

Cheltenham Estate

CONSERVATION MANAGEMENT PLAN

October 2015

**Haworth
Tompkins**

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Final issue rev. 04 - October 2015

The following document is the finalised Cheltenham Estate Conservation Management Plan, issued to the KCTMO following consultation with the following bodies in September 2015:

- RBKC Planning
- RBKC Housing and Regeneration
- Historic England
- 20th Century Society
- RBKC Conservation officer Jane Wylie
- James Dunnett (Goldfinger historian)
- DOCOMOMO-UK (reviewed by James Dunnett)

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1. Introduction

The purpose and circumstances of the Plan

The Cheltenham Estate is a highly significant example of post-war British housing, designed by Ernő Goldfinger for the Greater London Council (GLC) and completed in the early 1970s. The Estate is owned by the Royal Borough of Kensington and Chelsea and managed by the Kensington and Chelsea Tenant Management Organisation (KCTMO).

The Cheltenham Estate comprises two key elements: Trellick Tower, which was listed Grade II* in 1998, and the Edenham Way Estate, listed Grade II in 2012. Trellick Tower includes a 31-storey tower block and adjacent service tower; a seven-storey perpendicular volume, and a part-demolished podium level at the base of the tower formed by three storeys of garages and tenants' stores. The dominant scale and distinctive form of the tower has established Trellick as a significant landmark, with a strong presence within both the immediate context and the wider city.

The Edenham Way Estate provides further residential accommodation within two six-storey buildings (Blocks C and E), and a series of five 3-storey buildings (Blocks D) each comprising a terrace of individual houses with private gardens. The Estate originally included a sports pitch and an old peoples' home (demolished in 2008) which fronted onto Elkstone Road to the south-east of the podium.

The demolition of structures on the site has led to the establishment of a 5,920 m² development area to the south-east of Trellick Tower, on which the Council aims to build new housing and landscaped amenity spaces. The existing buildings are also in need of significant refurbishment works. In the context of this pressure for change, the KCTMO has commissioned this Conservation Management Plan (CMP) in order to provide a comprehensive and coordinated review of the heritage value of the wider Estate.

The scope and limitations of the Plan

The CMP is not an academic treatise, nor is it a comprehensive catalogue of every physical aspect of the building. Rather, it is a working document to assist decision-making around the issues of prospective change, necessary repairs and ongoing maintenance, informed by a clear understanding of the qualities of the architecture.

The scope of the CMP as a whole is to: place the building / estate in its historic architectural context; trace the original design intent and development of the design; describe and assess the main changes that have occurred over the years; rate the current fabric in terms of conservation value and significance; identify opportunities for improvements, connections or new developments within the estate; and provide a clear set of principles and policies to which any such changes should comply.

These principles and policies are framed to:

- Recognise and value the hierarchy distinguishing the key elements and overall setting of the estate
- Retain the character and quality of the buildings and their immediate setting
- Identify elements which adversely affect the place and which should be modified or removed
- Permit adaptations and new works which are compatible with the above and which will enhance the fabric and significance of the site
- Provide an approach to the conservation of deteriorating fabric
- Draw attention to the need for co-ordination of planning, continuity of conservation advice and good housekeeping procedures
- Outline procedures by which the objectives above may be achieved

Description of the different CMP sections:

Understanding: Describes the history and architectural development of the site and buildings.

Significance: Summarises the key points of the Understanding section and gives a concise reference guide to the Estate's heritage values.

Issues and Opportunities: Describes the pressures that currently bear on the buildings and estate, the threats these may pose to significance, as well as the ways in which they might be enlisted to reinforce the architecture.

Conservation Strategy: Analyses all aspects of the buildings as a series of elements and sets out policies for maintenance, repair and change. The approach to conservation strategy is tailored to different elements of the buildings according to a stated hierarchy of significance.

The Plan should be revisited every five years and new editions produced in light of any changes that may have taken place to the fabric or management of the building.

Authorship, stakeholder participation and consultation process

The CMP has been commissioned by KCTMO. Haworth Tompkins Ltd has researched and prepared the CMP with contributions from James Dunnett, who worked for Ernö Goldfinger during the construction of the Estate and who has written extensively on Goldfinger's work.

The document also builds upon previous Heritage appraisals carried out on parts of the Estate, including KM Heritage's 2013 document 'Trellick Tower and the Edenham Estate: an appraisal of heritage significance' and Daniel Watney's 2014 document 'Planning, Development and Heritage Appraisal Report, Trellick Tower Car Park.' These are included as appendices to this report.

The draft plan was developed in close consultation with the KCTMO, and consultation with RBKC Planning and Housing and Regeneration departments, English Heritage, Twentieth Century Society, and DOCOMOMO-UK was carried out in September 2015.

Ownership of the Plan

The CMP is directed at a wide readership and will be of use and interest to anyone working in and using the building. The Conservation Strategy section and associated policies will be regularly referred to by all those who take decisions with regard to the fabric, and must be available to designers, consultants and contractors working on the building.



1. View towards Trellick Tower from the Edenham Way Estate - HTL 2015

2. Understanding History of the Site

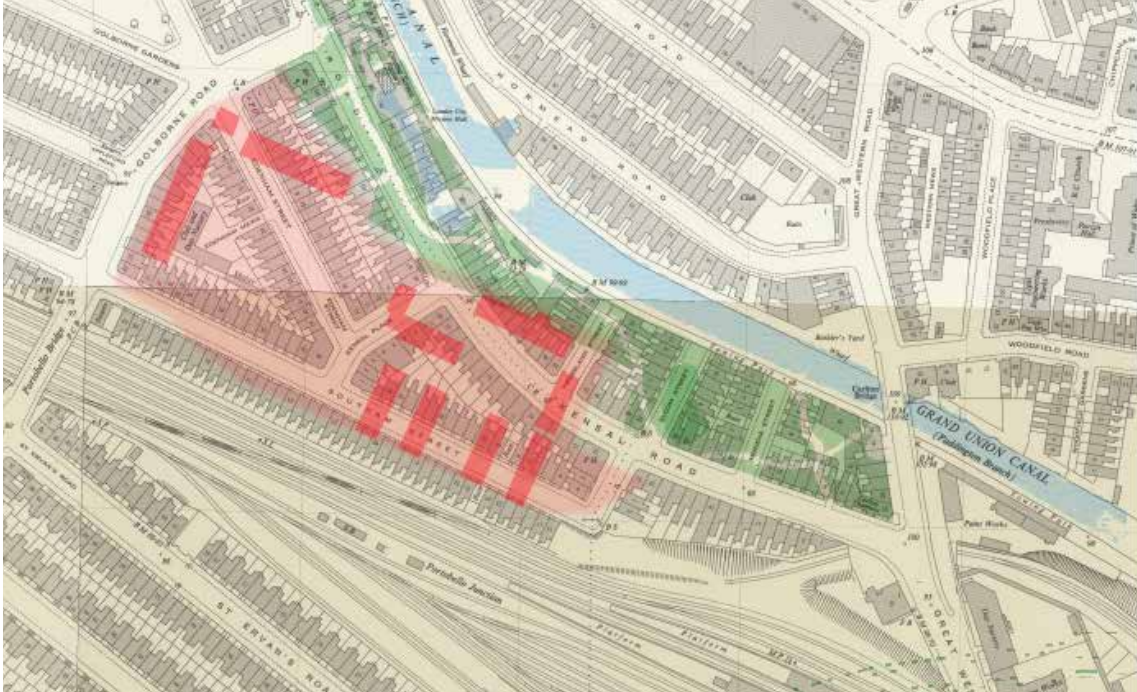
History of the Cheltenham Estate

The Cheltenham Estate is sited at the eastern edge of an area now known as Kensal Town, which until 1900 had formed a detached portion of the parish of St Luke's, Chelsea. Remote from its centre of administration, the area had become further isolated in the nineteenth century following the construction of the Grand Union Canal in 1801, and the Great Western Railway in 1838. These major infrastructural routes formed two parallel barriers across the neighbourhood of Kensal Green¹, while to the west, the community was bounded by a large burial ground (1831) and gasworks (1845).

In the mid-nineteenth century, rapid speculative development of the area began to take place, providing housing for workers typically employed at the railways, laundries and gas works. The development was characterised by tightly-packed ranges of small narrow houses with no front gardens, generating a dense and intensively occupied urban grain.

Charles Booth's survey of 1903 indicated that over 55% of the residents were in poverty, and certain areas were severely overcrowded. By 1923, Southam Street - which ran parallel to the railway on the southern side of the present Estate – housed as many as 2500 inhabitants in 140 houses. In the early thirties a five-year programme of slum clearance and improvement was undertaken, but conditions deteriorated once again during WWII. After the war, slum clearance work resumed on a more comprehensive scale, resulting in the demolition of over twenty acres of Victorian terraces. The eleven acres between Bosworth Road and Golborne Road was redeveloped by the Borough Council as a low-rise housing estate, completed in 1969, while the remainder of the clearance site was redeveloped by the Greater London Council (GLC) to designs by Ernő Goldfinger.

1 Survey of London Volume 37, Northern Kensington. Chapter XIII – Kensal Green



1. The layout of the current Estate superimposed onto the previous street pattern - HTL 2015



2-4. Photos of the Southam Street area prior to slum clearance works in the 1960s - Mary Evans Picture Library/ Roger Mayne

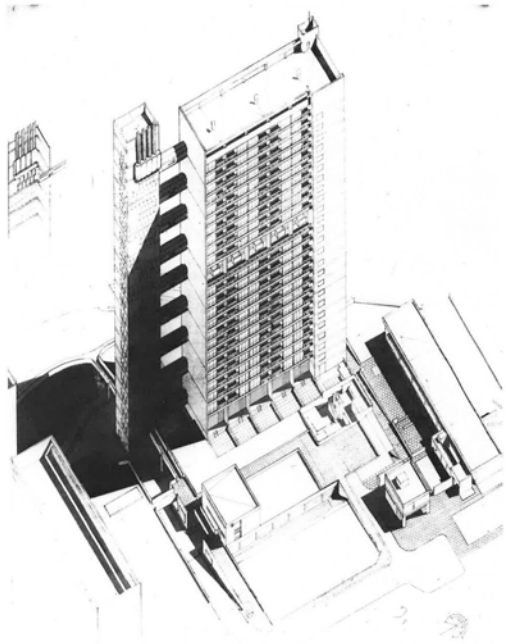
Development of the Cheltenham Estate

Goldfinger was appointed by the GLC in 1966, three years after his commission by the London County Council (LCC - predecessor to the GLC) to design a high-density housing development at Rowlett Street in Poplar. The East London scheme features the distinctive silhouette of a slender 27-storey residential tower block (Balfron Tower), connected to a separate service tower set to one side, which contains shared services such as lifts, boilers and rubbish chutes as well as communal laundries and hobby rooms. Responding to the LCC's brief for dual-aspect flats served by enclosed access galleries, Goldfinger designed a stacked arrangement of differently sized dwellings within a slender plan form, accessed from every third floor of the service tower. The high-rise elements were set within a wider development of low- and medium-rise housing and community facilities.

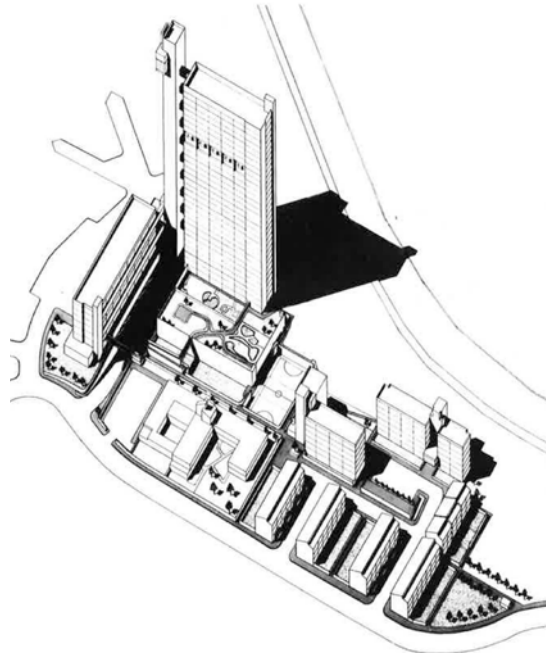
Balfron is a recognisable precursor to the 31-storey tower element of the Cheltenham Estate in North Kensington. Here, Goldfinger refined the design principles established in Poplar by increasing the overall height and by rotating the slender edge of the service tower to the principal façade of the slab block, further emphasising its verticality. The distinctive tower element forms part of a wider development of three, six and seven-storey blocks within a largely pedestrianized landscaped precinct.

The Brief

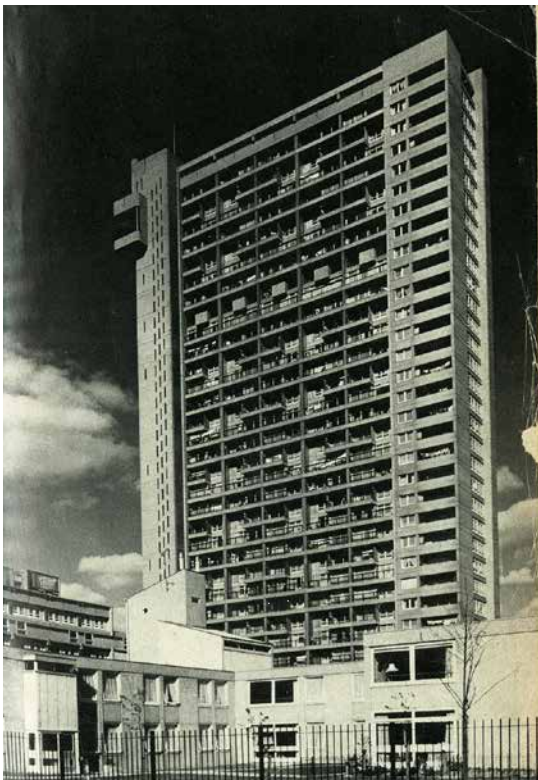
Although details of the original design brief for the Cheltenham Estate are scarce, the Goldfinger Archives held at the RIBA do include correspondence and notes on the broad requirements of the development. The GLC's letter confirming Goldfinger's appointment in April 1966 notes that the 7.65 acre site was zoned for residential use at a density of 100 persons per acre, and was to also include a Nursery School, Doctor's surgery, Old People's home, a parade of shops, a pub, and workshop areas. A further requirement for new Mission Hall to be sited within the development - replacing the London City Mission Hall that had been located on the northern side of Kensal Road – was also noted at this stage, though appears to have been omitted from the scheme at a later date.



1. Axonometric of Balfour Tower - Goldfinger



2. Axonometric of The Cheltenham Estate - Goldfinger



3. Trellick with Old People's Home in foreground - AJ 1973



4. Trellick Tower viewed from Golborne Road - AJ 1973



5. View to Block B past podium car park structure - AJ 1973

The brief for the housing accommodation noted a mix of dwelling sizes, to the following proportions:

Persons	Rooms	% Provision	No. Dwellings*	No. persons **
1 (old person)	1	2.5	5	5
2 (old person)	2	20	43	86
2 (non old person)	2	10	21	42
3	3	10	22	66
4	3	30	65	260
5	4 or 5	22.5	49	245
6	5, 6 +	5	10	60
		100	215	764

* Number of dwellings indicated here was recorded in a set of undated handwritten notes on document, but is corroborated in the minutes of a meeting between the architects and the GLC Housing Department in May 1966.

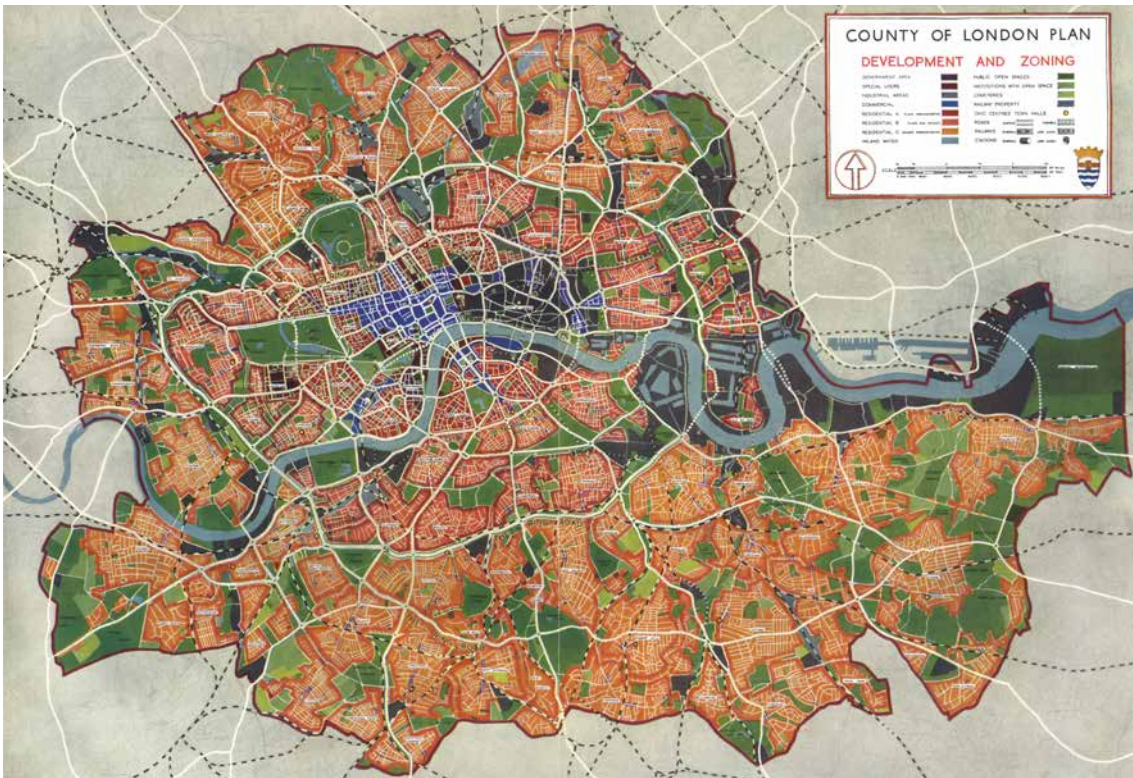
** No. of persons is indicative only, but equates to a housing density of 100 persons per acre, as directed by the County of London Plan 1943.

The housing density of 100 persons per acre aligns with the guidelines published in the 1943 County of London Plan, which was prepared for the LCC by Sir Leslie Patrick Abercrombie and John Henry Forshaw as a comprehensive strategy for the post-war development and reconstruction of London. A concise version of the plan was published by Penguin in 1945, and edited by Ernő Goldfinger and EJ Carter. The Plan addressed four major issues facing the city: traffic congestion; depressed housing; the inadequacy and distribution of open spaces; and the interrelation between housing and industrial centres. The plan also addressed further perceived problems including: urban sprawl and suburbanization; the incoherence of architectural treatments in urban areas; and the unplanned development of the railways.

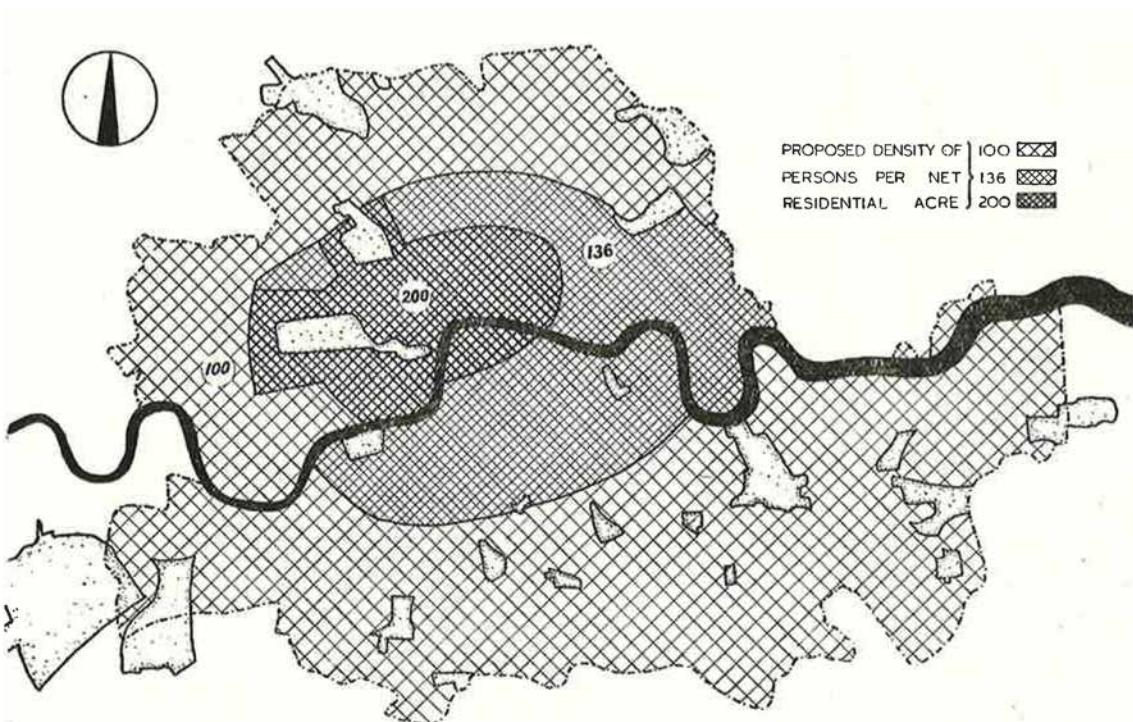
Above all, the plan promoted the idea of a highly ordered, systematized approach to city making, with a focus on segregation of traffic, high densities in urban areas, and the provision of open spaces. In response to this, high-rise social housing developments became strongly established during the post-war period, with local authorities placing focus on “the rejection of the traditional street frontage in favour of the idyll of tall flats in parkland”².

For the mid-range density areas such as that of the Rowlett Street and Cheltenham Estates, the LCC encouraged ‘mixed developments’ with a variety of dwelling types in blocks of

2 Pevsner / Bridget Cherry – London 3: North West p77



1. Development and zoning map - 1943 County of London Plan



2. Diagram of proposed population densities - 1943 County of London Plan

different heights. This led Goldfinger to propose the unique and particular compositional hierarchy that is characteristic of the two developments:

- Single high-rise slab block, accompanied by a carefully articulated landscape of low-rise elements, rather than cluster of point-blocks
- Rationalisation of circulation and services, expressed through the detached service tower and by the external circulation walkways that give form and structure to the façades of both the low-and high-rise blocks
- Architectural form and expression given to the diversity of housing and community provision, with each element forming a distinct part of a unified whole

Goldfinger's initial proposal for the Cheltenham Estate (then known as Edenham Street Housing) is described in a 1967 note on the scheme:

'The site is bounded by the Grand Union Canal, the Western Region Railway and Golborne Road and forms part of Kensal New Town. The development is undertaken on behalf of the Greater London Council, and consists of 272 dwellings, a shopping [parade, nursery school as well as an Old People's Home for the Royal Borough of Kensington & Chelsea. There is garaging for 230 cars. The dwellings are situated in four groups:

Block A: 30-storey block of flats with nursery school under
Block B: 6-storey block of flats with shops at ground level and loading bay at lower ground level

Both these blocks are served by a service tower containing three lifts to which they are connected by bridges. The service tower contains a small district heating plant, situated at the top. Vehicular access to this complex and to the garages surrounding it is by means of ramps. The garages themselves have three floors, the middle access floor being at lower ground floor level.

Block C: 29 two-room flats for the elderly
Block D: 26 terrace houses with gardens; with their own garages nearby

There is complete segregation of pedestrian and vehicular traffic to be achieved by closing most of the existing roads on the site and building new road along the railway. Kensal Road which borders the site to the North and divides the site from the canal is to be abolished and the part between this road and the canal laid out as a public open space by Westminster City Council.

NB. The site plan shows Stage I, before the closing of Kensal Road.'

14th August 1967

EDENHAM STREET HOUSING

The site is bounded by the Grand Union Canal, the Western Region Railway and Golborne Road and forms part of Kensal New Town.

The development is undertaken on behalf of the Greater London Council, and consists of 272 dwellings, a shopping parade, nursery school as well as an Old People's Home for the Royal Borough of Kensington & Chelsea. There is garaging for 250 cars.

The dwellings are situated in four groups:

Block 'A': 30-storey block of flats with nursery school under.

Block 'B': 6-storey block of flats with shops at ground level and loading bays at lower ground level.

Both these blocks are served by a service tower containing three lifts to which they are connected by bridges.

The service tower contains a small district heating plant, situated on the top.

