemarsh Environmental is a member of the AWTC they recommend 1 credit may be awarded subject to the recommendations in Chapter 6 of their report being observed.		
ECO 3	Protecting Ecological Features	1	0	0	Middlemarsh Environmental cannot recommend that this credit should be awarded, as habitat of moderate ecological value will be removed as part of the development.		
ECO 4	Change of Ecological Value	4	1	1	Middlemarsh Environmental recommend 1 credit may currently be awarded. A further 3 credits may be awarded if a revised planting scheme is provided that gives the site scores detailed in Section 7 of their report. TLA to advise.	3	4.00
ECO 5	Building Footprint	2	2	2	Maximum award taken based on total combined Floor Area Footprint ratio on the site greater than 3.5:1.		
HEA 1	Daylighting	3	1	1	One credit taken on the assumption that minimum daylight factors are achieved in living rooms. Additional credit may be possible but needs to be checked. Daylighting levels to be checked.	1	1.75
HEA 2	Sound Insulation	4	1	1	Assumes compliance with Part E and minimum pre completion testing. Need to be 5db better than Part E and have 30% of all apartments tested to achieve maximum credits. Additional credits possible. Cost for increased testing to be identified - DL to advise.	1	1.75
HEA 3	Private Space	1	1	0	Size of private balconies to be checked against criteria for this credit - TYP to advise.		
MAN 1	Home User Guide	3	3	3	Maximum award taken based on provision of a simple guide giving non-technical information on the operation and environmental performance of each apartment AND information relating to the site and its surroundings. Is electronic information acceptable?		
MAN 2	Considerate Constructors	2	2	2	Maximum award requires the appointed contractor to go beyond best practice site management principles defined by the Considerate Constructors Scheme. To be reviewed with Demolition Contractors.		
MAN 3	Construction Site Impacts	3	3	3	Maximum award requires the appointed contractor to have a number of procedures in place to effectively manage resource use, energy consumption, waste and pollution. To be reviewed with Demolition Contractors.		
MAN 4	Security	2	2	2	Maximum award requires the development to achieve the Secured by Design award and minimum standards of security for external doors and windows. To be reviewed as design progresses.		

Assumed Credits Achieved (Private) then weighted rating is:	Good (54.88)
Assumed Credits Achieved (Affordable) then weighted rating is:	Good (54.97)

Potential Additional Credits

8

Potential Additional Weighted Credits

10.24

Rating	Score
 Pass	36
 Good	48
 Very Good	58
 Excellent	70

PLANNING AND BOROUGH DEVELOPMENT

THE TOWN HALL HORNTON STREET LONDON W8 7NX

THE ROYAL
BOROUGH OF

Executive Director David Prout



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Web: www.rbkc.gov.uk

For the attention of Julian Shirley

15 February 2008

My reference: DCS/DCP/PP/02/ Your reference: JRS/DP1025
01324

Please ask for: Georgina Slader

Dear Sirs,

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
LOTS ROAD POWER STATION PLANNING PERMISSION REF. PP/02/01324
SUBMISSION OF DETAILS PURSUANT TO CONDITION 25 AND 29

I write in relation to the details submitted pursuant to Conditions 25 and 29 attached to planning permission PP/02/01324 dated 30 January 2006.

CONDITION 25 – ARCHAEOLOGY

"No development shall take place until the applicant, or its agent or successors in title, has secured the implementation of a programme of archaeological work in accordance with a written scheme of investigation which has been submitted to and approved in writing by the local planning authority".

Information submitted;

'Specification for a Geoarchaeological Evaluation' prepared by CgMs Consulting dated May 2007.

English Heritage's letter dated the 26 November 2007 confirms that the specification set out in CgMs' document accords with their guidelines.

This letter is to confirm the partial discharge of Condition 25. You are reminded that the archaeological condition is not fully satisfied until all phases of archaeological field and post-excavation work are complete and the results assessed.

You are asked to provide English Heritage with at least one weeks prior notice of commencement in order for them to monitor the archaeological work on behalf of the Royal Borough of Kensington and Chelsea.



INVESTOR IN PEOPLE

CONDITION 29 – RENEWABLE ENERGY

"Development shall not begin until a scheme for the inclusion of renewable energy technologies has been submitted to and approved in writing by the local planning authority. The aim of the scheme shall be to achieve a 'good' rating for Building Research Ecohomes assessment purposes and shall address the use of renewable energy sources, thermal insulation, natural ventilation, double glazing and the use of energy efficient devices. Development shall be carried out in accordance with the approved scheme."

Information submitted;

'Energy Strategy Statement' prepared by Hoare Lea dated 22 June 2007.

This letter is to confirm that the information submitted demonstrates that the proposed development will achieve a 'good' rating for Building Research Ecohomes assessment purposes and, in turn, satisfies the requirements of Condition 29. Therefore, Condition 29 is discharged.

Please do not hesitate to contact my Planning Officer, Georgina Slader, at the above address if you have any queries.

Yours faithfully


DAVID PROUT
EXECUTIVE DIRECTOR
PLANNING AND BOROUGH DEVELOPMENT

* c.c	Statutory Register	
	Paul Enwistle	London Borough of Hammersmith and Fulham
	Diane Walls	English Heritage