Vehicular access to this complex and to the garages surrounding it is by means of ramps. The garages themselves

Cont./

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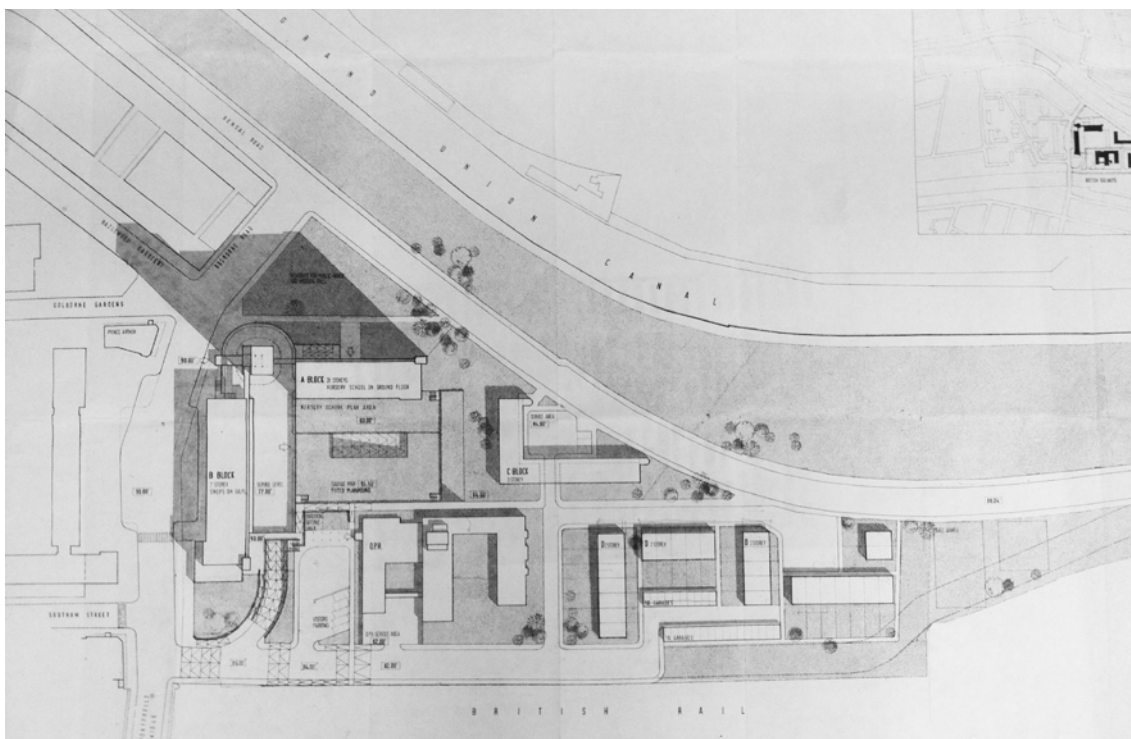
Block 'C': 29 two-room flats for the elderly.

Block 'D': 26 terrace houses with gardens; with their own garages near-by.

There is complete segregation of pedestrian and vehicular traffic to be achieved by closing most of the existing roads on the site and building new road along the railway. Kensal Road which borders the site to the North and divides the site from the canal is to be abolished and the part between this road at the canal laid out as a public open space by Westminster City Council.

N.B. The site plan shows Stage I, before the closing of Kensal Road.

1. Scheme summary, dated August 1967 - RIBA



2. 1967 site plan for Phase 1 (before the closing of Kensal Road) - Goldfinger. The second phase as built also included an additional Block E to the north-east of Block C; and the massing of the terrace housing blocks changed into a parallel arrangement, with gable ends to Elkstone Road.

The Estate Design

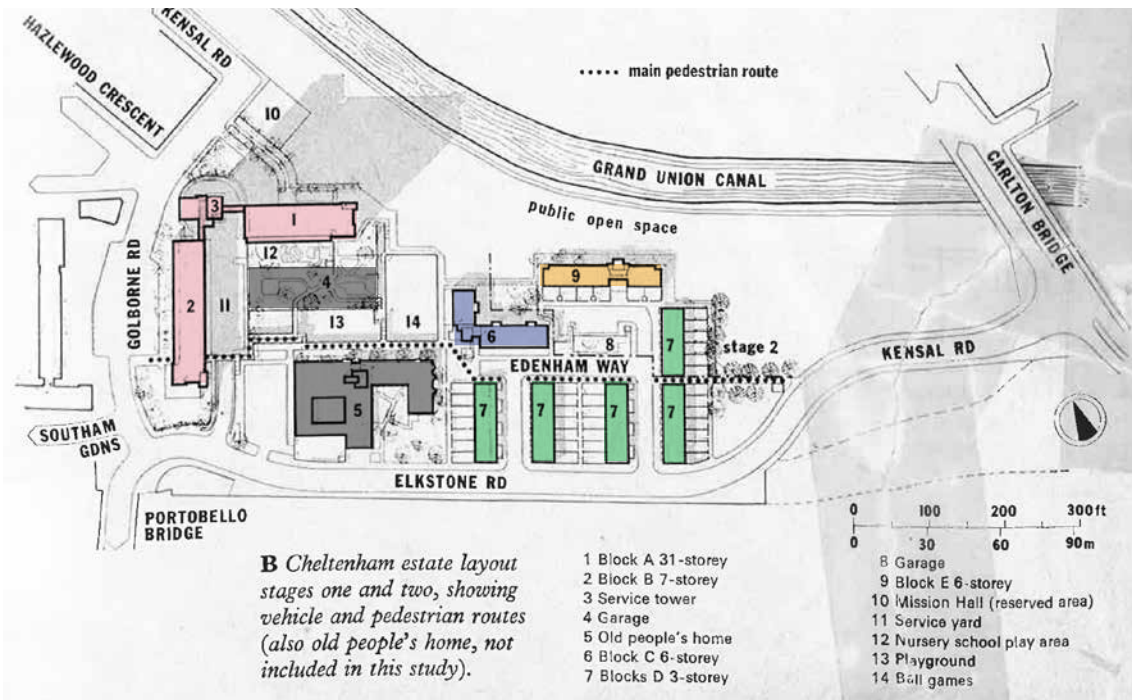
Buildings and Landscape

The Cheltenham Estate was conceived as an integrated neighbourhood, providing 317 dwellings of varying sizes; a doctor's surgery; commercial units; a nursery school and play areas within a largely pedestrianized precinct of seven acres. The development also originally included an Old peoples home (demolished in 2008) and garage (partially demolished in 1989 and now derelict). The Estate is now commonly understood to comprise two key elements: the prominent Grade II* listed Trellick Tower, and the adjacent low- and medium-rise Edenham Way Estate, listed at Grade II in 2012.

Trellick Tower includes the 31-storey tower block (Block A) and adjacent 35-storey service tower; a seven-storey volume (Block B) perpendicular to the tower and a landscaped podium level at the base of the tower formed by three storeys of garages and tenants' stores. This element provided shared amenity spaces and a network of ramped pedestrian routes, which formed a strong horizontal counterpoint to the verticality of the tower. The podium was originally bounded by a sports pitch to the east, and the Old People's Home to the south, which fronted onto Elkstone Road. The dominant scale and distinctive form of the tower has established Trellick as a significant landmark, with a strong presence within both the immediate context and the wider city.

The Edenham Way Estate provides further residential accommodation within two six-storey buildings (Blocks C and E), which are largely oriented along the east-west axis of Block A; and a series of five 3-storey buildings (Blocks D) each comprising a terrace of individual houses with private gardens, positioned parallel to Block B with gable ends to Elkstone Road and the railway.

The low-rise elements and landscaping formed an important setting to the dominant form of the tower, and generated a well-defined network of open spaces of varying scales. These elements are also representative of Goldfinger's aim to create a 'lifetime neighbourhood' in which a diverse provision of dwelling types is supported by integrated community facilities and amenity spaces.



1. Site plan diagram (with HTL adaptations) - AJ 1973



2. Axonometric diagram (with HTL adaptations) - AJ 1973

Trellick Tower

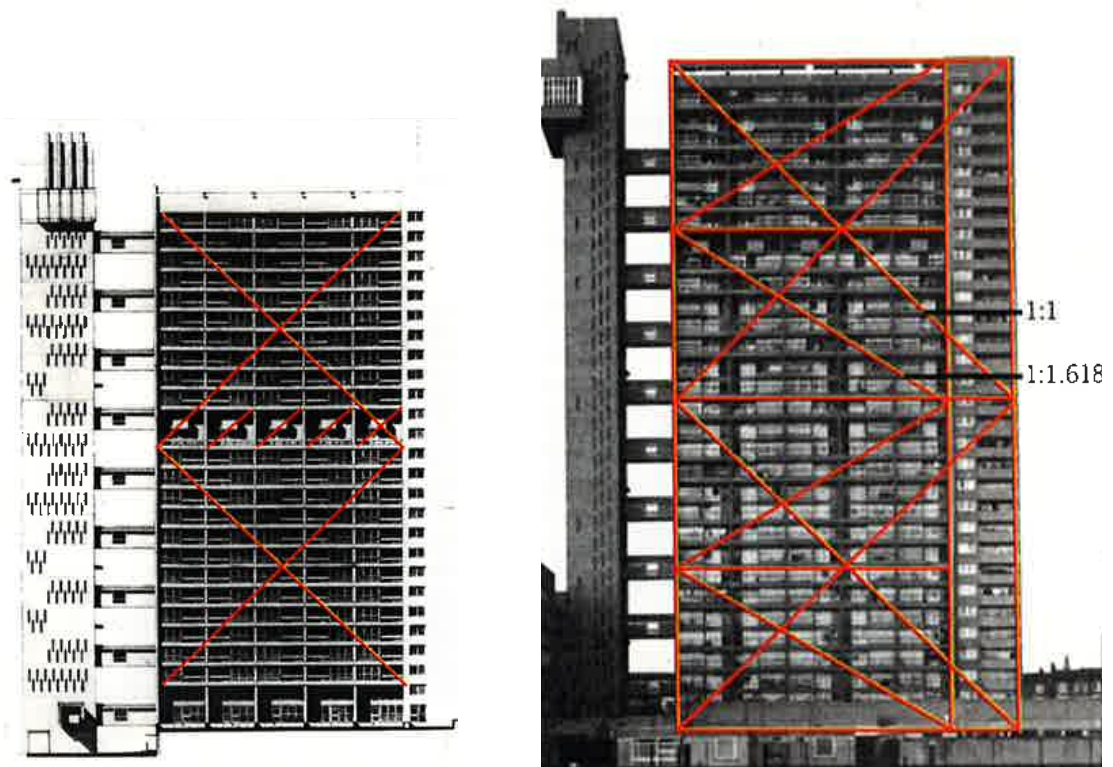
The tower forms of Balfron and Trellick are clear expressions of an Idealist tradition in modern architecture, which promoted the utopian principle of ‘sun, space and greenery’ alongside the efficient organisation of services, split vehicular and pedestrian movement, and communal facilities.¹ This principle can be seen in the overall site massing of the two projects, and is further articulated in the architectural form given to the detached service tower. James Dunnett has noted however that the distinctive silhouette that this produces is in fact:

“...a highly original synthesis, and is perhaps Goldfinger’s most expressive invention. The lift tower, taller than the main Block and set emphatically to one side, creates an extraordinary, almost sinister asymmetrical outline, as though in unstable equilibrium – an effect enhanced by the extreme slenderness of the block...The boiler house at Edenham Street is cantilevered far out from the summit of the lift tower and, with its four chimneys and continuous band of glazing, resembles the bridge of a warship. The sheer concrete walls of the lift tower are pierced only by slits, which cascade down the façade like rain, bearing a hint of menace. Above all the sheer scale of the blocks is exciting, but unnerving – a scale which is emphasised at night by powerful flood-lights which illuminate the estate from the summit of the slab.”²

The elevational language of the blocks is defined by the expressed structural frame and by the rhythm of window openings and balconies, whose composition is generated according to the principles of proportional design. The overall proportion of Block A in its original form (with cornice intact), is a double square, while four Golden Section rectangles can be identified within the façade. On the south elevation of Block A and west elevation of Block B, the concrete cross wall structure is emphasized by the deep modelling of the recessed private balconies. Bush-hammered finishes to the exposed in-situ concrete frame alongside pre-cast fascia panels with exposed aggregate, amplify the sense of structural weight and solidity. On the north and east elevations, the circulatory patterns of the blocks are expressed through the linear rhythm of projecting access galleries, supported on pronounced concrete brackets. These deliberately over-scaled elements emphasise the architectural primacy of the concrete structure and punctuate the composition of horizontal and vertical structural elements.

1 James Dunnett – The Architect as Constructor – AR April 1993

2 James Dunnett – The Architect as Constructor – AR April 1993



1. Diagram by James Dunnett superimposing the proportional schemes of double squares and Golden Section rectangles onto the elevations of Balfour Tower (left) and Trellick Tower (right) - AJ



2. View to Trellick Tower from Golborne Road bridge - RIBA



3. The landscaped podium at the base of Trellick Tower - RIBA

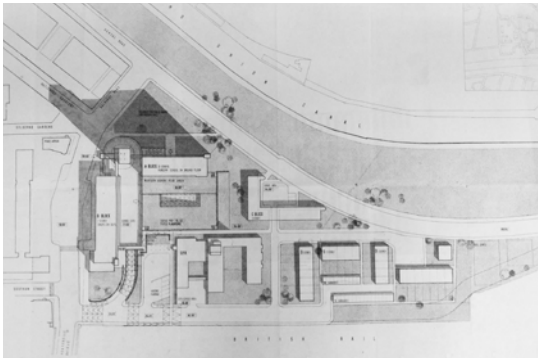
Edenham Way

The Edenham Way Estate comprises a group of seven low- and medium-rise buildings to the east of Trellick Tower, oriented perpendicular to Elkstone Road. The estate includes two 6-storey blocks of flats and maisonettes (C and E), principally aligned parallel to Block A; five 3-storey blocks of Terrace housing (Blocks D), as well as a freestanding single-storey garage structure with a planted allotment roof. An earlier iteration of the design showed an interlocking arrangement of terrace housing with individual garage structures; in the built scheme the terrace blocks were re-oriented into a parallel arrangement with gable ends to Elkstone Road and Edenham Way. The Estate originally included an Old People's Home, demolished in 2008.

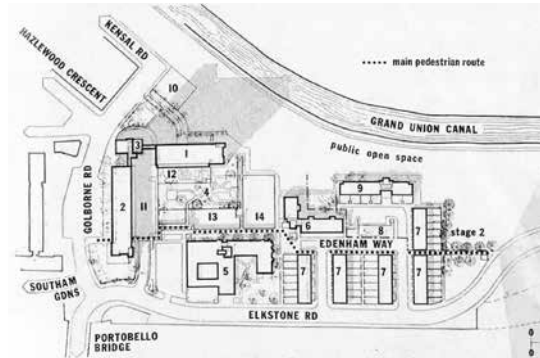
The Estate was built in two phases:

- Phase 1 (1969-71): Block C and four rows of Block D terrace housing. Kensal Road maintained between Estate and Canal
- Phase 2 (1972-3): Kensal Road closed and area converted to public open space; Block E and fifth terrace of Block D constructed

The block types are architecturally distinct but feature common materials and details, such as high quality brickwork and finely detailed bush-hammered concrete. The six-storey blocks also have clearly defined front and back elevations, with the primary façades characterised by the exposed brick cross-wall structure framing each dwelling, and the secondary façades generated by external access corridors. This hierarchy provides a strong visual unity with Trellick Tower. The Edenham Way Estate was listed at Grade II in 2012.



1. Phase 1 plan showing 1967 scheme for Edenham Way - Goldfinger



2. Site plan following phase 2 - Goldfinger



3. View to Block D terraces - RIBA



4. View to Block D stepped terrace - James Dunnett



5. View to Edenham Way Estate from Trellick Tower (following completion of phase 1) - RIBA



6. View to Trellick with Blocks D and C in foreground - RIBA

Reception: James Dunnnett

Edenham Street Housing Phase I was reviewed at length in the Architect's Journal (AJ) in April 1973, following its completion the previous year, but very much in a spirit of wonder at a dinosaur belonging to the distant past. Heavyweight concrete and high-rise housing were by this time very much off the agenda, and the AJ reviewer, while admiring the thoroughness and 'control of detail' in Goldfinger's design, ventured to prefer the five-storey nearly-contemporary GLC courtyard housing on the other side of Golborne Road as a setting for family life. The 34 charming three-storey terrace houses, the two six-storey blocks of smaller flats, and the two-storey Old People's Home (now demolished), all built of brick with stained timber panelling in places, that also form part of the Cheltenham Estate, should not be ignored, but of course it is the tall block, Trellick Tower itself, that gets all the attention in the AJ and subsequently.

There had been some resistance to the height of Goldfinger's proposed tower at Balfron and by the time the Cheltenham Estate was under construction, this resistance was more marked. High rise housing was by now very much under question, and a lower-rise pattern had been established by schemes such as Darbourne and Darke's 1961 competition-winning housing at Lillington Street, Westminster. This trend was cemented, at least in the popular imagination, by the notorious partial collapse of Ronan Point, a system-built tower block in east London, following a gas explosion in 1968 soon after the Cheltenham Estate had started on site. The imminent introduction of the Housing Cost Yardstick also threatened the viability of high rise schemes - formerly subsidised - on cost grounds. With Goldfinger still in favour with the GLC, there was a frantic rush to get Edenham Street Housing Phase I on to site before it came into effect.

But by the time the Estate was completed in the early 1970s, the dominant form of Trellick tower came to be seen as an anachronistic symbol of the principle of high-rise housing development. In the years following its completion the revulsion against high-rise social housing only got more intense. Goldfinger had argued for the provision of a concierge and created space for one in the entrance hall of Trellick Tower, but none was provided and the space was subsequently walled off to provide room for the electrical intake gear for the night-storage heating system latterly installed as a substitute for the original oil-fired system. As drug culture took hold the many exits and communal rooms and stairs and passages all became attractive to drug dealers and had to be closed. On one occasion, flooding of the main electrical intake room beneath the circulation tower, caused by malicious opening of

Fig. 1-2

Fig. 3

Fig. 4



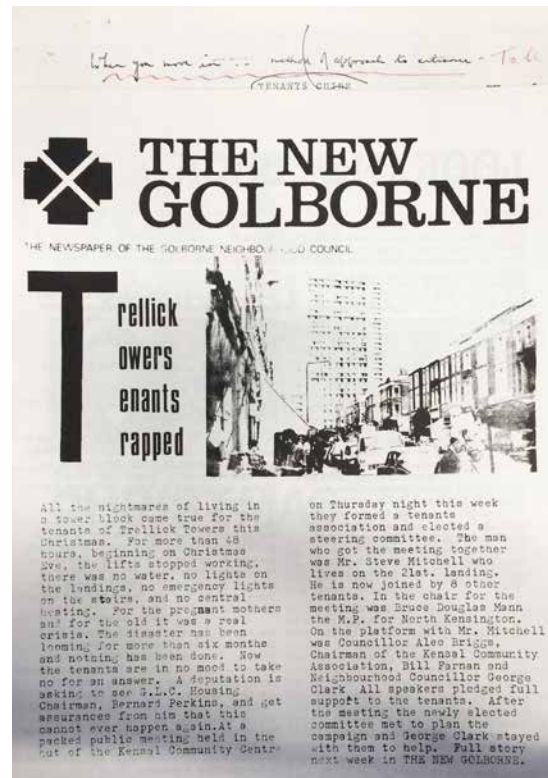
1. Lillington Gardens, Westminster, Darbourne & Darke architects - RIBA



2. Lillington Gardens, Westminster, Darbourne & Darke architects - RIBA



3. Ronan Point collapse - RIBA



4. Golborne Neighbourhood Council newspaper (date unknown) - RIBA

fire hydrants, led to the whole block being without power - reputedly for two days just before Christmas. Trellick got called 'the Tower of Terror' in the press, and it acted as a lightning rod for all the built-up horror and resentment at that housing form, a role for which its assertive architecture suited it. In 1972 Goldfinger had moved his office from Piccadilly into one of the shop units in the tower originally intended as a pub, but by now having no work, he closed it again and retired in 1977. Unlike at Balfron, children ran along the tops of the concrete parapet walls and somewhat cumbersome caps had to be installed to stop them, and the nursery school at ground level beneath the tower had to be closed because of the risk of objects falling from the balconies above onto the play space. With the abolition of the GLC in 1985 the Estate was transferred to Kensington and Chelsea Council, who had it surveyed and found incipient decay beneath the cornice at roof level of the tower, which was promptly removed (as also at Balfron), doing serious damage to the architecture.

A concierge was installed in the mid 1980s and gradually, as the Council learned better how to manage such a building, conditions began to improve. Tentative complimentary articles began to appear such as 'Tall Story' by Stephen Hownslow in *The Iron Age - Thatcher's Years* (1987). This followed the major exhibition at the Architectural Association in 1983 organised mainly by myself in face of an initial desire by Chairman Alvin Boyarsky to restrict it to Goldfinger's pre-war work. The RIBA bought his entire archive for £8,000 shortly before his death in 1987, and the National Trust acquired his house at Willow Road following that of his widow in 1991, as their first 'Modern' house. By now most of Goldfinger's surviving work is listed, if still controversial. The challenge is to make that listing effective so as retain the inspirational qualities of his architecture.

James Dunnett - March 2015

Trellick Towers

From Lillianne Sinclair
Sir:

As one of the people actually living in Trellick Towers, I would like to protest in the strongest possible terms against the recent criticism (AJ 10.1.73 p77) of the Cheltenham Estate as a whole and Trellick Towers in particular. While I accept that, as with all projects, there are faults and mistakes in design and execution, I feel that we should all ask first, what did the estate replace? and second, where did we all live before? Nobody I know moved here from Mayfair and I haven't noticed any tears being shed for the faded glories of the demoralising slums that festered



was responsible for the decision not to have double-glazing, either. As the level of noise is quite acceptable really, when the windows are shut, I imagine that double-glazing would effectively eliminate noise disturbance altogether.

Turning to the much-publicised social aspect of the question, Trellick Towers has club rooms, play rooms, a nursery section, and so on. But whatever it did or did not have, I would like to remind all those critics who complain about the anti-social effects of tower blocks that social relationships are basically the responsibility of people—not buildings! If people were half as good at dealing with each other as Trellick Towers is at dealing with the problems of shelter and comfort, then we'd all live happily ever after.

Finally, when the estate is finished and the canal walks, trees, grass and play areas have dimmed the memory of the dirty, dingy, damp, derelict streets of over-priced misery that were here before, I suggest that all those who live in better conditions than us should be humbly thankful, while all those who don't should come and ask Mr Goldfinger how it's done. They can take it from me that he's at least trying to answer the right questions.

On behalf of my husband and three children,
Lillianne Sinclair
London W10

Standards and beyond

From E. A. Elders, Head of Public Relations British Standards Institution

Sir:
Mr Seymour-Walker's article (AJ 28.3.73 p745) on Standards—good as it was—could give a wrong impression on one or two points to readers who do not know as much about

The joys of living in a tower block

Not everyone holds the Prince of Wales's negative view of high-rise flats

LAST WEEK in Glasgow, the Prince of Wales again attacked the idea of high-rise flats. Yet they have their supporters.

Lee Boland is one of the unlikely fans of high-rise building. Her flat is perched 24 floors up Trellick Tower, in west London, which was completed 21 years ago. Outwardly, it does not seem to have much going for it. Bounded to the north and east by the Grand Union Canal and to the south by the mainline railway to Paddington and the elevated section of the A40, even its situation is not very promising.

It was built of concrete which was bush-hammered to give it a pitted appearance. At 30 floors, it was the highest residential building in Britain, but was completed at a time when high-rise was already out of fashion. Many other blocks were coming down, suffering the very public humiliation of televised demolition.

The Trellick Tower was designed by Erno Goldfinger, not the dastardly arch-enemy of James Bond, but a lifelong advocate of high-rise and concrete, an enemy to many. Perversely, Goldfinger was an admirer of Robert Adam and wanted to be remembered as a classical architect.

Given its modernist credentials, it is not surprising that the Trellick Tower is popular among the architecture fraternity. What is remarkable, is that this example of the Brutalist school—an apparently unholy alliance of modernism and concrete—should be popular with its residents. But it is.

Mrs Boland is a civil servant and secretary of the Trellick Tower residents' association. She is also a great defender of the block. Having lived there since it opened in 1972, her knowledge of it is extensive. She even met Goldfinger and complained to him about the lack of a broom cupboard.

Since then, however, she has had no complaints, only praise. Like all the flats, her two-storey maisonette has a large south-facing balcony and, from the 24th floor, she says: "The view is excel-

She and her husband brought up their family there. Her two daughters were educated in the now closed nursery school below the tower, and she attends residents meetings in the room designed for that purpose—"Goldfinger thought of everything", she says.

Attention to detail and generous proportions are the keys to the success of the building. Marble was used to line the entrance hall, while the rooms are larger than required by the regulations.

Since the concierge was installed three years ago, vandalism and burglary have declined and the only problems she now encounters are the visiting architecture stu-

dents, whom she finds "very time-consuming". She regularly defends the building against detractors but saves her main praise for her own flat, saying: "It is excellently proportioned and, broom cupboard aside, the design is very well thought out."

'The view is excellent — I'm not afraid of heights'

She is not alone. A 1986 survey showed that 87 per cent of the 450 residents liked their flats and that 56 per cent even approved of the tower itself. However alien it appears from the outside, Goldfinger attempted to humanise the interior. According to Mrs Boland, he also understood how to create a community, and she favourably compares the tower to the United Nations.

Erno Goldfinger died six years ago, 15 years after the completion of the Trellick Tower, which turned out to be his last public building. While professional pundits argue over the value of his work, the fate of high-rise residences has been sealed by shabby standards, hostile environment and royal condemnation. But perhaps the best advertisement for it is Mrs Boland, sitting 24 floors up in a much-maligned tower block, still admiring the view and design two decades after moving in. She plans to stay forever, she says. "Unless I win the pools and buy a house—but even then my husband says he'll stay."

LUKE FISHER

1. Article in the Architect's Journal- 1973

2. Article in The Times - Nov. 1993

Developments post-construction

Although the overall form and massing of the Estate is largely intact, a number of changes have been carried out since completion, including significant developments such as the part-demolition of the podium structure in 1989 and demolition of the Old People's Home in 2008; changes to servicing strategies; and numerous alterations to the fabric of the buildings including replacement of windows and cladding and internal modifications.

Demolition of the podium

The three-level podium structure originally projected 33 metres to the south of Block A, providing 1700m² of vehicular and motorcycle parking, residents' storage areas and a car wash. The south façade fronted onto a narrow parcel of land between the podium and the ramped access walkways of the carpark, and featured a perforate brick screen within a square concrete grid frame. Fragments of this brick treatment can be seen in surviving parts of the ramped structures.

Fig. 3

The landscaped roof of the podium included a walled play space associated with the nursery school and public open space connected to the network of pedestrian walkways that negotiated the complex levels of the site. As well as providing key functional elements of the integrated neighbourhood, the landscaped podium was also intended to provide an attractive visual amenity to the residents of the tower. Architecturally, the podium formed a strong visual base and horizontal counterpoint to the tower, and was a key constituent of the broad compositional arrangement originally developed at Balfron (where the podium element was formed by a deeper, single-storey garage building).

Fig. 4

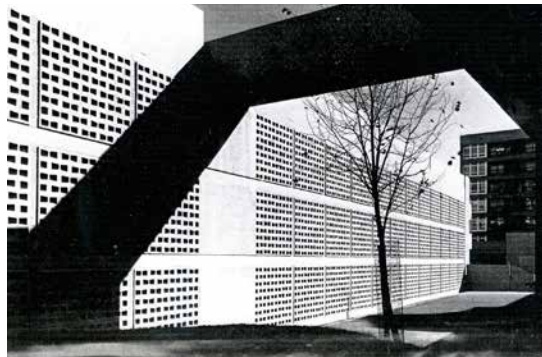
However the brief for the carparking provision at Trellick far exceeded that of Balfron, and the subsequent under-use coupled with poor maintenance led to problems of anti-social behaviour. The external amenity space was also compromised when the nursery area was closed in response to the risk of objects falling (or being thrown from) the balconies above. By 1989, the carpark was seen as a redundant element within the site, and demolition was proposed in order to make way for an unrealised proposal for housing at the base of the tower. Partial demolition of the structurally independent raised section was carried out, severely compromising the architectural value and communal function of the remaining severed elements. Recent heritage assessments by KM Heritage and Daniel Watney have noted that this has significantly undermined the setting of Trellick Tower and the estate as a whole (please refer to the appendix for copies of these reports).



1. Original eastern elevation of carpark podium - James Dunnett



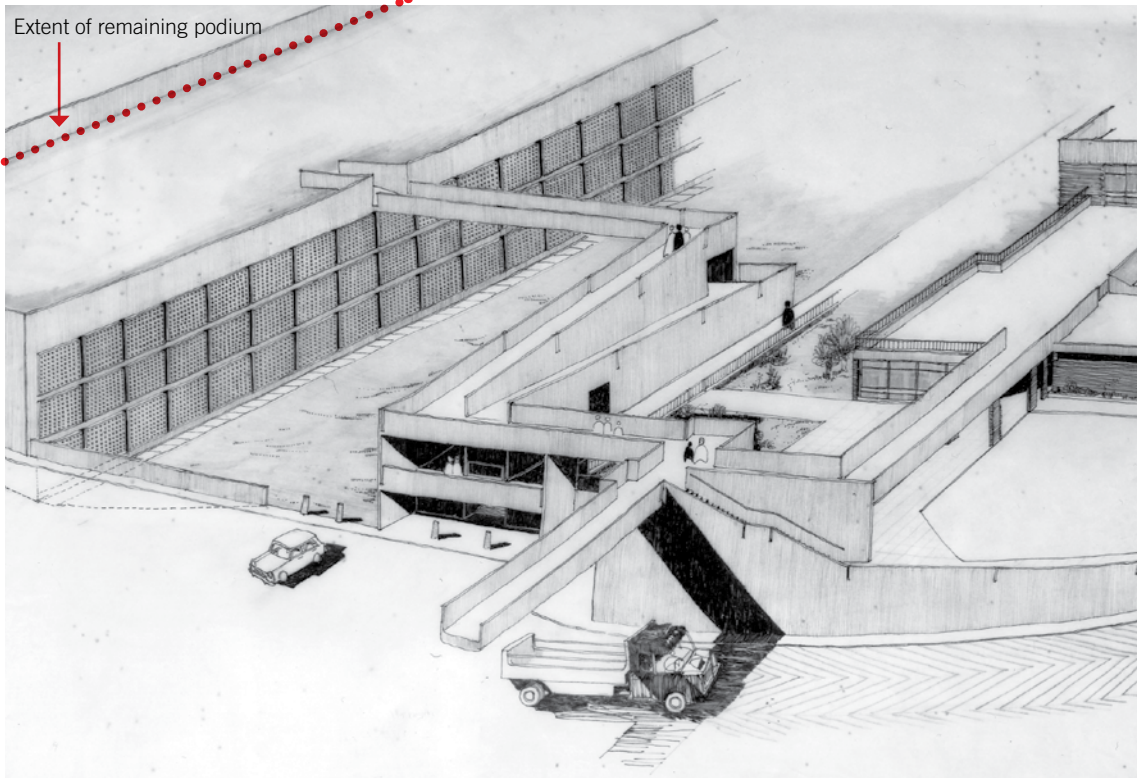
2. The remaining podium after partial demolition - J. Dunnett 1989



3. South façade of the podium with perforate brick infill - James Dunnett



4. The original landscaped podium viewed from Block A - RIBA



5. Drawing showing original pedestrian ramps and bridge connecting to the south façade of the podium - Goldfinger

The remaining podium structure, which is currently unused, is a highly compromised fragment of the original building that no longer makes an active contribution to the Tower's facilities or its setting.¹

Block A cornice

A common feature at Trellick and Balfron are the concrete 'cornices', which were removed from Block A in the 1980s in response to concerns about decay at the base of the structures. These raised concrete parapets spanned the top of the long edges of the slab blocks, forming a distinct crown to the buildings and continuing a theme of articulated detachment that is expressed most dramatically in the position of the service tower, but which can also be seen in the detail of secondary elements such as walkway parapets. Planning permission was sought to re-instate the cornice as part of the extensive works proposed by John McAslan & Partners in 2006, but this has not yet been carried out and is unlikely to be.

Demolition of Old People's Home

In 2008, prior to the listing of Edenham Way Estate, the council demolished the two-storey Old People's Home fronting Elkstone Road, in spite of vigorous opposition from residents and the local community. The council's justification for demolition was articulated as follows:

*"Edenham is 30 years old and fast falling behind the modern standards set by government, as well as the modern expectations of older people and their relatives. Older people increasingly want to be cared for at home and to have more privacy and en suite facilities, if they do have to go into a home. They also need nursing care, which is not provided at Edenham. The Council wants to give older people the choice of living in more homely settings, rather than in traditional care homes, by building special housing or smaller care homes for the very vulnerable."*²

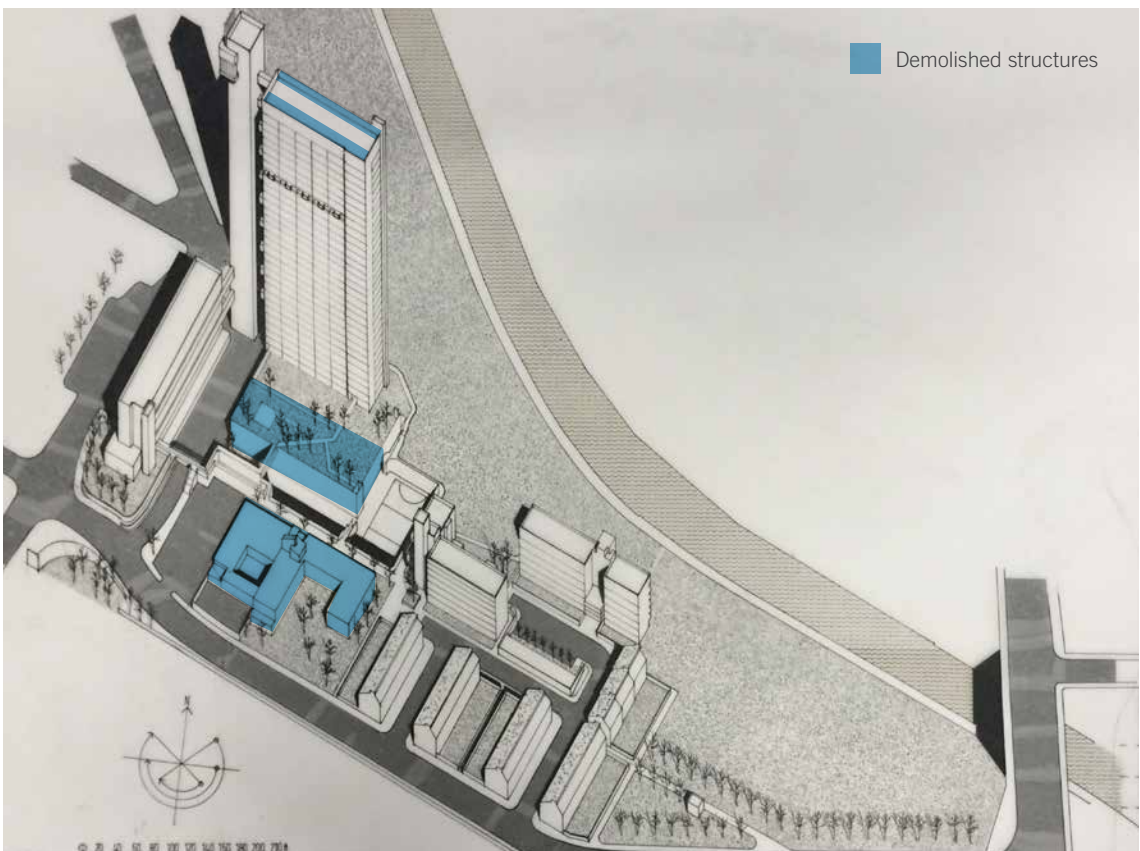
The site is currently used as a temporary coach park, and is visually separated from the open areas to the south of Trellick Tower by dense planting. The Old People's Home was a key constituent of the 'Lifetime Neighbourhood', and its loss has undermined the social fabric of the Estate. The low-rise buildings also formed a sheltered edge to the key pedestrian routes across the site, which connected to the raised podium via a series of ramps that were well overlooked. With the removal of this building and partial demolition of the car park, this

1 Daniel Watney - Planning, Development and Heritage Appraisal Report, Trellick Tower Car park. February 2014.

2 <http://rbkc.gov.uk/rbkcdirect/rdcouncilpriorities/cp0612-story3.asp>



1. Trelick Tower shortly after completion, with the cornice intact - 'Erno Goldfinger Works 1', Architectural Association



2. Original Goldfinger drawing of the original Estate layout, with overlay of demolished elements - RIBA

passive surveillance has been lost, leaving these routes feeling exposed, vulnerable and visually disconnected from the wider site. A line of trees masking the coach park has further isolated the podium void from the rest of the Edenham Way Estate.

Together with the open areas south of the Tower, the coach park forms part of a site that has been under pressure for residential development since the late 1980s. Refer to Section 4 'Issues and Opportunities' for further information.

Window and cladding replacement

Prior to the listing of the Edenham Way Estate in 2012, a number of alterations were carried out, including replacement of some of the original timber windows and timber cladding. The majority of this work was carried out by the council in order to address issues of wear and tear and poor thermal performance. Some examples of original materials and setting out remain on leaseholder properties, although other dwellings in private ownership have also been altered to different details, leading to a high degree of inconsistency in appearance, particularly in the D-Block terraced housing.

The listing of Trellick Tower in 1998 has led to a greater degree of scrutiny over the detail of proposed alterations. In 2006, Planning permission and Listed Building Consent was sought for a number of alterations and repairs as part of a major refurbishment project led by John McAslan & Partners. The external works for which permission was granted included replacement of all windows and balcony doors; concrete cleaning and repairs; external decoration and replacement of roof and balcony finishes; pigeon control measures; and conservation works including re-instatement of the Block A cornice and original signage.

The proposed works generated considerable debate over the need to replace all of the original windows and extensive studies were carried out in order to test and refine the detail of the proposed replacements. In the event, budget restrictions limited window replacement and concrete works to the most vulnerable elevations (the east façade of Block A and south façade of Block B).

Internal alterations carried out included replacement of refuse chutes and installation of new tiled finishes to shared circulation areas.



1. East facade of Trelick Tower with replacement windows - HTL 2015



2. Trelick Tower replacement windows - HTL 2015



3. Replacement windows and cladding to Block D housing. Note original timber windows and black-stained ply cladding to central dwelling - HTL 2015

Communal facilities

There have been a number of changes to common areas of the buildings, most significantly in the entrance lobby to Trellick Tower. This space originally featured a distinctive concrete coffered ceiling (still present) and marble wall finishes. When the oil-fired heating system located in the high-level boiler room was taken out of use in 1973 (subsequently rendering the boiler room redundant), electric storage heaters were introduced to the flats in Blocks A and B. This required the distribution of cabling across the ceiling of the entrance foyer, leading to the installation of a suspended ceiling and significantly undermining the architectural qualities of the space.

In response to concerns over levels of daylight the coloured glass panels in the feature window at the end of the entrance lobby were also removed in the 1980s. Following a strong campaign led by the Residents' Association (with support and design advice from James Dunnett) these panels have now been reinstated to a design that matches the original glazing. Communal facilities provided within the Trellick service tower, such as the laundries and hobby spaces located on floors without lift access, have long been out of use.

Blocks C and E in the Edenham Way Estate have also seen a number of changes to common areas with the addition of boiler flues to public walkways a notable example (further information on changes to these blocks since the 1970s is included in section 5 'Conservation strategy').

Changes to the physical fabric of the Estate have been detrimental to the significance of its architecture and setting; but the loss of communal facilities, such as those described above, has also eroded the social purpose of Goldfinger's original design.



1. Boiler room interior - HTL 2015



2. Original entrance lobby - RIBA



3. Replacement coloured glass panels in the entrance lobby - HTL 2015



3. Boiler flues to external walkways on block E - HTL 2015

The Cheltenham Estate Today

The Cheltenham Estate today

The overall Cheltenham Estate, comprising Trellick Tower and Edenham Way, is owned by the Council and protected by Statutory Listing. The Grade II* listed Trellick Tower contains 217 properties, making up 3% of the Council's total housing stock. There are 34 leaseholders (originally purchased under 'Right to Buy'), with the majority of the properties remaining socially rented. Of the properties within Trellick Tower, 17% are 1 bedroom properties, 33% are 2 bedroom properties, and 50% are 3 bedroom properties. The Grade II listed Edenham Way Estate contains 100 properties. There are 21 leaseholders, with 79 units socially rented.

The Estate is managed on behalf of the Council by KCTMO, which is responsible for the day-to-day management and long-term condition of around 10,000 Council-owned properties. The role of KCTMO includes:

- Strategic Investment and Asset Management
- Capital Investment – including improvements, modernisation and programmed repairs
- Planned Maintenance
- Responsive Repairs

KCTMO also has responsibilities towards leaseholders within its managed estates, and facilitates community engagement through Residents Panels and Associations and training programmes.

The Estate is sited within Golborne Ward, which is bounded by the Canal to the north, the Westway to the south-east, and Ladbrooke Grove to the West. Diversity is central to the identity of the Golborne and Trellick area with large Spanish, Portuguese and Moroccan communities.



1. View of Trellick Tower from Golborne Road - HTL 2015

3. Statement of Significance

The following statement of significance provides a summary of the Estate's significance, and employs the terminology outlined within the Historic England document *Conservation Principles, Policies and Guidance*, which sets out a framework for how to understand and assess the range of heritage values that may be attached to a place. These are arranged in four groups, enabling the significance of a heritage asset to be understood in material, historic and social terms:

- Evidential value: the potential of a place to yield evidence about past human activity.
- Historical value: the ways in which past people, events and aspects of life can be connected through a place to the present.
- Aesthetic value: the ways in which people draw sensory and intellectual stimulation from a place.
- Communal value: the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory.

Evidential value

The design of the Estate as an 'integrated neighbourhood' of mixed dwelling types, open spaces and community services and facilities reflects the briefing ambitions and planning principles of the commissioning body, the GLC, as well as its predecessor the LCC and the 1943 County of London Plan.

The overall design intent is also particular to its architect, Ernö Goldfinger, and is 'still legible and largely intact in its external appearance and internal planning, despite various subsequent changes'¹.

Historical value

The Cheltenham Estate is historically significant as 'an outstanding example of post-war social housing by an internationally regarded architect, who was a major figure in post-war British architecture'². It is understood to be the 'ultimate expression of Goldfinger's philosophy of high-rise planning'³; the development of a set of ideas investigated by the architect since the 1930s, and strongly rooted in the urban ideas of Le Corbusier and Auguste Perret.

1 Kevin Murphy – Trellick Tower and the Edenham Estate Heritage Appraisal. 2013. p.8
2 Cheltenham Estate listing statement - List Entry number 1402356
3 Cheltenham Estate listing statement - List Entry number 1402356

As one of the last of the ‘rigorously organised mixed housing developments promoted so optimistically by the LCC (London County Council) from the 1950s onwards’, it is also a prominent symbol of the end of an era of high-rise social housing.

The culmination of long-term efforts to redevelop the area that began in the 1920s, the Estate stands as a prominent monument to a period of radical slum clearances,⁴ and can be seen to represent changing fashions in urban improvements:

*“In the area from Notting Hill to Kensal Green the post-war planners faced a century of poverty, overcrowding, and neglect. Reconstruction, begun in the notorious Potteries area already in the late C19, continued there and in the rest of North Kensington for the next hundred years, complicated by the disruption caused by the arrival of the Westway in the 1960s. Here one can trace the whole story of changing fashions in urban improvement, from the piecemeal philanthropy of the late C19, through the radical slum clearance schemes, planned in the 1930s but not carried out until the 1950s and later, of which Goldfinger’s Trellick Tower is the most prominent monument.”*⁵

The changing attitudes towards the building also reflect an evolution of public opinion towards the modernist approach to high-rise housing. Once seen by architecture critics as anachronistic in its aims and ambitions, elements of the estate are now recognised for particular architectural qualities and specific contribution to the wider urban community.

Aesthetic value

Trellick Tower and its setting within the Cheltenham Estate is highly significant in urban terms. The Tower’s dominant scale and distinctive form is unique within its urban environment, and as a significant landmark within the wider cityscape, the tower has an impact that is both immediate and distant.⁶

The massing of the overall estate, with its careful arrangement of medium and low-rise blocks and open areas, serves to emphasise the singularity and dominance of

4 N.Pevsner / B.Cherry – London 3: North West

5 N.Pevsner / B.Cherry – London 3: North West p. 452

6 Kevin Murphy – Trellick Tower and the Edenham Estate Heritage Appraisal. 2013. p.9

the tower. The original estate design included a highly articulated landscape of open areas and walkways that mediated between the various levels of the site and provided visual support to the volume and mass of the tower. The significance of the open areas and the tower itself has been harmed by the loss of such elements (including the podium garage building and associated amenity spaces and Old People's Home on Elkstone Road); however the overall disposition of buildings remains of notable value. The variety of urban grain within the site is also representative of Goldfinger's aim to create an 'integrated neighbourhood' with a diverse provision of dwelling types and supporting community facilities.

The buildings within the site are of both individual and collective architectural significance. Trellick Tower's distinctive silhouette is amplified by its clearly expressed structural concrete frame and deeply modelled façades, which reflect the sophisticated planning of the internal spaces and circulatory patterns of the blocks. The building has been praised for its precise and careful detailing⁷ which is carried through to the wider estate: "At street level too the group of tower and lower blocks, with their impeccably detailed bush-hammered concrete surfaces, exude a sophisticated urbanity rare in England."⁸

The houses and flats within the Cheltenham Estate form 'an integral part of the original design and have a strong visual as well as social unity with Trellick Tower'.⁹ The low-rise buildings are characterised by expressed structural cross walls, with high quality brickwork and bush-hammered concrete elements that provide a material link to Trellick Tower, and generate a strong and consistent aesthetic. The listing statement describes the estate as a whole as "the best crafted example of a mixed development scheme of any date, exhibiting the rigorous attention to detail that is a hallmark of Goldfinger's best work."

Communal value

The Estate was conceived and designed as an 'integrated neighbourhood', in which a diverse range of dwelling types for families, young couples and the elderly was supported by community services including a nursery school, doctor's surgery and residential care home, and shared amenity spaces. For many of the former residents of the previous slums, the spacious dwellings and rationalised approach to community services was much appreciated, and many of the first residents remain at the Estate today. The value placed in the Estate by

7 Ian Colquhoun - RIBA Book of British Housing p.99

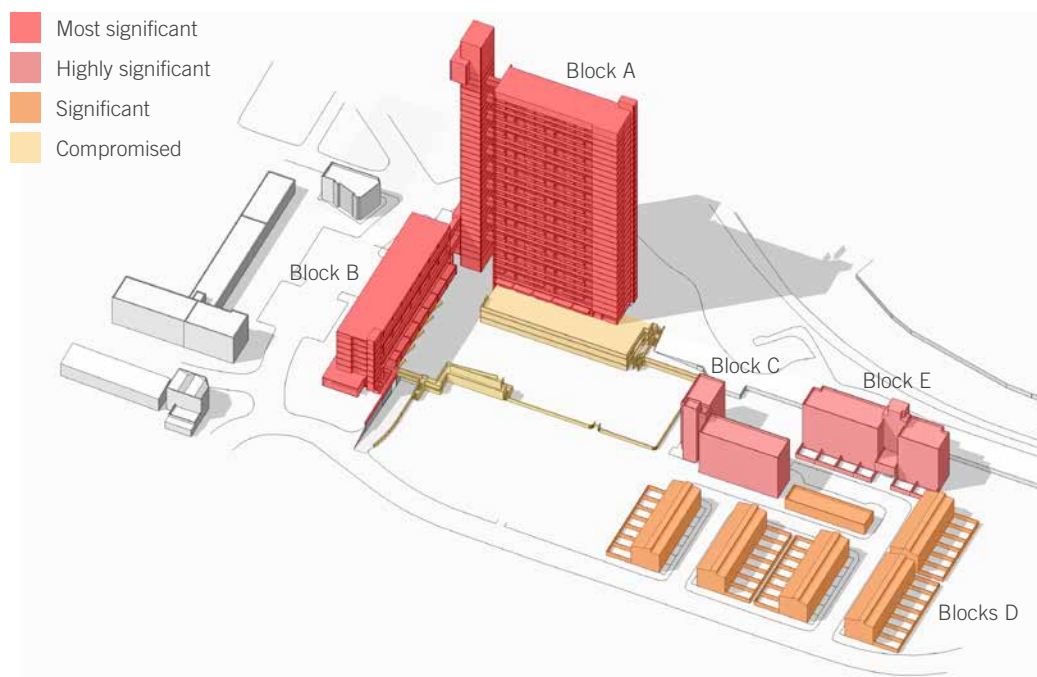
8 Pevsner / Bridget Cherry – London 3: North West p. 532

9 Cheltenham Estate Listing Statement – List Entry number 1402356

residents is evidenced in letters defending the building in the 1970s, and in the formation of a strong and vociferous Residents' Association in the 1980s, which campaigned to re-instate original features such as the coloured glass panels in the entrance lobby.

In recent years, changes to the Estate such as the demolition of the Old People's Home (later known as the Edenham Residential Care Home), brought about strong and passionate campaigning from the local community. The campaign fought (unsuccessfully) to retain not only the building and its vulnerable residents, but also the social purpose of the original 'lifetime neighbourhood'.

Where once the Tower stood as a prominent symbol of the perceived failure of high-rise housing, largely as a result of social problems brought about by poor management and maintenance, Trellick has now become culturally iconic in its resurgence as an architecturally significant and desirable place to live. Beginning in the 1990s, when the council first undertook major refurbishment works and instigated management changes such as the introduction of a concierge (allowed for in the original design), this has resulted in a significant shift in opinion towards the building from residents, the wider community and the general public.



1. Diagram indicating varying significance of remaining fabric - HTL 2015

4. Issues and Opportunities

Conservation / heritage issues

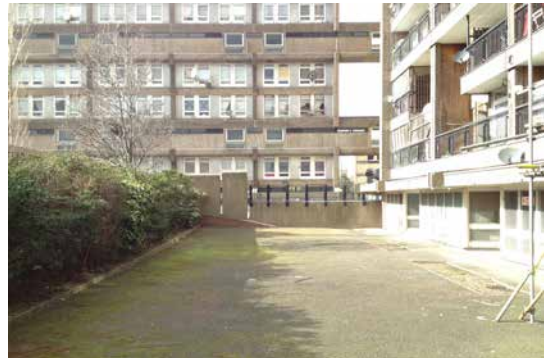
The listing of Trellick Tower at Grade II* in 1998, and the Cheltenham Estate at Grade II in 2012, reflects the acknowledgment of the value and significance of the building by Conservation bodies. There is also a new level of recognition of the architectural merit by the local community and general public, reflected in the campaign to protect the wider estate through statutory listing, and by the desirability of the residences.

This growing appreciation of 20th century architectural heritage has placed KCTMO under increasing pressure to take a more considered approach to maintenance and alterations to the fabric, and to respond to the requirements of the listing. It has also provided a framework in which to discuss and propose opportunities to reinforce the architectural and communal values of the estate. Works that have been recommended by Conservation Officers, Historic England and others include: re-instatement of the cornicing to Block A (for which planning permission was received in 2006); replacement of the club room and former estate office windows to their original materials and design; and re-instatement of original signage to the building and shop fronts. Such works would deliver significant enhancement to the architectural integrity of the building, but are currently considered low priority items from a property management point of view in comparison to essential maintenance and fabric upgrade works, particularly in light of recent challenges to projected rental income.

Operational & Management pressures

KCTMO is responsible for day-to-day maintenance and management, cyclical repairs and capital works to the Estate. Throughout the borough KCTMO aims to upgrade the building stock to modern and environmentally efficient standards in terms of fabric and services. This is generally carried out within a borough-wide timescale, as outlined in the table on page 46. It should also be noted that the leasehold on a number of flats are privately owned, and that contribution to future refurbishment works is required by these residents.

Due to financial pressures and the complexities involved in scaffolding Trellick Tower (both the scale of Block A and the design of projecting access galleries pose difficulties to scaffolding), the approach to date has been to carry out programmes of work to keep the blocks in working condition, rather than complete an overhaul that would give the buildings



1. Under used external areas at the base of Blocks A and B - HTL 2015

a sustainable long-term life. This has resulted in, for example, only some areas of concrete being cleaned and some windows replaced. The life-cycles for a number of components are now overdue and inspection has shown that refurbishment work is required in the near future. If works are not carried out then a continuing approach of responsive repairs is likely to increase overall costs.

KCTMO has recently carried out a detailed review of the specific investment requirements at Trellick Tower to maintain the fabric and mechanical and electrical services and restore communal areas. The works cover both blocks A and B and the service tower and are summarised in the table on page 47.

The listed status of the buildings in the Cheltenham Estate presents a challenge to both cost effective improvements and compliance with current building regulations. As a result, KCTMO has acknowledged that "...it will be disproportionately expensive to refurbish Trellick Tower in relation to the rest of the stock and it may be impossible to meet the K&C standard."¹ However, the requirements generated by the listed status do offer opportunities for a more considered and potentially cost-effective approach to the fabric. This CMP sets out recommendations for such an approach in chapter 5 'Conservation Strategy'.

Following significant improvements to the management of the Estate in the 1990s, the buildings and landscape are now generally well managed and considered safe and secure. However, there are a number of recurrent operational issues such as deteriorating original building fabric, refuse, and security to empty and underused spaces across the Estate (please see the 'External Areas' section in chapter 5 for further detailed information on the issue of security to external areas). Whilst these empty spaces could provide either rental income or a capital receipt, they are in poor states of repair and would require initial investment to bring them to usable standards. At present this is not considered viable.

Fig. 1

Building fabric performance and deterioration

The buildings of the Cheltenham Estate are robust structures and the majority of the fabric is durable and structurally sound. However, there are signs of wear and tear to much of the building exterior, including deterioration of some of the timber and metal windows, and areas of damage to pre-cast and in-situ concrete. The buildings are also thermally inefficient by current standards, with the exposed concrete frame acting as a cold bridge; and while

1 KCTMO Asset Management Strategy – draft 6, p.22

the original timber windows incorporated an early form of double glazing, they do not meet current standards in terms of thermal efficiency. Significant improvements to thermal performance would require fabric upgrades that lie in conflict with the listing requirements.

In 2006, planning permission was sought to undertake a number of external fabric upgrades to Trellick Tower, including the replacement of all of the timber windows and balcony doors and metal windows to communal areas, and concrete cleaning and repairs. The application generated considerable debate about the need to replace all of the windows, many of which were deemed to be in serviceable condition. Lack of funds meant that in the event, window replacement and concrete repairs were carried out only where immediately necessary, on the exposed gable end east elevation of Block A, and south elevation of Block B.

There is now an opportunity to reconsider the options for repairing or replacing the windows. This will need to be informed by an up-to-date condition survey, and a feasibility study or sample repair to establish the method and scope of performance upgrades. KCTMO will need to take conservation issues into account but repairs will also need to be cost effective and have an appropriate lifespan. Similarly, concrete repair work will be subject to survey and sampling to ensure appropriate levels of intervention, maintaining the visual appearance of the original finishes. Recommendations on the approach to window and concrete refurbishment are in the relevant sections in chapter 5 'Conservation Strategy'.

Communal value of the existing Estate

As discussed in section 3.4 the strong sense of community present in both Trellick Tower and Edenham Way Estate should be recognised alongside the architectural merit of the listed fabric (although currently a separation exists between the two communities in part due to the disrupted east-west route). A fundamental aim of Goldfinger's original design, the varied tenure mix faces increasing pressure from rising maintenance costs and Borough wide housing needs. This CMP is intended as a tool to facilitate KCTMO's ongoing management of the Estate assets.

Development Opportunities

In addition to repair and refurbishment works to the existing building fabric the Estate includes two sites (A and B), which are under pressure for new development. Site A is the vacant site fronting onto Elkstone Road, originally occupied by the Old People's Home

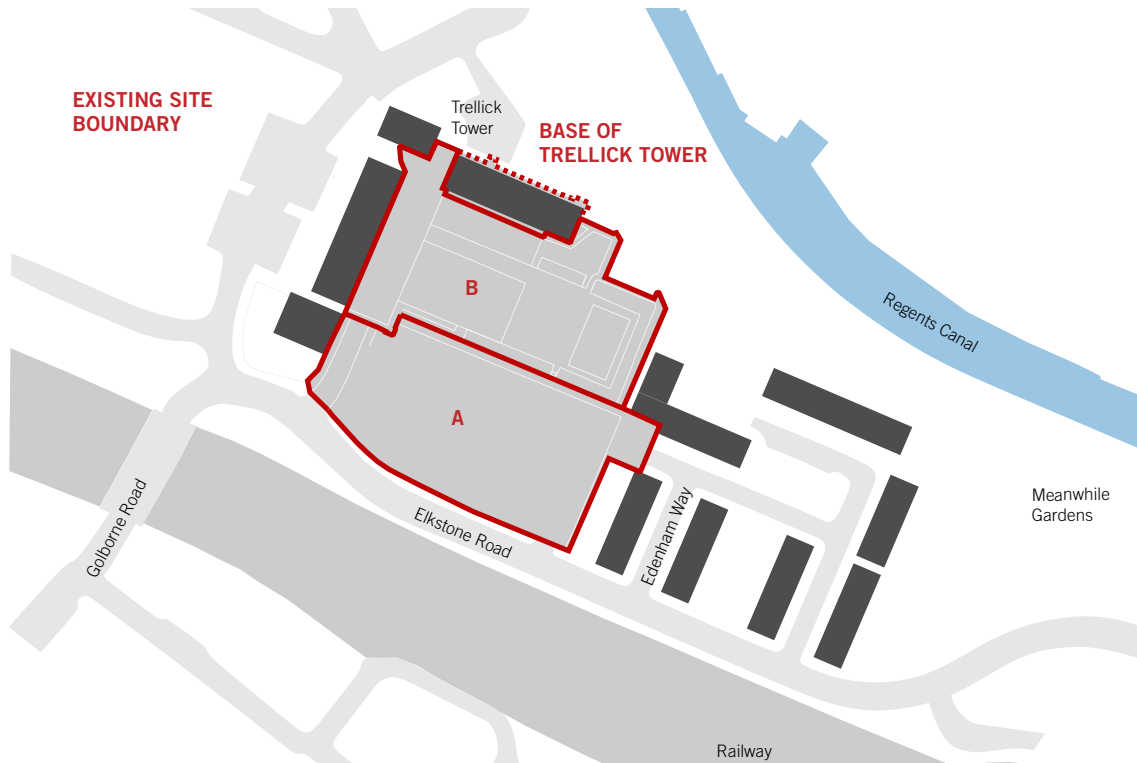
Fig. 2-3

demolished in 2008 and now used as a temporary coach park. Site B is the location of the former podium and ball court and incorporates parts of the listed pedestrian walkways, stairs and derelict basement car park/ storage areas that remain at the base of the tower. Together these constitute a 9100 m² area that is identified within the RBKC Core strategy as a strategic development site. Under the terms of this strategy a minimum of 60 residential units are to be delivered along with improvements to social and community facilities and existing housing.

In May 2012, it was agreed that the Planning Department would produce a Supplementary Planning Document (SPD) for the site and the neighbouring Golborne Road area which would set the parameters for redevelopment of the Edenham/Trellick site. This was informed by an architectural study by Levitt Bernstein Architects, which looked at a number of options for development, and a heritage assessment by KM Heritage, which assessed the impact of potential changes on the significance of the listed site. The Trellick-Edenham Planning Brief SPD was completed in 2015 and included in the core design objectives is the intent to 'preserve and enhance the character, appearance and setting of designated heritage assets, especially Trellick Tower'.

In March 2013, the Council agreed to develop the site for housing; this was followed by a procurement process through which Haworth Tompkins were selected to design a housing scheme for the site.

The potential development offers an opportunity to address some of the key issues facing the wider Estate, including: the poor quality and provision of pedestrian routes through the site; the limited integration with the surrounding area and lack of activity along Elkstone Road; concerns about safety and security; and the poor quality public realm in and around the Estate. While the development will be constrained by the proximity to heritage assets and by direct impact upon listed elements within the site areas, it will also provide an opportunity to reinforce the heritage significance of the Estate by addressing the landscape at the base of the tower and by providing new shared amenity spaces. Potential changes and developments that impact upon the significance of the building will nevertheless need to have very strong architectural and operational justification, and may need to be supported by further detailed research and testing. This CMP should be used as a tool to assess the implications of any such change.



2. Site map indicating development sites A and B - HTL 2015



3. View from Block A towards development sites A and B - HTL 2015

Category	Description	Timescale
Your Health and Safety	Ensure all landlord obligations are met to provide a safe environment for residents	Ongoing
Wind and Weather Tight	Replacement of external elements:	
	Windows	30 Years
	External Doors	30 Years
	Pitched Roofs	60-80 Years
	Flat Roofs	20 Years
	Gutters	25 years
	Fascias and Soffits	30 Years
	External Fabric	50 Years
	Lifts	Varies
Inside Hour Home	Replacement of internal elements:	
	Kitchens	20 Years
	Bathrooms	30 Years
	Boilers	15 years
	Heating Systems	30 Years
	Electrics	20-40 Years
	Provision of individually controlled heating systems (where possible)	Over the next 10 years
Improving your Communal Areas		
	Investment in common areas, renewed entry systems and maintaining existing boundaries and paths	Over the next 10 years
Improving your neighbourhoods	Where possible:	
	Provide additional wall insulation	Over the next 10 years
	Provide additional loft insulation	Over the next 10 years
	Estate investment in improvements such as boundaries, paths and landscaped areas, including better security	Over the next 10 years
Accessibility	Provide appropriate adaptations for residents, including:	
	Hand rails, ramps, level access showers etc.	Ongoing

Chart summarising the key components of the RBKC Investment Standard for housing across the Borough - KCTMO

Trellick Tower scope of work	Notes	Estimate cost
External works		Total £6.797M
Concrete repairs	Excludes east elevation Block A; south elevation Block B	£249k
Windows	Cost allows for replacement to all elevations except east elevation Block A; south elevation Block B	£5966
Roofs	Block A and B main roofs replaced 2008-9. Future scope: Service tower, Block A low level roof, Block B loading bay, Clubroom, Former Estate office	£114k
Balconies	Includes: replacement asphalt; re-finishing to panelling and balustrades, pigeon control	£468k
Internal Works		Total £1.104M
Cracking to shear walls	Repairs to cracking of blockwork shear walls above 15th floor	£690k
Storage heating	Replacement of electric storage heaters with modern system	£414k
Communal areas		Total £719k
Refurbishment	Corridor and stairwell and floor finishes; Reception area; Clubroom	£719k
Communal Services		Total £1.092m
Communal electrics	Replacement of lateral mains, risers and distribution, switch fuses and switchgear; and non-emergency lighting to communal areas.	£709k
Wet riser installation	Replacement to current standards	£100k
New kitchen extract to 1 bed flats		£24k
De-commissioning of oil storage tank	De-commissioning of oil storage tank (approx. 5x5m2) in service yard	£5k
Replacement rainwater downpipes		£36k
New drainage and sump pumps	Includes demolition and re-building of block walls in basement	£75k
BMS installation	Integrated system for alarms; lift status; plant etc – linked to KCTMO	£118k
Refurbishment of plant rooms		£25k
Environmental / landscape works		Total £275k
Re-surfacing - service yard & access road		£75k
Landscape drainage	Improvements to drainage under playground, sports pitch etc	£150k
Re-instatement of landscape		£50k
Other costs and professional fees	Access, prelims, OH&P, contingency, design team fees	Total £3.892M
Conservation items		£424k
Cornicing to Block A	Re-instatement of concrete cornice	£336k
Windows to club room	Replacement windows to match original	£15k
Windows to estate office	Replacement windows to match original	£20k
Original signage	Includes signage to building and shop fronts	£7k
Conservation Fees and contingencies		£46k
		Total £14.3M

5. Conservation Strategy

This section presents the strategy for conservation, management and development of the fabric within the Cheltenham Estate. Having identified the key architectural, cultural, technological and social values of the estate, this section examines in more detail the physical components of the buildings and their setting. The overall objective is to address the issues and opportunities outlined in Section 4, ensuring that significance is retained or enhanced.

Each element of the estate is considered in turn – its significance is assessed, particular observations noted, and component parts assessed where necessary. Policies / recommendations for that element are subsequently made to indicate how the Conservation Principles should be applied.

The Conservation Principles provide an overall guide to the development and care of the buildings and site in order to ensure its architectural and cultural significance is retained and reinforced.

Explanation of Terms

- **Alteration** means modifying the existing fabric to meet new objectives.
- **Conservation** means the process of looking after a place so as to retain its significance. It includes maintenance and may according to circumstances include preservation, restoration and adaption and will be commonly a combination of more than one of these.
- **Fabric** means all the physical material of the place.
- **Maintenance** means the continuous care of the fabric, contents and setting of a place, and is to be distinguished from repair or replacement.
- **Planned maintenance** means a programme of preventative maintenance that is carried out before the breakdown or failure of the element or component, as opposed to unplanned or corrective maintenance which takes place after failure.
- **Policy** means a plan of action for a specific element which should be followed when planning and carrying out work to that element.
- **Preservation** means maintaining the fabric in its existing state and retarding deterioration.
- **Principle** means a fundamental standard or rule to be applied to all work on the site and buildings.
- **Repair** involves like-for-like replacement of materials.
- **Restoration** means returning the existing fabric to a known earlier state. This is not to be confused with conjectural reconstruction.
- **Setting** means a building's surrounding external area (including other buildings) which is seen in views of the building. Significant settings are those seen in important views of significant buildings.
- **Significance** means the sum of the heritage values attached to a place. The significance is inherent in the place; it can be revealed or reinforced by the management of the place.

Abbreviations

- HE - Historic England (formerly known as English Heritage / EH)
- RBKC - Royal Borough of Kensington & Chelsea
- KCTMO - Tenants Management Organisation

Conservation Principles

1. The Conservation Management Plan (CMP) should be applied whenever work to the buildings or their setting is being planned or carried out

- 1.1 The CMP should be formally adopted by KCTMO.
- 1.2 The CMP should be approved in principle by Historic England (HE) and the local planning authority, RBKC, and accepted as the basis for the conservation of the Estate by the Twentieth Century Society.
- 1.3 Copies of the CMP should be passed to all consultants involved in work to the buildings and setting, and it should be made available to all contractors.
- 1.4 The CMP should be made available for information and consultation by all interested parties and members of the public.
- 1.5 KCTMO should refer to the CMP and follow the Principles in it whenever work to the buildings or setting is planned, commissioned or carried out.
- 1.6 The CMP should be regularly reviewed and updated every 5 years or after major changes to ensure its continued relevance and use.

2. Coordinated planning procedures should be established and used

- 2.1 Whenever RBKC or KCTMO wishes to carry out work to the listed buildings, the advice of Conservation Officers and HE should be sought early in the development of any proposals.
- 2.2 Planning and decision making should incorporate the needs of the users of the Cheltenham Estate, in order to facilitate the continued successful inhabitation of the buildings while avoiding or minimising any detracting from significance.
- 2.3 Systems of planning and decision making for the Cheltenham Estate should work on a sufficient timescale to allow for the evaluation of alternatives, consultation with conservation authorities and interested parties, and, where required, applications for planning and listed building consent.
- 2.4 Works discussed with Heritage bodies should be in accordance with the Principles and Policies set out in this CMP. For any proposals, detailed information about the way the Policy is to be carried out should be submitted to Heritage bodies for comment, information and monitoring purposes, referring to this CMP.

2.5 Procedures for complying with statutory requirements for altering a listed building should be agreed in early discussion with RBKC, H.E. and other interested parties, and should address the principles outlined within section 12 of the National Planning Policy Framework. This includes:

- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring;
- the desirability of new development making a positive contribution to local character and distinctiveness; and
- opportunities to draw on the contribution made by the historic environment to the character of a place.

The weight of the justification required will be proportionate to the significance of the asset and heritage impact of the proposals (see Principles 5.0 – 5.10).

2.6 Medium- and long-term planning should take account of expected climate change and consider ways of providing for reduction of carbon emissions and adaptations for changing environmental conditions, in ways that avoid or minimise detracting from significance.

3 Work to the buildings and setting should be planned on the basis of expert knowledge

3.1 Documents about the design, construction and alterations of the building and setting should be recorded and catalogued by the KCTMO to provide a complete historical record, in a form that is easily accessible in the archive or other agreed location.

3.2 Whenever non-maintenance work is carried out to the building and setting, the structure, materials and services of both the existing and new work should be recorded, and the information added to the catalogue. This information should be used to inform revisions to the CMP (see Principle 1.6).

3.3 Whenever possible, knowledge about the building and setting held by individuals should be recorded in suitable documentary forms, and the information added to the catalogue.

3.4 Work to the building and setting should be planned by individuals and organisations who have made themselves familiar with their history, construction and significance, and who have proven expertise in the relevant field of work.

4 New development should respect the significance of the existing buildings and setting

- 4.1 New development and potential changes that would reveal or reinforce the significance of the building or its setting should be carried out whenever there is an opportunity.
- 4.2 If potential changes or new development present a threat to significant settings, alternative strategies should be thoroughly investigated in order to minimise any detrimental impact on the setting.

5 Refurbishment and alterations should respect the significance of the existing buildings and setting

- 5.1 Refurbishment and alterations that would enhance significance of the existing buildings or setting should be carried out whenever there is a practical and affordable opportunity.
- 5.2 Refurbishment of elements of very high significance should prioritise preservation, and alterations should only be considered for the most compelling and exceptional reasons (see Principle 2.6). Any such alterations should be carried out so as to minimise the damaging impact of the work.
- 5.3 Refurbishment and alterations that would detract from elements of high significance should be pursued only if there are no practical and viable alternatives that would lead to a reduced loss of significance.
- 5.4 Refurbishment and alterations that would detract from significant elements should only be made if they meet an essential need of the Cheltenham Estate and any such development should be carried out so as to minimise any loss of significance.
- 5.5 Refurbishment and alterations to elements of some significance or no significance should not normally be constrained for conservation reasons, so long as there are no secondary damaging impacts on elements of higher significance. Original materials in elements of some significance should be retained where possible.
- 5.6 When alterations are required by health and safety or other regulations, alternative strategies should be thoroughly investigated to identify ways of complying with the regulations that avoid or minimise detract from significance.
- 5.7 When refurbishment and alterations are made, original materials in significant elements should be retained where possible, and only removed if there is no appropriate strategy that would allow their retention. Where significant fabric is removed, its location should be recorded and, where possible, items or samples catalogued and stored in a conservation environment/repository for possible future re-use or reinstatement.

- 5.8 Priority should be given to using significant elements in ways that reveal or reinforce their significance.
- 5.9 Whenever possible, alterations to significant elements should be carried out in ways that are reversible, rather than in ways that are irreversible.
- 5.10 During refurbishment and alteration work, opportunities to improve the environmental performance of the Cheltenham Estate should be exploited, in ways that avoid or minimise detracting from significance.

6 Management, maintenance and repair activities should respect the significance of the buildings and setting

- 6.1 The buildings and setting should be cared for by a planned maintenance programme based on a complete knowledge of the elements and their significance, with regular inspections and preventative action.
- 6.2 Where significant elements of the building or setting have deteriorated, they should be replaced, repaired or restored in such a way as to regain significance where possible and practical. Original building elements that are worn or weathered should be repaired or restored rather than replaced, so long as they are still serviceable and can be reasonably maintained in the medium and long term.
- 6.3 Repairs to significant original material should retain the original qualities, in particular:
- colour, texture, reflectivity, geometry
 - dimensional accuracy and precision of joints
 - resistance to physical deterioration
 - security and fire resisting properties
- 6.4 Maintenance and repair work to significant elements should be carried out by persons who are qualified and experienced in working with the relevant materials.
- 6.5 Care should be taken to supervise and, where relevant, train operatives to ensure that fabric is not damaged by maintenance and repair activities.
- 6.6 Particular attention should be paid to keeping in good order roofs, gutters and rainwater drainage systems to conduct water safely away from the building.
- 6.7 Evidence of defects should be reported and investigated, and remedial work prioritised to minimise damage.

- 6.8 When practical and affordable, makeshift alterations carried out in the past should be removed or modified to ensure that they do not detract from significance or present a threat to the fabric.
- 6.9 During repair or maintenance work, every opportunity should be made to improve the environmental performance of the building, in ways that avoid or minimise any detract from significance.

7 Service systems should be appropriate to the architectural character of the buildings

- 7.1 Wherever practicable, uses should be assigned to parts of the buildings whose inherent characteristics provide suitable environmental conditions with minimal reliance on service systems.
- 7.2 Service systems for lighting and heating should be designed to enhance the significance of spaces they serve, in terms of (i) the environmental conditions created, and (ii) the visual and acoustic impact of the system components.
- 7.3 The replacement of old service systems by new systems that perform better should not normally be constrained for conservation reasons, so long as the new systems avoid or minimise damaging impact on significance.
- 7.4 Where components of old service systems are significant but functionally obsolete, redundant ducts or openings should be sealed when practical to do so in order to protect the integrity of the fabric whilst retaining the components' visual appearance.
- 7.5 When new service distribution networks are necessary, alternative distribution routes should be thoroughly investigated to identify routes that avoid or minimise damaging impact on significant elements.
- 7.6 Makeshift insertions of service systems carried out in the past should be removed when practical to do so in order to ensure that they do not detract from significance, or present a threat to the fabric.
- 7.7 Redundant services systems of no significance should be removed where possible.
- 7.8 Services systems should be provided with access to allow for maintenance and renewal with minimum disruption to the fabric.
- 7.9 Whenever services systems are refurbished, practical opportunities to reduce energy and water consumption and carbon emissions should be exploited.

Element Analysis

The following section builds upon the summary assessments provided within the Statement of Significance, and considers in turn the relative importance of different elements of the building, so that proportionate weight can be given to the conservation of the fabric. The significance attributed to an 'Element' is understood to encompass its broad architectural and spatial characteristics, while the sub-category of 'Component assessment' typically focuses on the physical aspects of a particular material or building component. The typical entry for each Element has four sections:

Significance

The assignment of significance to each element is based on the information in Sections 1, 2 & 3. Significance is rated according to the following hierarchy:

A. Very High Significance

Elements of exceptional interest that are outstanding examples of their kind, which make a fundamental contribution to significance.

B. High Significance

Elements of considerable interest that are excellent or rare examples of their kind, which contribute strongly to significance.

C. Significant

Elements of intrinsic interest that are good and representative of their kind, which make a contribution to significance.

D. Some Significance

Elements of interest that are typical or representative examples of their kind, which make some contribution to significance.

E. No Significance

Elements that have no significance in conservation terms, may be visually intrusive, do not contribute to, or detract from, significance.

Observations

The significance rating is followed by a descriptive assessment of each element, which provides some context for the rating, including a brief summary of any changes that may have occurred. This is not intended to be a systematic survey, but points out key features and identifies functional issues that should be taken into account when any work to the element is being considered. Note however that the element assessments in the CMP do not relate to functional performance or usefulness, but solely to the element's architectural and historic significance. As a result, recent additions may appear to be under-valued if they are not considered significant in conservation terms.

Component assessment

Within each element category, individual components are assessed and attributed separate levels of significance. Components can range from aspects or features that positively define the element, to intrusive alterations or additions within an area or element of overall significance.

Policies / recommendations

These have been made to manage the future pressures facing the Estate and indicate how the Conservation Principles should be applied to particular elements. This is not exhaustive. As new situations arise, these policies and recommendations should be revisited, new ones generated and superseded ones removed.

There are three types of Conservation Policies / recommendations:

Potential changes

Strategic opportunities identified; future consent required

Refurbishment and alterations

Specified changes to fabric; currently require listed building consent

Maintenance and management

No change to fabric; no listed building consent required

Schedule of Elements

Cheltenham Estate

Urban Setting:

- Wider context
- Site layout and massing

External Areas

- Car parking podium
- Pedestrian Walkways
- Service yard
- Edenham Way landscaping

Trellick Tower blocks A & B

Overview of Blocks A and B

Building exterior

- North and East elevations
- South and West elevations
- Concrete
- Timber windows
- Metal windows
- Secondary elements
- Commercial units
- Community spaces

Internal areas

- Main entrance area
- Communal areas
- Dwellings types
- Dwelling interiors
- Services

Edenham Way Estate

Overview of Blocks C, D and E

Block C

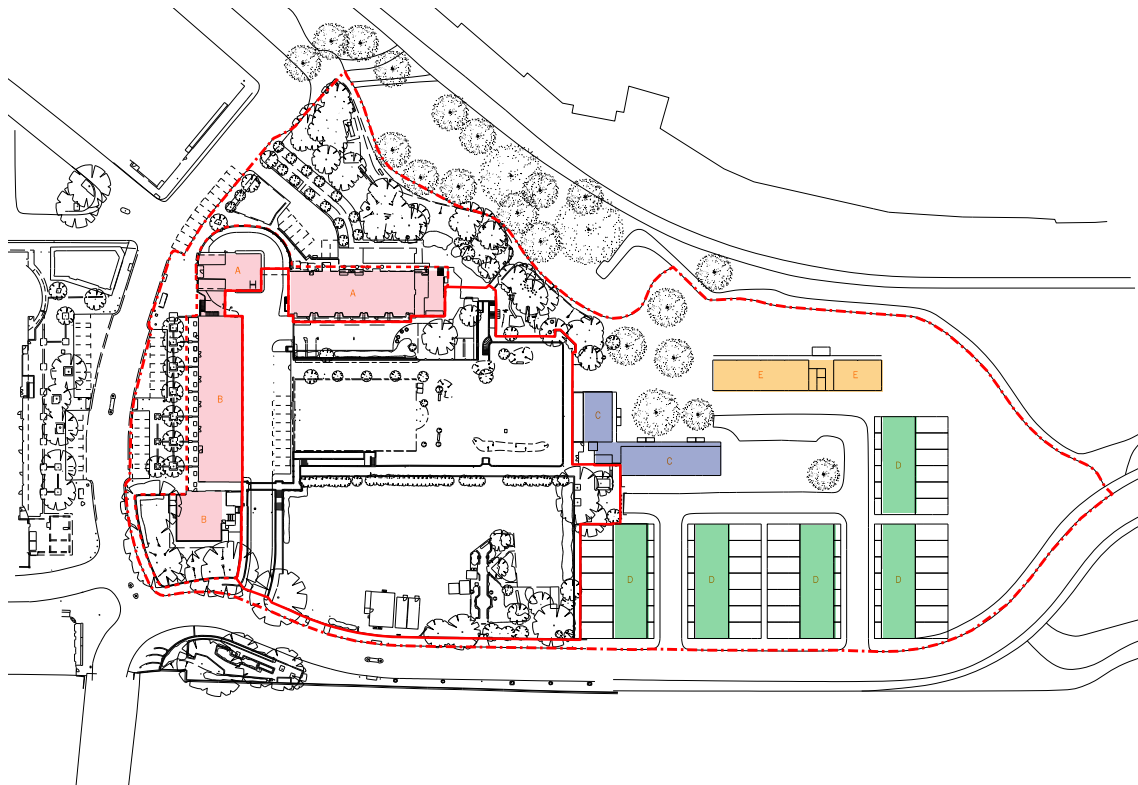
- Massing
- Building exterior
- Common areas
- Dwelling types

Blocks D

- Massing
- Building exterior
- Dwelling types

Block E

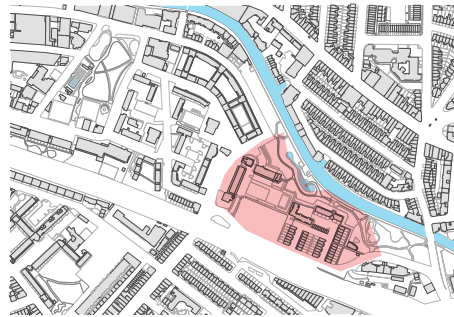
- Massing
- Building exterior
- Common areas
- Dwelling types



1. Site plan of Cheltenham Estate - HTL 2015

- Blocks A and B
- Block C
- Blocks D
- Block E
- Development site boundary (SPD 2015)
- Cheltenham Estate boundary

Cheltenham Estate: Wider context



Site plan - HT 2015

Wider context:

The Cheltenham Estate is bounded to the north by Meanwhile Gardens and the Regent's Canal and to the south and east by railway lines and major roads.

Fig. 1.

The immediate area is dominated by social housing, principally constructed in the post-war period as part of extensive slum clearance works. This has produced a fractured street pattern, in contrast to the surviving elements of historic street pattern to the north of the canal, and south of the railway along Golborne Road. The Kensal New Town Estate to the west of the site features buildings of varying heights, including two 15-storey towers surrounded by 2- and 4-storey buildings on Golborne Road facing the Cheltenham Estate.

Fig. 2.

The surviving Victorian Terraces to the north and south-west (including the Oxford Gardens Conservation Area) are typically 3-4 storeys. The Estate is architecturally distinct from the surrounding neighbourhood, and is dominated by the 31-storey Trellick Tower, which is a key landmark with a strong presence within both the immediate context and the wider city.

The entire estate is protected by Statutory Listing, with Trellick Tower listed at Grade II* and the Edenham Way Estate listed at Grade II.

Policies / recommendations:

The following recommendations are outlined in order to promote an increased connection of the Edenham Way Estate with the surrounding context:

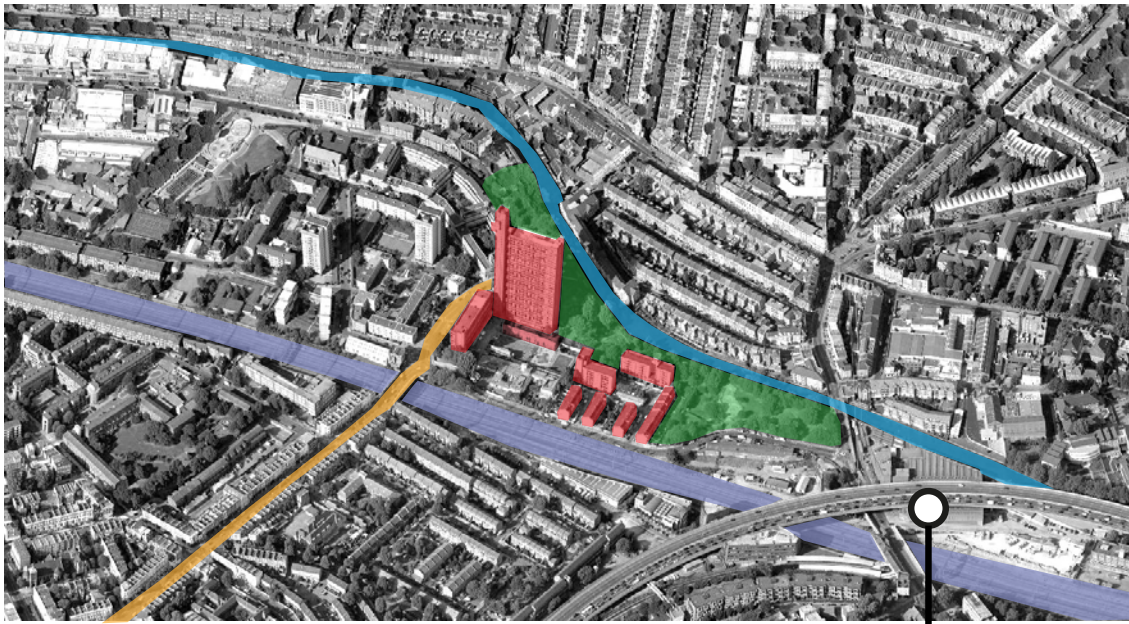
Potential changes

- Developments in the wider area should respect and minimise impact on key views to Trellick Tower, as outlined within the RBKC Trellick-Edenham Planning Brief (SPD).
- Explore opportunities to improve the permeability of the site from Golborne Road, Elkstone Road, and Meanwhile Gardens.
- Reinforce the north-south and east-west pedestrian routes through the site.
- Explore opportunities to extend the green landscape of Meanwhile Gardens into improved amenity spaces and pedestrian routes across the site.

REGENTS CANAL

CHELTENHAM ESTATE

MEANWHILE GARDENS



GOLBORNE ROAD

RAILWAY LINE

WESTBOURNE
PARK
STATION

1. Aerial diagram - HTL 2014



- 1-2 storeys
- 3-4 storeys
- 5-6 storeys
- 7-8 storeys
- 15+ storeys

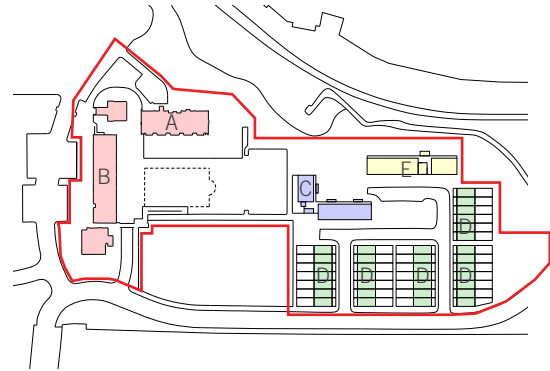
2. Context map indicating existing building heights - from Trellick - Edenham Supplementary Planning Document

Cheltenham Estate: Site layout & massing

Significance: C

Components:

Trellick Tower	A
Edenham Way	C
Landscape	D



Observations:

The Cheltenham Estate includes a mixture of high, medium and low-rise blocks within a largely pedestrianized precinct of 7.65 acres. The buildings are now commonly grouped into two elements: the Grade II* listed Trellick Tower, and the adjacent low- and medium-rise Edenham Way Estate, listed at Grade II in 2012.

Fig. 1-2.

Trellick Tower includes the 31-storey tower block (Block A) and adjacent 35-storey service tower; a seven-storey volume (Block B) perpendicular to the main tower and the now part-demolished car parking podium at the base of the tower. Originally this podium extended further to the south and provided a horizontal counterpoint to the height of Block A.

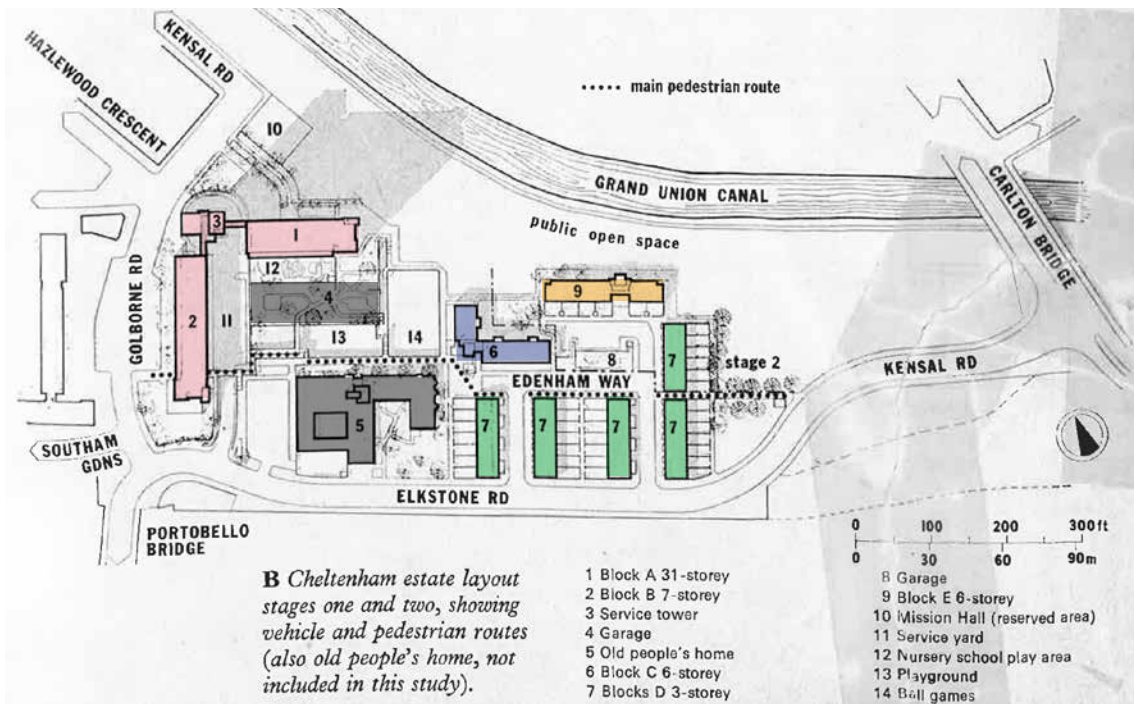
The Edenham Way Estate includes two six-storey buildings (Blocks C and E), which are largely oriented along the east-west axis of Block A; and a series of five 3-storey buildings (Blocks D) each comprising a terrace of individual houses with private gardens, positioned parallel to Block B with gable ends to Elkstone Road and the railway. Between Trellick Tower and the Edenham Way Estate lies a series of open spaces, formerly occupied by the carpark podium, external landscaping and the now demolished Old People's Home.

The original Goldfinger design, constructed in two phases, introduced a range of massing across the site, which is managed through a gradual stepping down in height from seven to three storeys moving west to east. This enabled the tall form of Block A to retain its singular dominance over the site as a whole, and provided a constant reference point to aid navigation. It is also understood that Goldfinger embraced the level changes that occur across the site, harnessing this topography to set up a range of dramatic views that highlight the contrasting heights of each block.

Policies / recommendations:

Potential changes

- The introduction of any new building elements to the Estate should respect the existing massing hierarchy, retaining the primacy of Block A.
- New elements should maintain key views to Trellick Tower and its setting.
- Improve the north-south and east-west pedestrian routes within the site to reconnect the area at the base of Trellick Tower with the Edenham Way Estate.



1. Diagrammatic site plan, adapted from an original Goldfinger drawing published in the Architectural Review, 1973



2. Diagram adapted from an original axonometric drawing - RIBA

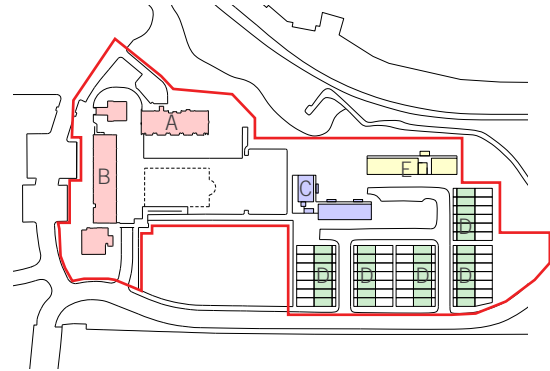
Cheltenham Estate: External Areas

Significance: Varies

Component assessment:

Podium/ carpark
Multi Use Games Area (MUGA)
Walkways
Service Yard
Edenham Way landscaping

D
E
D
C
D



Observations:

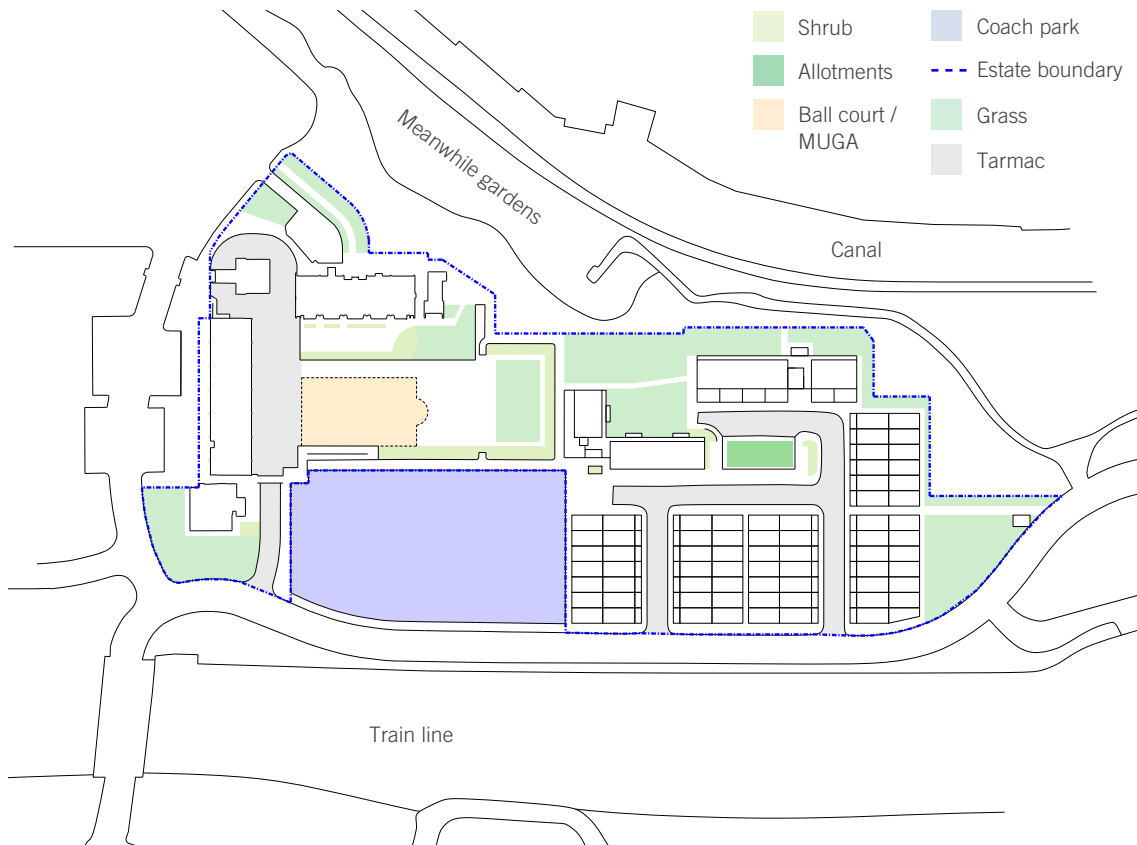
The current estate boundary and green spaces that exist across the estate have been informed by the demolition of the Old People's Home and partial demolition to the car parking podium. The fenced off coach park, formerly the site of the Old People's Home, disrupts the main east-west route across the site and has been visually screened off by a tall row of conifers. The original meandering north-south routes, appearance and character of the external spaces, and use of original public facilities such as the ball court and roof gardens have also been destroyed by the partial demolition of the car parking podium and original pedestrian walkways.

Fig. 1-2

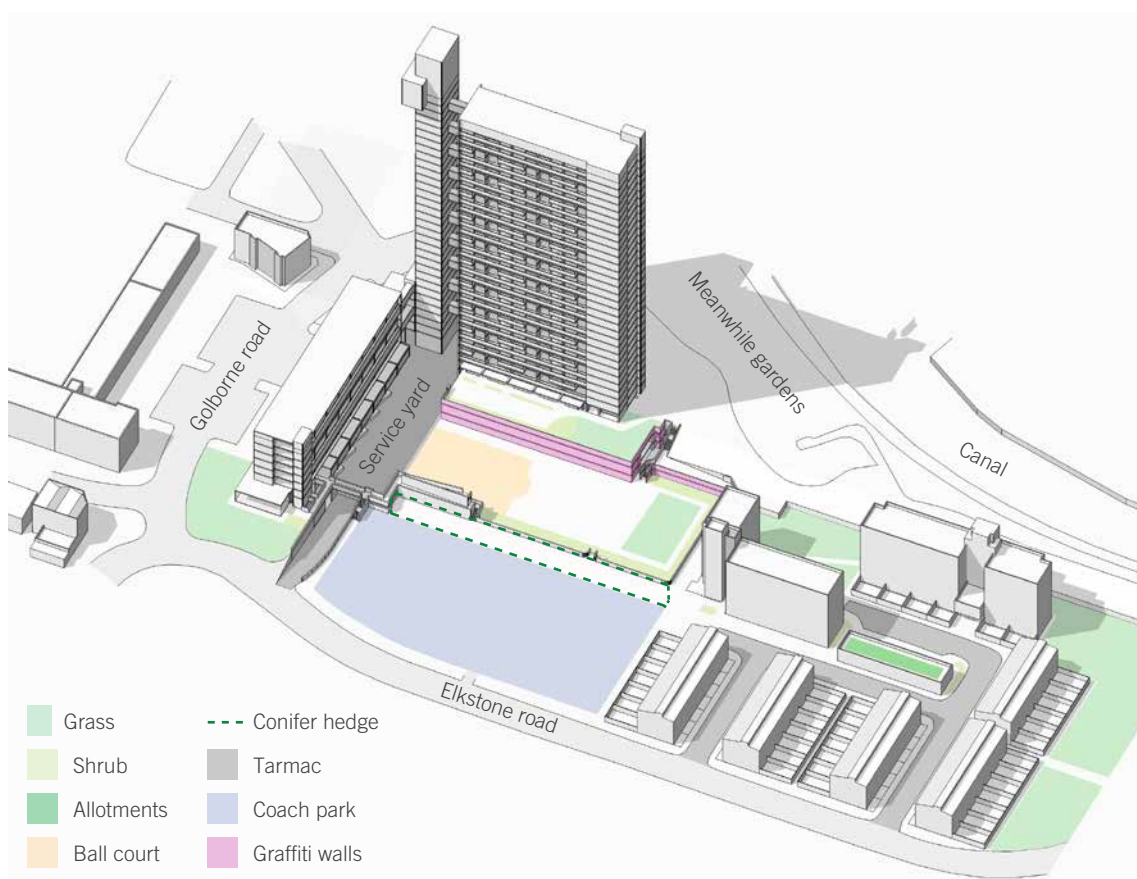
Policies / recommendations:

Potential changes

- Investigate opportunities to provide greater definition between public and private spaces across the site to encourage greater use of common areas and facilities.
- Improve north-south and east-west pedestrian routes across the site and eliminate any dead-end and intimidating routes.
- New development should seek to minimise undercrofts and dark spaces, and to encourage passive surveillance through overlooking of pedestrian routes and increased use of shared spaces.



1. Existing site plan, external land use - HTL 2015



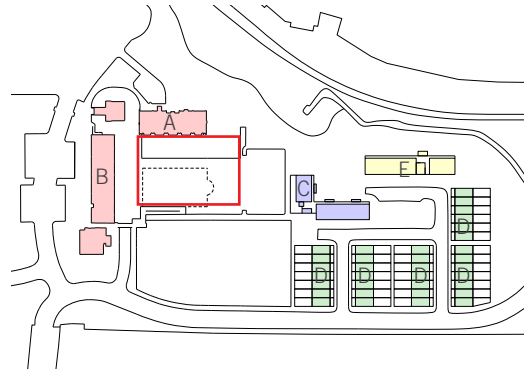
2. Existing site 3D view, external land use - HTL 2015

Cheltenham Estate: Car parking podium area

Significance: D

Component assessment:

Car parking podium	D
MUGA/ Ball court	E
Graffiti wall	E



Observations:

Trellick Tower originally included a three level car parking podium at the base of Block A, incorporating vehicular parking, a car wash, and pram stores for residents. Access to the car park was originally provided from the service yard, the turning circle was located around the base of the service tower, with entry to the 'middle garage' before ramping down and up between three split-level garages. Stepped pedestrian access cores were located in the north-west and south-east corners with ramped pedestrian access to the pram stores incorporated immediately to the north of the service tower. Perforate blockwork panels, built between the main structural frame, formed the original south elevation.

Fig. 1-4

Changes since the 1970s and current condition:

The car parking podium was demolished to the line of the internal ramp in 1989. A blockwork wall to the south elevation was then constructed and has since been earmarked as an area for graffiti. After demolition of the car park the ground immediately to the south was filled in to become level with the service yard and left as an open space. A ball court (or MUGA) was constructed recently but appears to be underused. The landscaped area north of Block A has undergone a number of changes and currently incorporates a small parking area and fenced off lawn. A childrens playground is located adjacent to the east gable end elevation of Block A with steps required to navigate the level change at this point.

Fig. 5-7

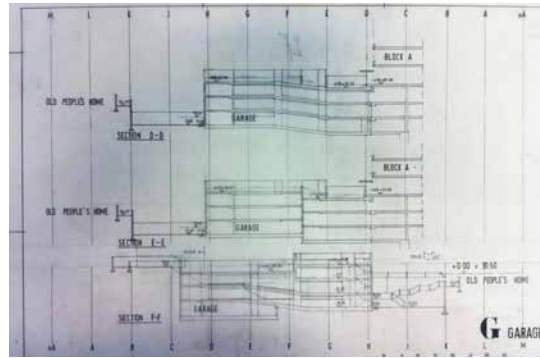
Policies / recommendations:

Potential changes

- Encourage greater use of common areas and consult residents on the type of facilities that should be provided.
- Explore how the level changes and severed pedestrian routes can be resolved to provide level access to the courtyard space.
- Assess significance of the remaining, compromised elements of original fabric that have been left after partial demolition of the car park.
- Explore changes to the landscaped area north of Block A to allow greater use and management of this area.
- Identify a viable use for redundant car parking garages.



1. Original car parking podium viewed from Block C - James Dunnett



2. Section through car parking podium - Goldfinger



3. Original podium viewed from Block B - James Dunnett



4. Aerial view of podium - RIBA



5. Current view of area south of podium - HTL 2015



6. View of remaining podium - HTL 2015



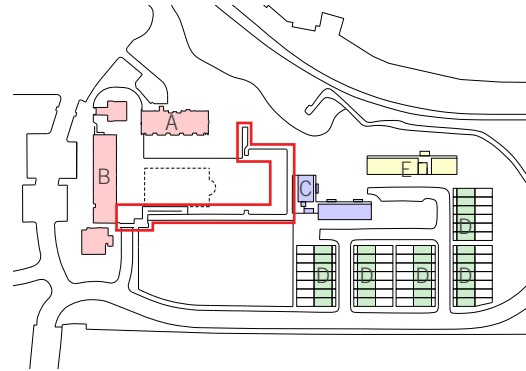
7. View of graffiti wall on the remaining podium - HTL 2015

Cheltenham Estate: Pedestrian walkways

Significance: D

Component assessment:

Walkways and ramp D



Observations:

The original Goldfinger design for the external landscaping deliberately separated pedestrian and vehicular routes. When first completed this landscaping incorporated a bridge link to the roof garden on the top of the car parking podium (accessed via the remaining ramped structure), perimeter walkways and staircases surrounding a lower garden area and ballcourt. A second bridge link over the service yard connected these courtyard spaces to Golborne Road. Retaining walls, ramps, stair and bridges were originally constructed from in-situ bush hammered concrete with a lipping detail produced by the formwork. Sloped parapets to walls were constructed to allow water run off. Small areas of fair faced concrete were also used.

Changes since the 1970s:

Due to the partial demolition of the car park in 1989 the original north-south pedestrian route, across the bridge link and roof garden on top of the car park, and the east-west route, adjacent to the now demolished Old People's Home, have been disrupted. The staircase down to the original ball court and lower garden area to the south of the original car park was also demolished. This has resulted in a redundant ramped structure, unattractive fragments of the original walkways, and intimidating dead ends and undercroft areas. The redundant ramped structure and bridge link to Golborne Road still remain.

Fig. 1-8

Condition of external components:

Staining and localised damage to the balustrades is visible. Graffiti is visible on a large proportion of the walkways but is most prevalent to the inside face of the walls forming an enclosure at the base of the car parking podium. Areas of blockwork infill, with recycled sloping parapets, are also visible.

Policies / recommendations:

Potential changes

- Explore how the level changes and severed pedestrian routes can be resolved to provide level access to the courtyard space.
- Improve north-south and east-west pedestrian routes across the site and eliminate any dead-end and intimidating routes.
- Assess significance of the remaining, compromised elements of original fabric that have been left after partial demolition of the car park.



1. Bridge link over service yard - HTL 2015



2. Bridge link over service yard - HTL 2015



3. Bridge link to Golborne Road - HTL 2015



4. Redundant ramped structure - HTL 2015



5. Blocked off entrance to ball court stair - HTL 2015



6. Stair to north of courtyard - HTL 2015



7. Compromised east-west route - HTL 2015



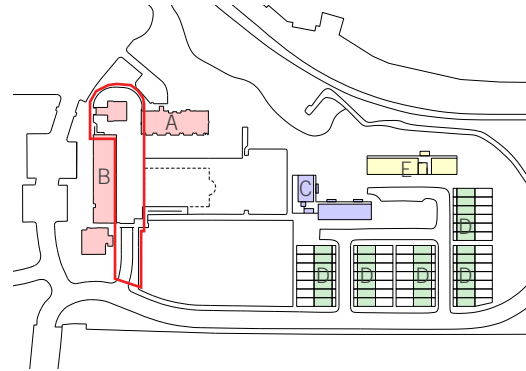
8. Detail of concrete walls - HTL 2015

Cheltenham Estate: Service Yard

Significance: C

Component assessment:

Service yard C



Observations:

The original Goldfinger design for the service yard provided vehicular access to the basement levels of the Golborne Road commercial units, complete with staggered loading bays, and included a clockwise turning circle at the base of the service tower. The entrance to the car park and ramped pedestrian access to the pram stores also occurred at this service yard level. A dedicated bin store is included within the footprint of the service tower and has always provided access for the refuse collection vehicles.

Changes since the 1970s:

Due to the installation of the replacement electrical heating system in the mid 1970s a substation was installed at service yard level directly to the west of the tower which has blocked the turning circle ever since. Following demolition of the car park the entrances to the garages and pram stores have also been closed off to residents. These spaces are currently dimly lit, intimidating and pose a number of management problems. The bin store remains in the same location, however, due to the amount of refuse this often spills into the service yard with the wheelie bins moved infrequently after the bi-weekly collection. A lack of controlled access has also led to ongoing issues with fly tipping and unauthorised parking.

Fig. 1-6

Policies / recommendations:

Potential changes

- Identify use for 'dead' space at top of turning circle.
- Explore demolition/ relocation of electrical substation.
- Identify use for redundant pram stores.
- Explore improving connections to Golborne Road.

Maintenance & management

- Identify improvements to refuse storage and collection.
- Identify improvements to security and access control in order to limit fly tipping and anti-social behaviour.



1. Current view of the service yard - HTL 2015



2. Current view of service yard - HTL 2015



3. View of loading bays - HTL 2015



4. Substation and adjacent bin store - HTL 2015



5. Current view of service yard - HTL 2015



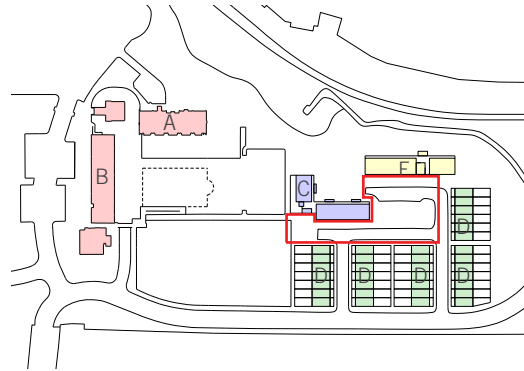
6. Current view inside car parking podium - HTL 2015

Cheltenham Estate: Edenham Way Landscaping

Significance: Varies

Component assessment:

Area adjacent to Block C	D
Garages	C
Allotments adjacent to Block E	B



Observations:

The original Goldfinger landscaping design for Edenham Way included a row of 11 garages to the south of Block E at the entry level for the Block D houses. Due to changing levels at this point on the estate an in-situ cast concrete stair, similar in detail to those located off the pedestrian walkways, was installed immediately to the west of these garages to provide access to the higher entry level of Blocks C and E. A large brick planter located immediately south of the Block C main entrance also formed part of the original designs and provided a focal point for pedestrians travelling from or towards the Trellick Tower walkways.

Fig. 1-2

Fig. 3-4

Fig. 5

Changes since the 1970s:

The original garages and stair still remain, however, a number of garden allotments have been planted on top of the garages and it is understood that these plots are in high demand from Edenham Way residents. The brick planter also remains and provides bedding for a mature tree. Access to Meanwhile Gardens, and to the area north of Blocks C and E, has been compromised by new black painted metal fencing.

Fig. 6

Policies / recommendations:

Potential changes

- The position of the existing metal fencing should be reconsidered to allow greater access to Meanwhile Gardens and the area north of Blocks C and E.
- The provision of further garden allotments should be explored.

Maintenance & management

- Refurbishment of the garages is required. Any refurbishment should be carried out in line with the recommendations for concrete repair and avoid damage to the concrete and yellow brick structures. If possible the metal shutters should be painted to match the original colour.



1. Garage elevations - HTL 2015



2. Garage elevations - HTL 2015



3. Garage stair steps - HTL 2015



4. Garage stair balustrade - HTL 2015



5. Brick planter - HTL 2015



6. Garden allotments on top of garages - HTL 2015

Trellick Tower: Overview of Blocks A and B

Significance: A

Component assessment:

Block A	A
Service Tower	A
Block B	A

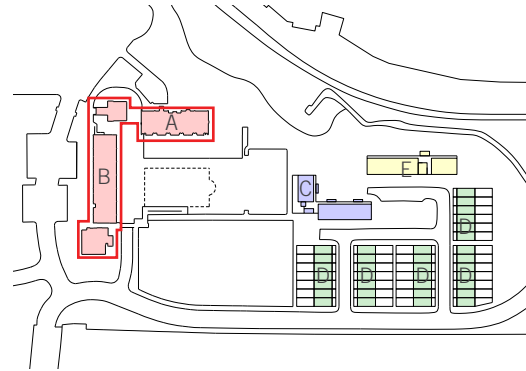


Fig. 1

Observations:

The massing and elevations of both Blocks A and B is generated by a system of proportional design that is common to much of Goldfinger's work. Locating this massing on the site the original design orientated the blocks to maximise levels of daylight and provide extensive views out over the surrounding area. A clear structural and material hierarchy were also employed as described below.

Orientation:

Benefitting from a south orientation the main living spaces on Block A receive high levels of daylight and views out over what was originally the landscaped roof garden on top of the car parking podium. The north orientation of the Block A bedrooms and access galleries affords views out along the canal and over Meanwhile Gardens. The west orientation of the Block B dwelling facade provides afternoon and evening daylight to the main living spaces with views out over Golborne road. The Block B bedrooms and the access galleries are located on the east side to benefit from morning daylight and greater privacy.

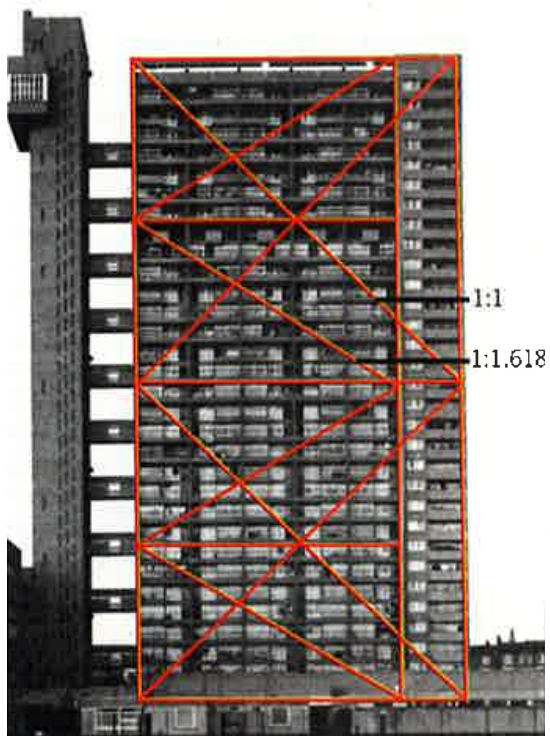
Structure:

A structural system of solid concrete slabs and cross walls was employed by Goldfinger, and this grid is expressed on the external elevations as party walls, slabs and the beams supporting access galleries project out beyond the glazing line.

Fig. 2-5

Material hierarchy:

A clear material hierarchy accompanies this structural logic with primary structure constructed from in-situ concrete (bush hammered on exposed faces) and secondary structural elements formed from precast concrete elements (exposed aggregate finish to match the in-situ concrete). Black painted metal windows were installed in communal areas with white painted timber windows installed on private flat elevations. A supplementary language of vertical timber linings provides warmth on the balcony spaces of the primary dwelling facades.



1. Proportions of Block A - James Dunnett



2. Current view from Golborne road bridge - HTL 2015



3. Current view from Golborne road - HTL 2015



4. South elevation of Block A - HTL 2015

Trellick Tower: Overview of Blocks A and B (cont)

Circulation:

The overall circulation of Trellick Tower can also be read in the external form. The service tower is separated from Blocks A and B with each bridge link and access gallery serving three floors of dwellings. Secondary escape stairs at the end of both blocks project out from their respective gable ends. Arrow slit windows on the elevations of these stairs and the service tower are arranged to afford views out when travelling up or down.

Overview of construction materials:

- In-situ cast concrete floor slabs and cross walls (bush hammered on exposed faces).
- Pre-cast concrete components for bridge links and access galleries (exposed aggregate finish to match the in-situ concrete).
- Black painted metal windows to communal areas.
- White painted timber windows to dwelling façades.
- Asbestos based spandrel panels to dwelling façades.
- Stained vertical timber cladding to balcony spaces.
- Black painted metal balustrade to balcony spaces.
- Grey brick infill panels to ground floor commercial/ community spaces.



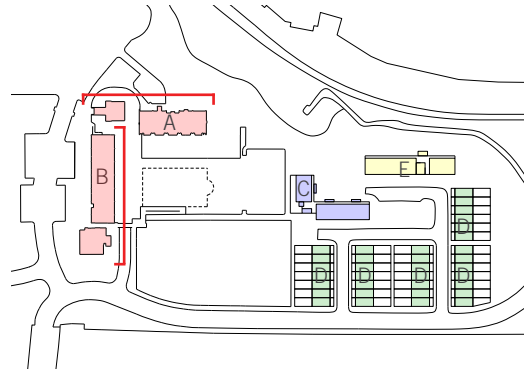
5. West elevation of Block B - HTL 2015

Trellick Tower: North & East Elevations

Significance: A

Component assessment:

Block A composition	A
Block B composition	A
Service tower	A
Bridge links	A



Observations:

Overall composition:

The north elevation of Block A and the east elevation of Block B are characterised by projecting access corridors that continue the line of the service tower bridge links at every third floor. These corridors break the main structural grid and are supported on concrete beams that project slightly beyond the outer face of the corridors.

Fig. 1-7.

Located above and below this main access level, and set back from the face of the access corridors, the rear elevations of the type b flats and type g maisonettes are visible. Lying adjacent to the secondary escape stairs at the end of Blocks A and B, the rear elevations of the three bedroom flats (types d and f) can be read as half a structural bay. Each flat is framed by the concrete cross wall structure, the edges of which are faced with pre-cast concrete panels. Timber framed windows with asbestos spandrel panels infill between this structure.

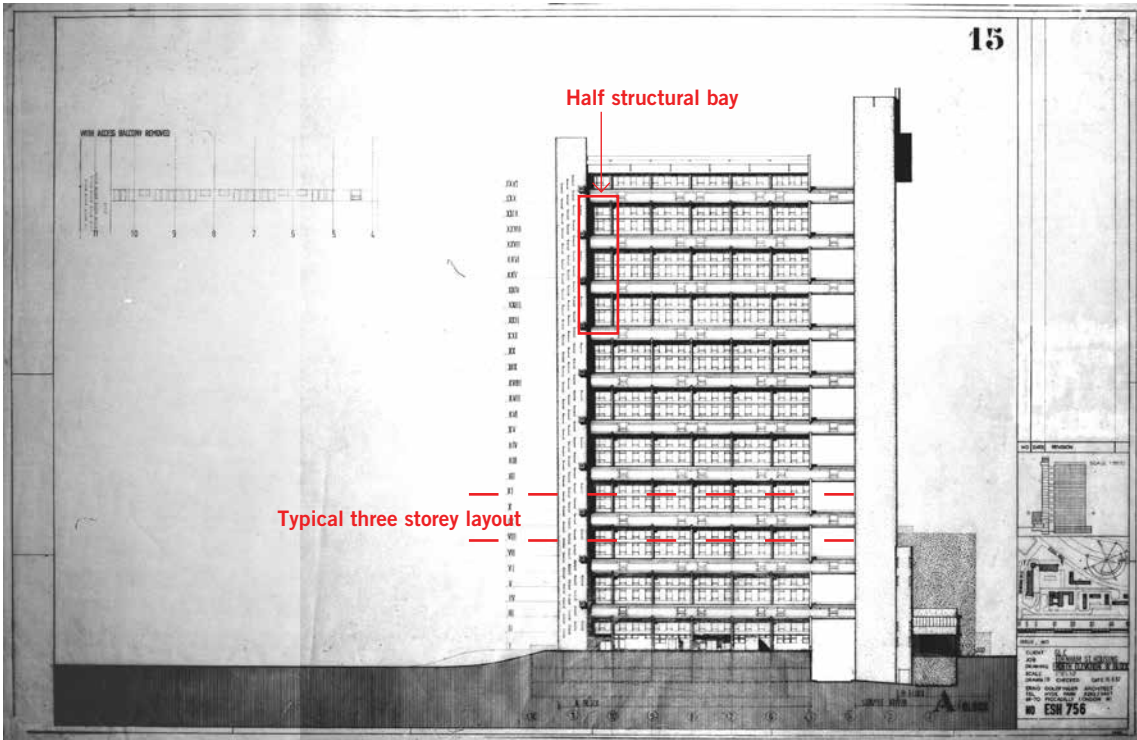
Fig. 5-7.

A secondary escape stair with arrow slit windows, arranged to articulate vertical circulation, is housed at the end of both blocks. Protruding in-situ concrete cast frames housing extract grilles are also visible at the end of the blocks and are repeated every three levels.

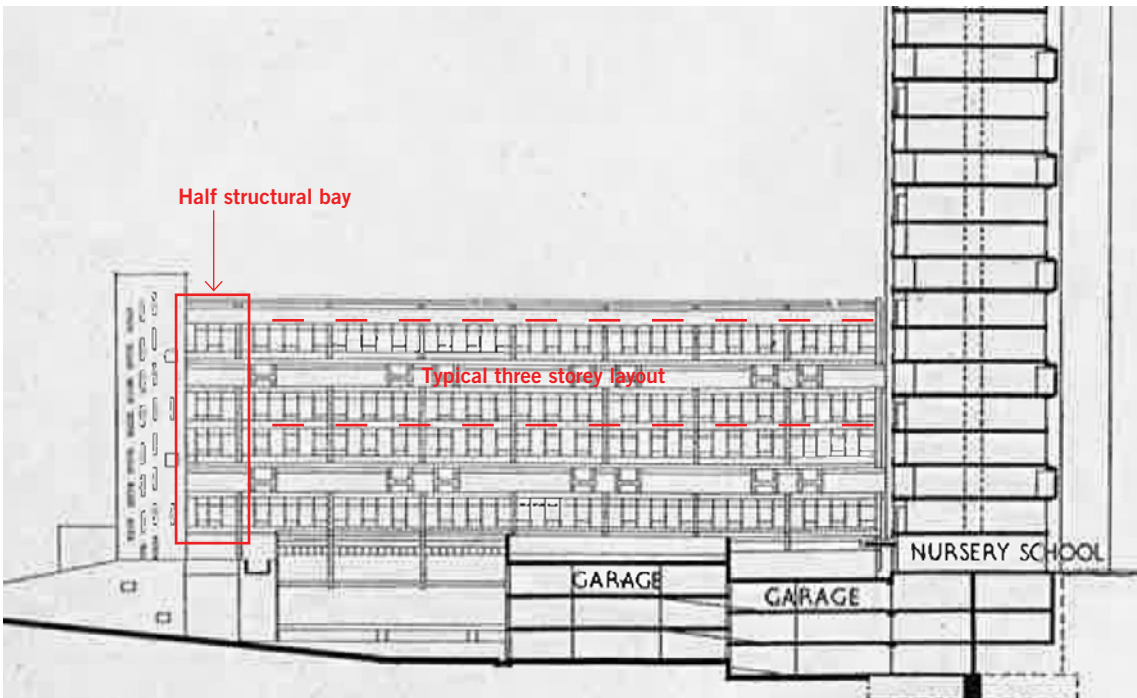
Service Tower:

On its northern face the service tower presents a windowless façade with the projecting volume of the boiler room and flues visible on the 30th floor. A narrow slit, allowing drainage to be incorporated, is also visible in the roof parapet of the tower. The eastern face of the service tower similarly presents a blank façade, obscured for the main part by the gable end of Block A.

The bridge links spanning between the service tower and the main blocks have a curved form reminiscent of a railway carriage. These links match the design and line through with the pre-cast elements that form the access galleries on the main body of façade.



1. North elevation of Block A - Goldfinger



2. East elevation of Block B - Goldfinger

Trellick Tower: North & East Elevations (cont)

Policies / recommendations:

Potential changes

- The overall composition and materials of the elevations, including the proportion and detail of window openings and fenestration, should remain unchanged.
- Consideration should be given to the re-instatement of the Block A cornice in the event that heritage funding is available.

Refurbishment & alterations

- Refer to section on concrete for guidance on repairs to in-situ concrete and precast components.
- Refer to respective sections on timber and metal windows for guidance on repairs/ replacement of window systems.
- Explore the removal of satellite dishes and wiring fixed directly to external façades.

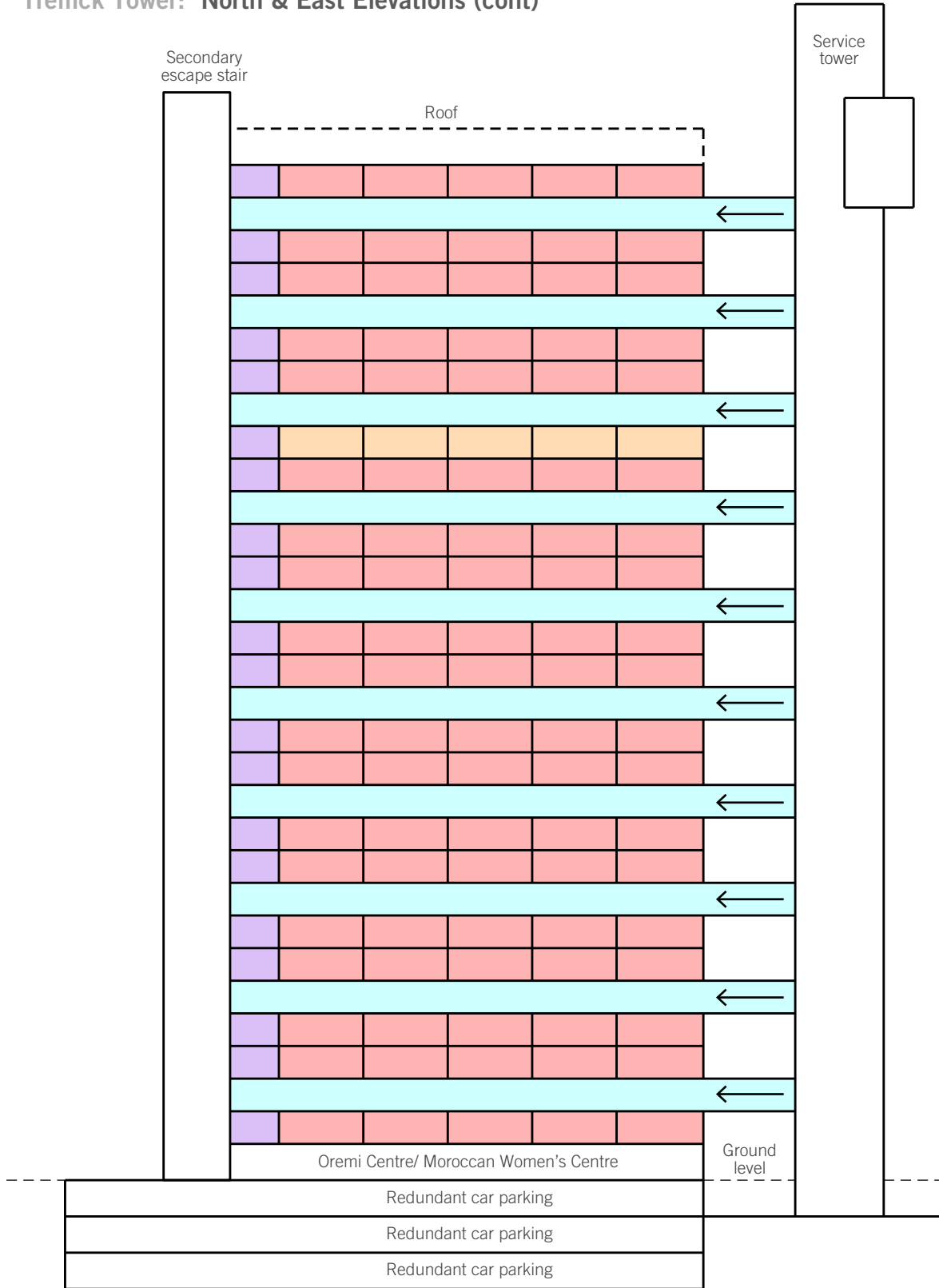


3. North elevation of Block A from Meanwhile Gardens - HTL 2015



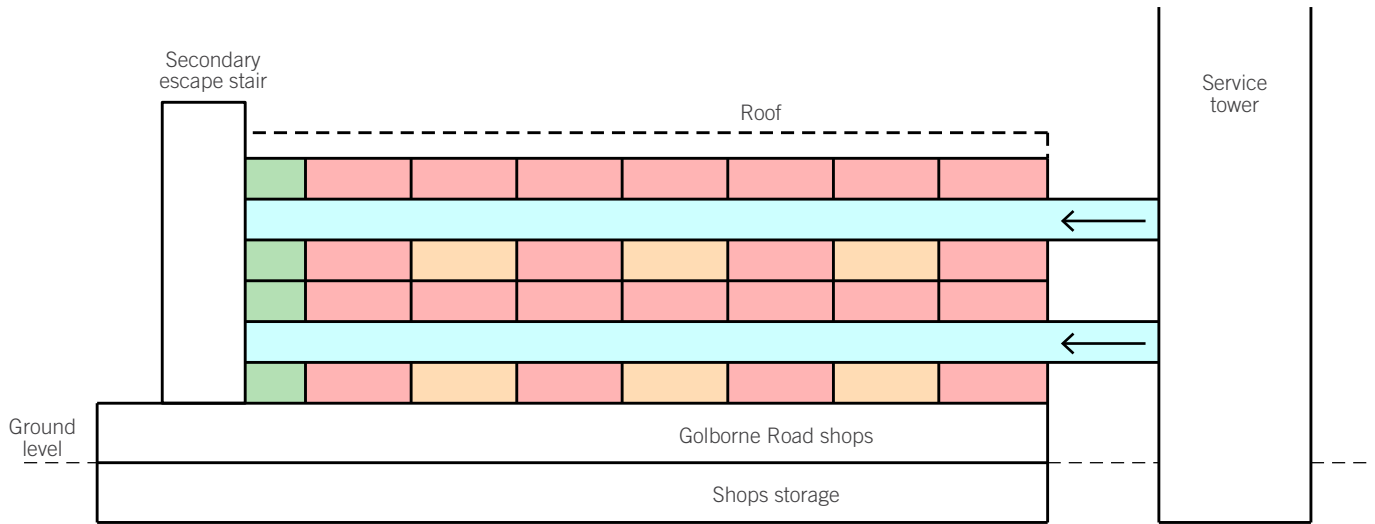
4. East elevation of Block B from ball court adjacent to service yard - HTL 2015

Trellick Tower: North & East Elevations (cont)

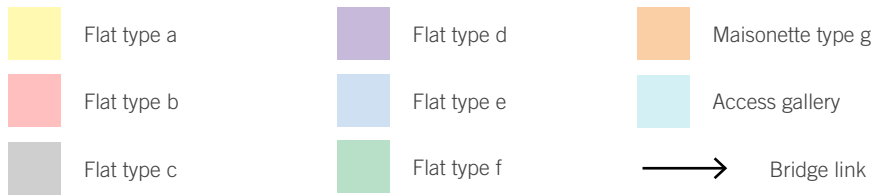


5. Block A North Elevation flat layout, 1:500 @ A4 - HTL 2015





6. Block B East Elevation flat layout, 1:500 @ A4 - HTL 2015



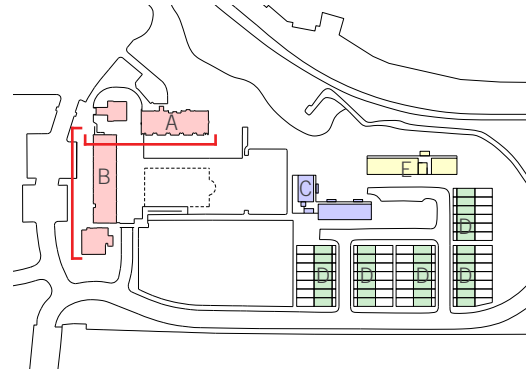
7. Block A and B typical plans with flat types - HTL 2015

Trellick Tower: South & West Elevations

Significance: A

Component assessment:

Block A composition	A
Block B composition	A
Service tower	A
Bridge links	A



Observations:

Overall composition:

On the south elevation of Block A and west elevation of Block B, the concrete cross wall structure is fully expressed and emphasised by deeply modelled private balconies. The basic three storey layout of dwelling types can be read externally on both the south elevation of Block A and the west elevation of Block B. Each typical access level provides entry to four single bedroom flats (type a) and one double bedroom flat (type c or e). The half width balconies of these flats are visible on the external façade. Five double bedroom flats (type b) and one three bedroom flat (type d or f) are located on the floors above and below. Full width balconies serving these flats are again visible on the external façade.

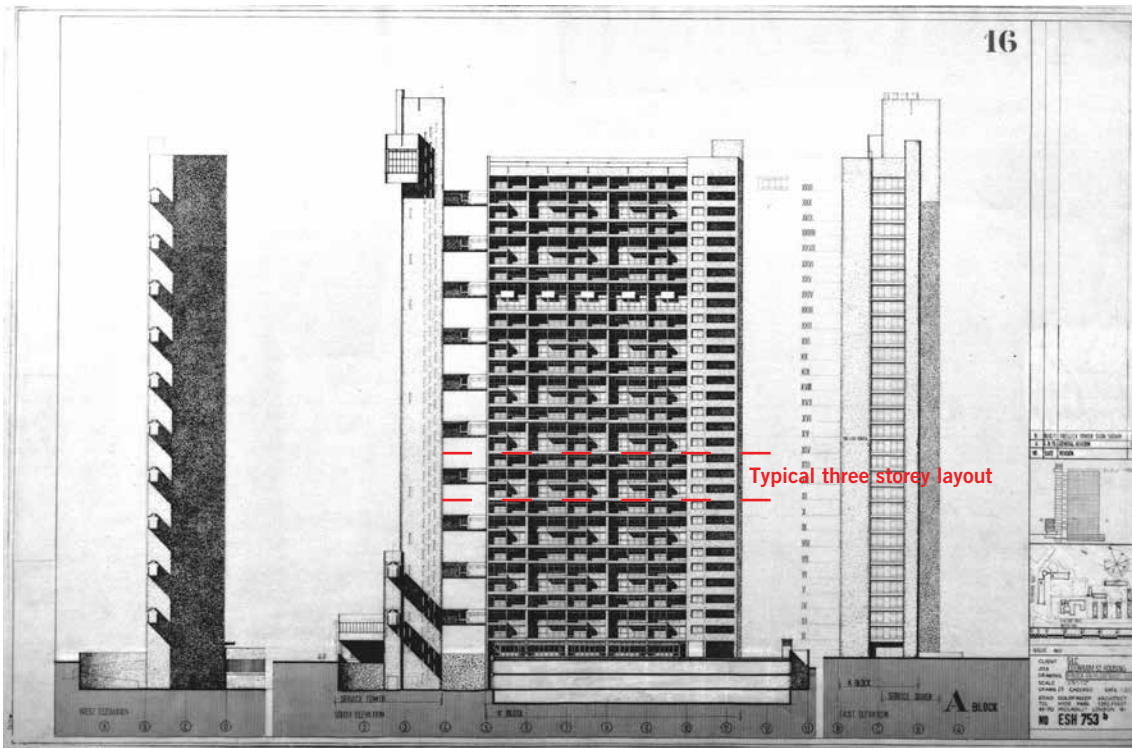
Fig. 1-7

An exception to this typical layout exists on levels 23 and 24 on Block A, and for alternating flats on Block B, where double storey maisonettes (type g) are entered at the upper level from the access gallery. This is expressed on the external façade as projecting square balconies with concrete facing panels, centred between party walls. The main structural grid is expressed on both blocks with party walls and floor slabs faced in pre-cast concrete panels.

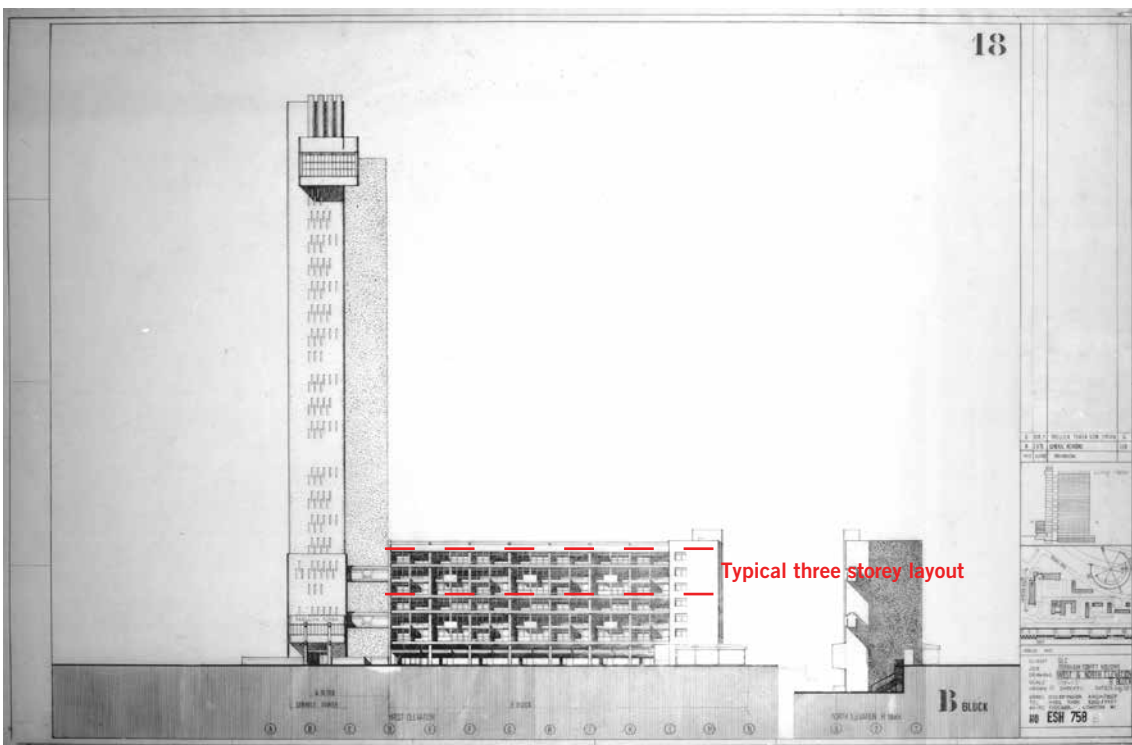
The gable end east elevation of Block A is composed of two timber windows, belonging to flat types c and d, positioned between (and recessed back from) the concrete façades of the secondary stair core and living space. The south facing gable end elevation of Block B is similarly composed, with the exception of the south facing balcony spaces that cut into the concrete façades of the main living spaces for flat types e and f.

Service Tower:

The bridge links connecting the stair and lift core to both blocks every three floors are visible on the southern and western faces of the service tower, while a repeated pattern of arrow slit windows articulates vertical circulation and the position of the stair core. The projecting form of the boiler room on the 30th floor is also visible, with the now redundant concrete flues extending up beyond the top of the service tower.



1. South elevation of Block A and service tower - Goldfinger



2. West elevation of Block B and service tower - Goldfinger

Trellick Tower: South & West Elevations (cont)

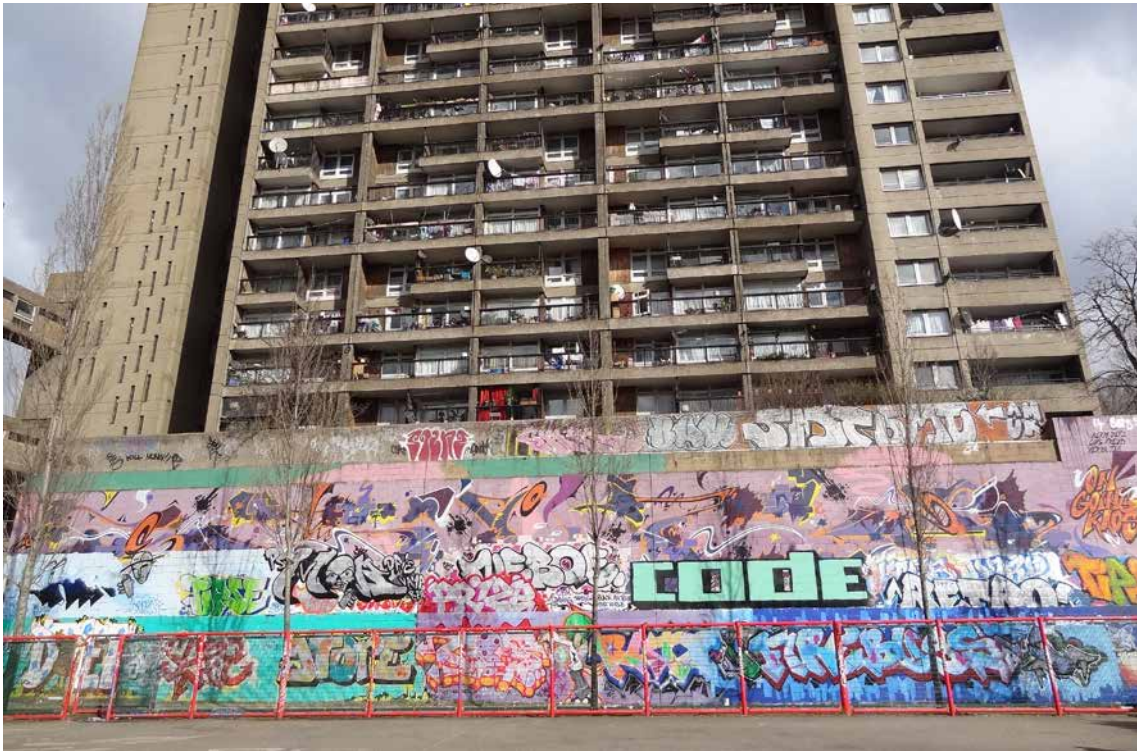
Policies / recommendations:

Potential changes

- The overall composition and materials of the elevations, including the proportion and detail of window openings and fenestration, should remain unchanged.
- Consideration should be given to the re-instatement of the Block A cornice in the event that heritage funding is available.

Refurbishment & alterations

- Refer to section on concrete for guidance on repairs to in-situ concrete and precast components.
- Refer to respective sections on timber and metal windows for guidance on repairs/ replacement of window systems.
- Explore the removal of satellite dishes and wiring fixed directly to external façades.

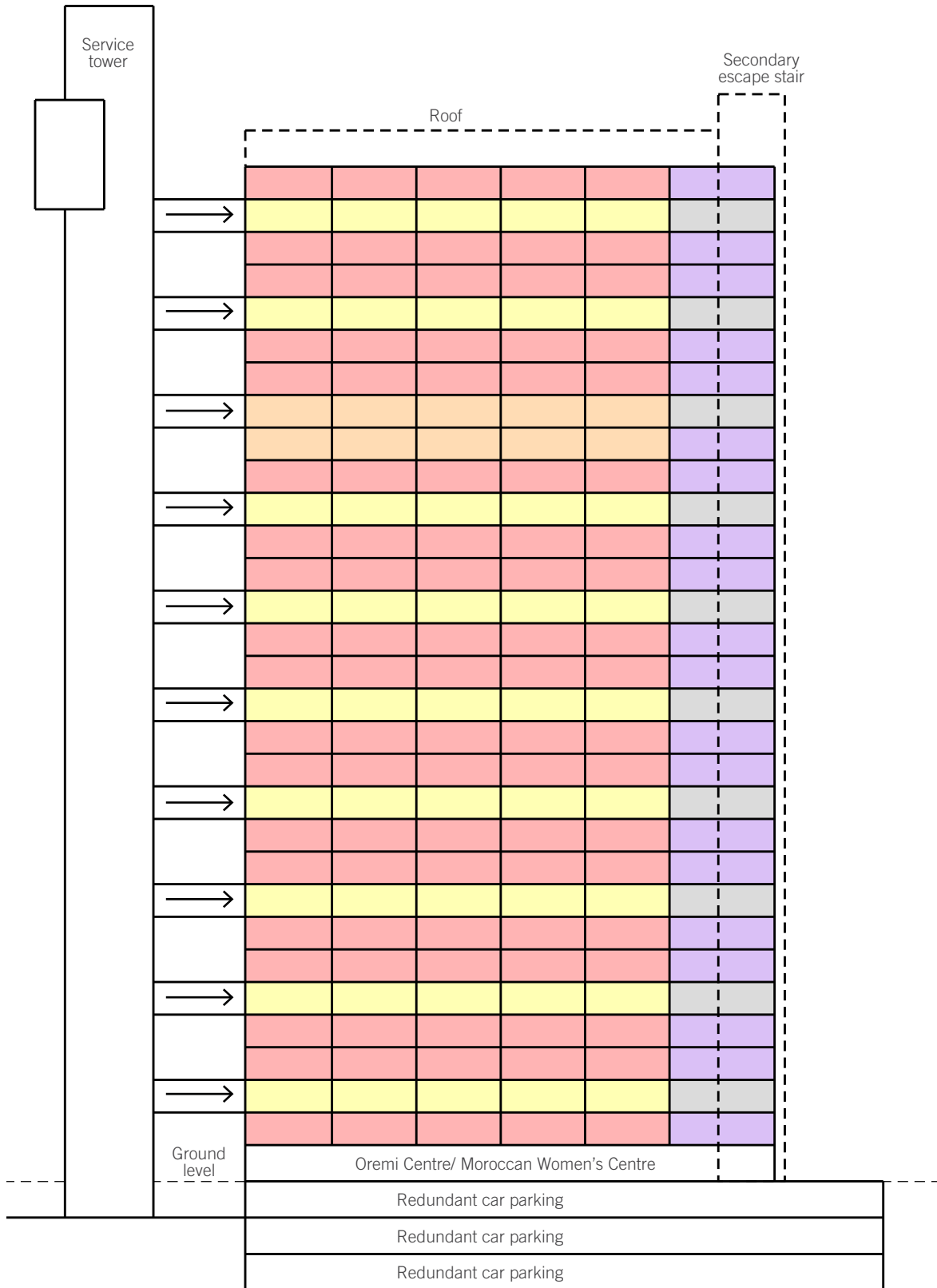


3. The south elevation of Block A and current podium from the ball court - HTL 2015



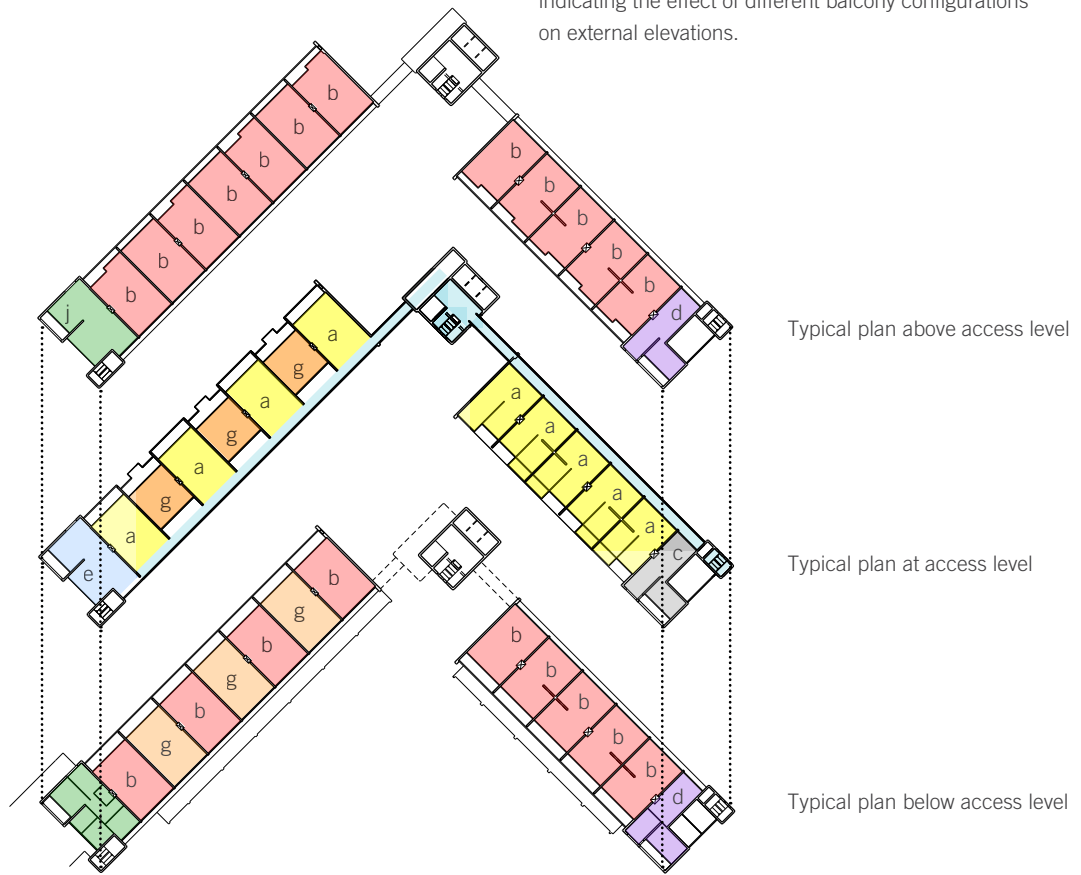
4. The west elevation of Block B from Golborne Road - HTL 2015

Trellick Tower: South & West Elevations (cont)

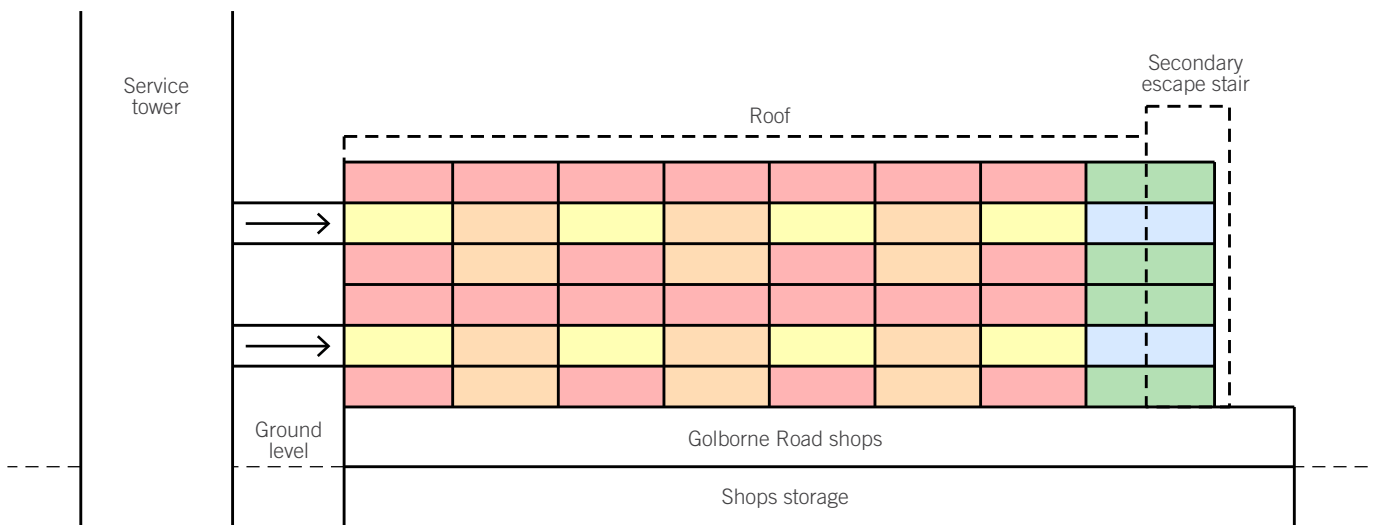


5. Block A North Elevation flat layout, 1:500 @ A4 - HTL 2015

NB. Refer to section on dwelling types for diagrams indicating the effect of different balcony configurations on external elevations.



7. Block A and B typical plans with flat types - HTL 2015



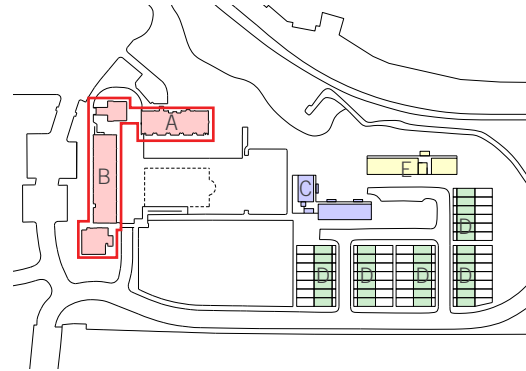
6. Block B East Elevation flat layout, 1:500 @ A4 - HTL 2015

Trellick Tower: Concrete

Significance: A

Component assessment:

In-situ bush hammered	A
Pre-cast exposed aggregate	A
Pre-cast access balconies	A



Observations:

The structural and material qualities of the concrete are integral to the character of the architecture and the concrete elements form the most significant fabric of the building.

Blocks A and B generally employ an in-situ cast concrete cross wall construction with steel reinforcement (RC). This is strongly expressed on the external elevations. The upper floors are constructed from 9" thick RC slabs tied with RC cross walls with planed 'wrot' formwork used to create the soffits. 'L' shaped pre-cast concrete components form the access gallery floors and roof and are fixed to the edge of in-situ floor slabs. The bridge links are also composed of separate pre-cast floor and roof components. Projecting in-situ cast concrete beams support the access gallery floors.

Fig. 1+2

The main roofs are formed from a similar 9" RC slab. A 6" RC parapet wall runs around the roof perimeter with part preformed aluminium cappings and part pre-cast concrete copings. The stairwell roofs are formed from a 6" RC slab.

The walls enclosing the main staircases are generally 9" RC with a bush-hammered face externally and metal window inserts. The primary end walls and those enclosing the gable end flats are 10" RC with 2" wood wool permanent formwork internally and have a bush hammered external face. Day joints are visible to all in-situ cast concrete walls and are arranged to form bands that articulate the position of the floor slabs.

Fig. 3+7

On all the primary elevations for Blocks A and B pre-cast cladding panels with an exposed aggregate are applied to the edges of floor slabs, including to balcony slabs, and the ends of the structural cross walls.

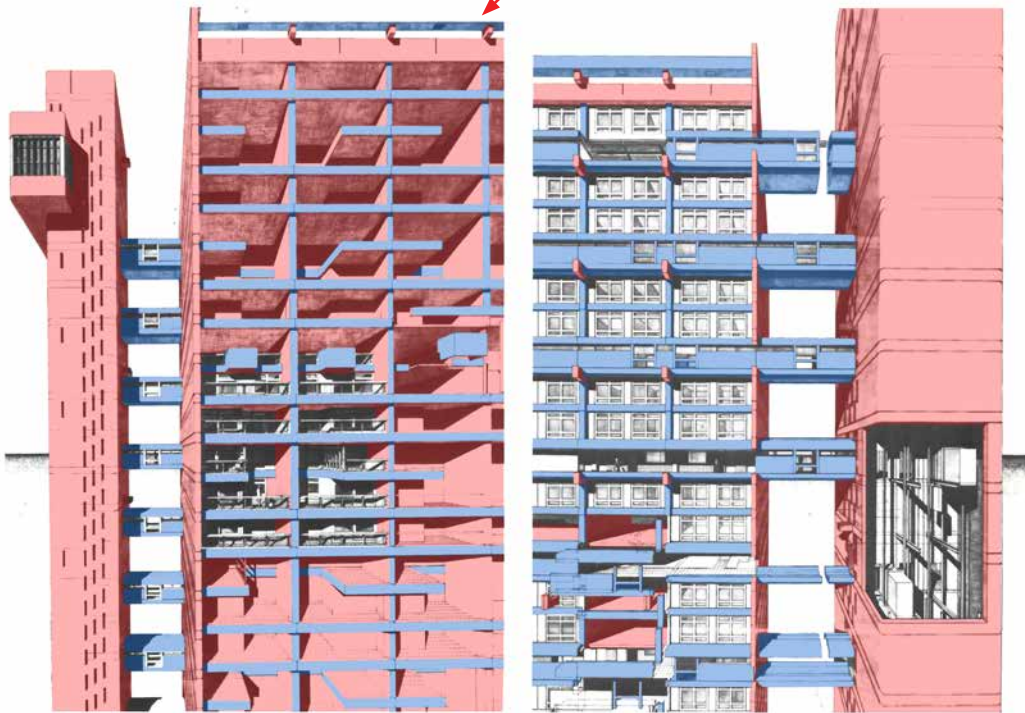
Fig. 4

The access galleries and bridge links have 5 1/2" pre-cast concrete walls, fixed back to the floor and roof components, with an exposed aggregate finish to both sides. A lighter pre-cast 'H' shaped component provides framing for the square windows to access galleries.

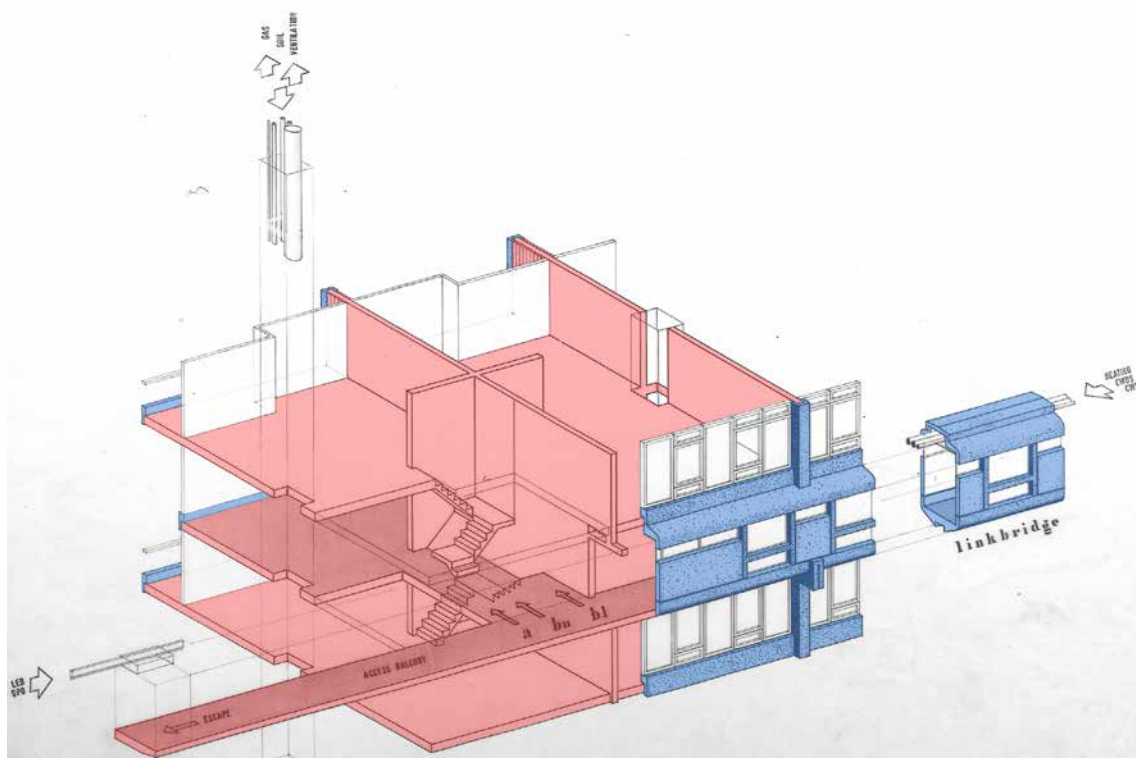
Fig. 5

- In-situ cast concrete
- Pre-cast concrete components/ facing panels

cornice - pre-cast on insitu supports



1. 3D drawings indicating structural and pre-cast concrete components - Goldfinger



2. 3D drawing indicating assembly of pre-cast concrete components to access galleries - Goldfinger

Condition of components:

Localised damage and repairs to in-situ concrete on Blocks A and B and the service tower are clearly visible. It is not known what surface coverage over steel reinforcement remains. Future repair work should aim to maintain a more consistent appearance with adjacent areas as set out in the recommendations below. Fig. 9+10

Where visually accessible the pre-cast concrete panels facing floor slabs and party walls appear to be in good condition, however, general weathering and staining is visible. Areas of vulnerability have been identified on some elevations.

In general a more detailed inspection is required to confirm the scope and nature of any damage.

Policies / recommendations:**Refurbishment & alterations**

- The concrete defines the primary architectural elements and any alterations should be approached with extreme care.
- Localised repairs may be required to both in-situ and pre-cast concrete components. A comprehensive survey of the existing fabric is recommended.
- Any alterations to the concrete must be closely coordinated with a structural engineer.
- A method statement for repairs to all finishes of concrete should be developed and thoroughly tested on inconspicuous areas before more general application.
- Previous reports on concrete repairs should be referenced before preparing this method statement and are contained within the appendix of this document.

Maintenance & management

- All maintenance and cleaning procedures should take utmost care not to damage the surface texture of the concrete, and should be carried out as infrequently as possible.
- Agree a cleaning method for the removal of graffiti and any stains to the concrete surfaces.



3. In-situ cast external walls with day joint - HTL 2015



4. Pre-cast panels with exposed aggregate - HTL 2015



5. Pre-cast concrete access gallery - HTL 2015



6. In-situ external landscape walls - HTL 2015



7. Day joint to in-situ concrete - HTL 2015



8. Joint to pre-cast panels - HTL 2015



9. Typical staining - HTL 2015



10. Example of localised damage + repairs - HTL 2015

Trellick Tower: Timber windows and doors

Significance: B

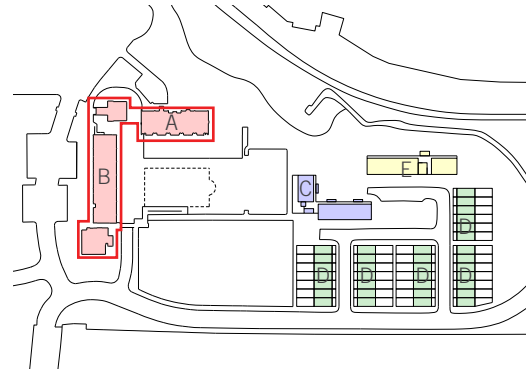
Component assessment:

Original timber windows and doors

Replacement windows and doors

B

D



Observations

All external windows, balcony screens and doors to private dwellings were originally white painted timber framed units and echoed the proportions used by Goldfinger in the composition of the main elevations. Typically an early form of Pilkington double glazing, known as ‘Glastoglas’, was used with fixed georgian wired panels incorporated within the low level window panes. Window frames and glazing were originally fixed from the inside with external linings then installed to hide the junction of the frame with structural walls or blockwork partitions.

Four main ‘families’ of timber window types were designed by Goldfinger and labelled ‘TA’, ‘TB’, ‘TC’, and ‘TD’. For purposes of illustration the Block A window types, and their facade locations are recorded below:

Fig. 1-8

- **Types TA1-4:** Located on the north and east elevations of Block A (and east and south elevations of Block B). These assemblies were installed as complete prefabricated wall systems and include window units glazed in three sections and separated by slim timber and larger metal faced, asbestos based spandrel panels.
- **Types TB1-9:** Located on the south elevation of Block A (and west elevation of Block B). Various configurations of sliding balcony doors, kitchen doors, and centrally pivoting windows exist to generate the elevations of the 1 and 2 bedroom flats and maisonettes. Following the installation of external timber cladding these elevations form ‘double and single bays’ that lie between the primary structural walls and slab.
- **Type TC1:** Located on the south elevation of Block A (and south elevation of Block B) and set within the in-situ concrete of the 3 bed gable end flats. This assembly includes two single glazed panels hinged on a centre pivot.
- **Type TD1:** Located internally on the north side of the Block A access floors. This type is a bedroom window composed of a single fixed pane and occurs only within the 1 bed flats.

Fig. 5

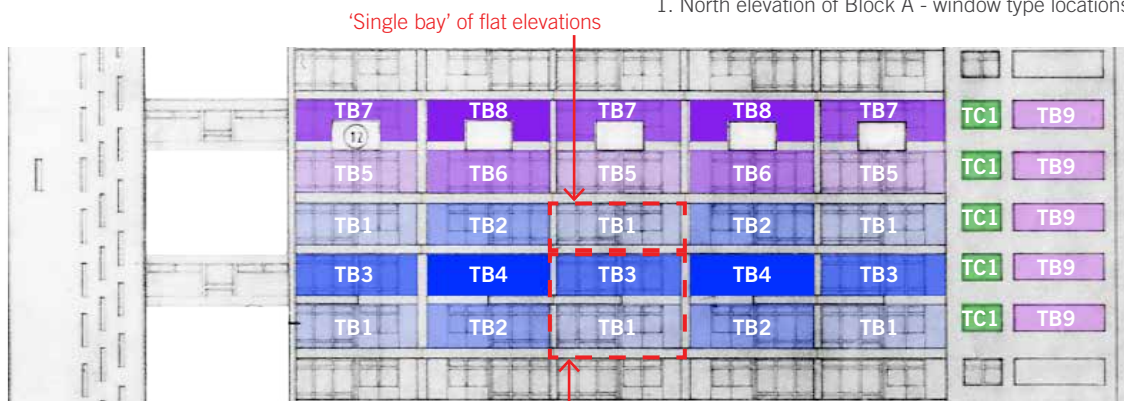
Note on handing: A number of window types, such as TA2 and TA3, are similar in design but handed to suit either left hand or right hand dwellings.

In addition to the above families white painted timber windows were installed, and remain, in the nursery spaces on the ground floor (south elevation) of Block A, now the Oremi Centre and Moroccan Women’s Centre, and to the Estate office on the south gable end of Block B.

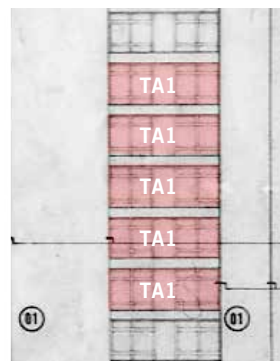
Fig. 14



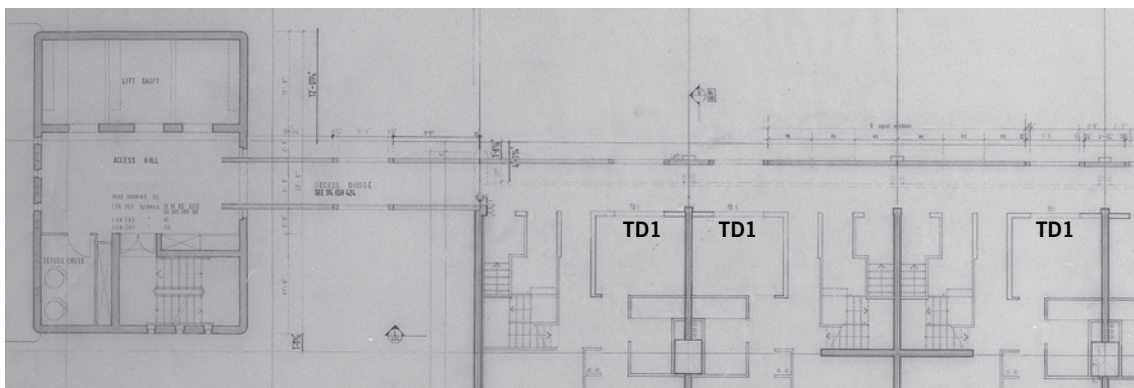
1. North elevation of Block A - window type locations



2. South elevation of Block A - window type locations



3. East (gable end) elevation of Block A - window type locations



4. Typical Block A access level plan - window type TD1 locations

Trellick Tower: Timber windows and doors (cont)

Since completion of the original construction a number of changes to the timber framed windows have occurred. This process has been carried out in line with the following sequence of reports and portions of work:

- Shreeves/ McAslan feasibility report (2003). Forming part of a larger feasibility report for repair works to Trellick Tower the window survey found that timber framed units were in varying condition dependant upon location and weather exposure. The windows located on the east gable end elevation of Block A and the south gable end elevation of Block B were identified as requiring total replacement.
- Planning and listed building consent application for window replacement (2005). Building on the findings of the earlier feasibility study this successful application concerned the timber windows located on the east elevation of Block A and the south elevation of Block B.
- Works replacing windows to the east elevation of Block A and the south elevation of Block B (2006). The design for these replacement windows attempted to match the details of the existing windows, although in some areas the framing proportions were altered. A factory applied paint finish was applied to these units, and although providing greater protection to the frames, this finish does appear plastic and should not be replicated without careful consideration.

Fig. 8

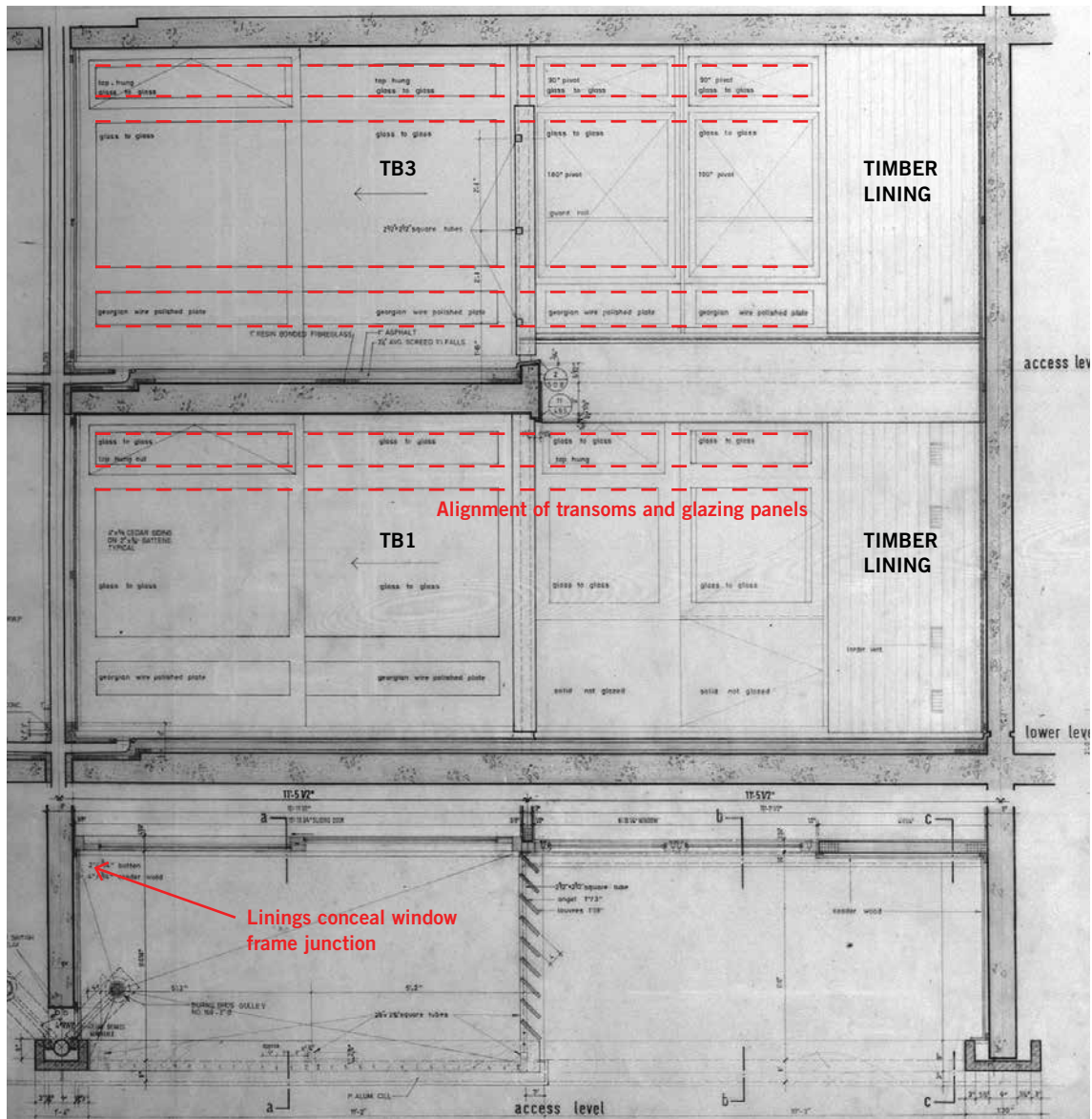
A number of changes to individual windows, for example the installation of new double glazed units, are believed to have occurred in KCTMO managed tenanted units. It is not known what changes have occurred in leasehold units.

Condition of components:

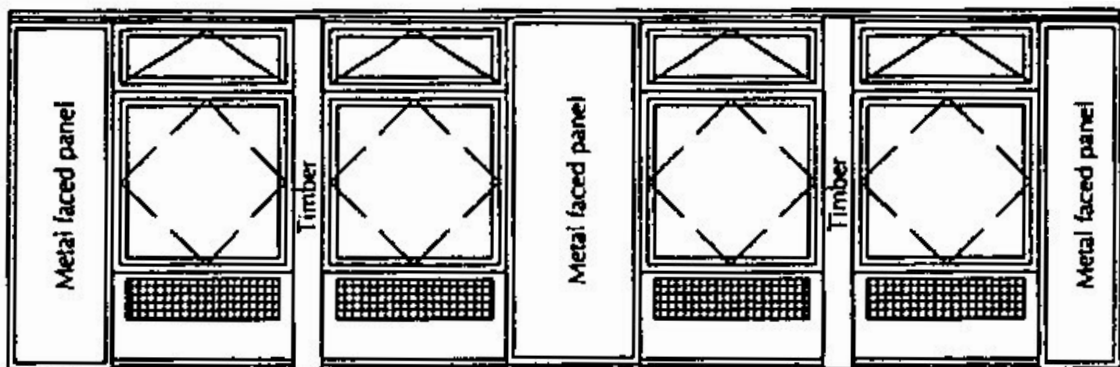
A restricted visual survey was undertaken with the following damage recorded:

Fig. 9-13

- Window units benefiting from overhead protection from balconies above (such as those located on the south elevation of Block A and the west elevation of Block B) appear in good working condition although repainting is required.
- Leaking and damage is believed to be present on window units with greater weather exposure (such as the north elevation of Block A and the east elevation of Block B).
- General staining to spandrel panels is visible. It is not known to what extent these asbestos based panels have been damaged.
- In general ironmongery appears to function although only a restricted number of windows were inspected. Maintenance is likely to be required to ease movement of mechanisms.



5. Typical 'double bay' elevation of main living spaces of 1 and 2 bed flats (including balcony plan) - Goldfinger



6. Type TA2 (TA3 similar but handed) - Shreeves/ McAslan report (2003)

Trellick Tower: Timber windows and doors (cont)

Policies / recommendations:

Potential changes

- The original window units do not meet current technical standards. As a result there is demand for refurbishment and/ or replacement. Any proposals should address key thermal, acoustic, air tightness, ventilation and safety performance issues. Any refurbished/ replacement units will need to comply with current building regulations while maintaining the visual appearance of the original units.
- The profiles of the existing timber frames are believed to be significant enough to accommodate the installation of new double glazed units.
- An assessment over the suitability of refurbishment vs replacement will be required on a window by window basis based upon an up-to-date survey.
- Any future replacement windows should retain the principal characteristics, material and finish of the original windows' appearance as far as possible. The following design criteria must be carefully considered: overall proportions, sightlines, alignment of transoms and mullions with existing windows, profile of frame, ratio of frame to glazing, configuration of opening and fixed lights, and replication of ironmongery.
- The viability of alternative framing materials should be explored in order to remove the need for scaffolding on a short term basis.

Refurbishment & alterations

- It is recommended that an up-to-date and comprehensive survey is undertaken.
- Due to the extensive costs and complexity involved in scaffolding Trellick Tower alternative access for refurbishment and maintenance of the existing and any replacement windows should be explored.
- The windows and glazing were originally installed from the inside with external linings then fixed to hide the junction of window frame to party/ infill wall. Any external refurbishment or replacement of windows will therefore require the removal of these linings.
- Replacement ironmongery should match the existing as far as possible, although it is recognised that difficulties may be posed by the original bespoke design and the fact that the original suppliers are no longer trading.

Maintenance & management

- The durability and future life cycle of the existing and any replacement timber frames should be considered when planning redecoration. The design for any replacement windows should align with the KCTMO life cycle target of thirty years as far as possible.



7. Type TC1 - HTL 2015



8. 2006 replacement window - HTL 2015



9. Exposed windows on Block A north elevation - HTL 2015



10. Sheltered windows on Block A south elevation - HTL 2015



11. Staining to metal faced spandrel panels - HTL 2015



12. Centre pivot opening mechanism - HTL 2015



13. Detail of split leaf door - HTL 2015



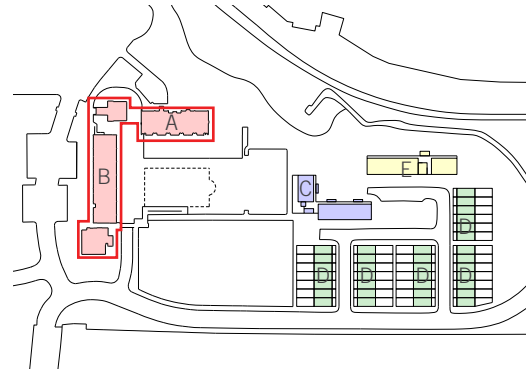
14. Windows to Block B south gable end - HTL 2015

Trellick Tower: Metal windows

Significance: B

Component assessment:

Original metal Crittall windows B



Observations:

All public areas including the link bridges, lift lobbies, staircases and walkways have slimline steel section ‘Crittall’ type windows that were originally painted black. The majority of these windows remain and are single glazed with 1/4” Georgian wired glass held in place by steel beads that are screwed to the frames.

Opening windows are operated by a simple twice bent finger pull arrangement which works in conjunction with a thumb turn or allen key locking mechanism to secure the opening sash when closed. Some windows have an aluminium casement fastener type handle. Windows are pointed around with mastic.

Fig. 6

A range of metal window types exist and are recorded below following an on site survey and reference to previous reports. Comprehensive information on the original Goldfinger metal window types has not been available.

Metal window types:

- Centrally pivoting clerestory windows and louvres to access gallerys and bridge links Fig. 1-2
- Centrally pivoting square window and fixed light below to access gallerys and bridge links (fixed to ‘H’ shaped precast concrete elements) Fig. 1-2
- Arrow slit fixed lights and louvres to the end of blocks and the service tower Fig. 3
- Centrally pivoting clerestory windows to ground floor units on north elevation of Block A (originally the nursery and currently the Oremi Centre) Fig. 4
- Larger side hung windows and fixed lights to ground floor units on north elevation of Block A Fig. 4
- High level fixed lights to commercial units on the Block B west elevation Fig. 5
- Large fixed lights adjacent to entrance door to commercial units on the Block B west elevation Fig. 5
- Centrally pivoting clerestory windows to rear of Block B commercial units Fig. 6
- Larger centrally pivoting windows to rear of Block B commercial unit (originally the Doctor’s surgery) Fig. 8
- Fixed pane and centrally pivoting toplight to Block B north gable end elevation (originally the side elevation of the Doctor’s surgery) Fig. 9
- Windows to Community room above main entrance to service tower (now replaced) Fig. 10
- Fixed glazing to boiler room Fig. 11+12
- Fixed tall and narrow lights between concrete fins in main entrance lobby Fig. 13



1. Windows to access galleries/ bridge links - HTL 2015



2. Windows to access galleries/ bridge links - HTL 2015



3. Arrow slit windows to service tower - HTL 2015



4. Ground floor windows north elevation Block A - HTL 2015



5. Windows to front of commercial units - HTL 2015



6. Clerestory windows to rear of commercial units - HTL 2015



7. Clerestory windows opening mechanism - HTL 2015



8. Larger windows to rear of Block B commercial units - HTL 2015

Trellick Tower: Metal windows (cont)

Changes since the 1970s:

- A large proportion of the original metal framed glazing to the ground floor commercial units in Block B have been replaced with aluminum framed, double glazed units.
- The original glazing to the Community room above the main entrance to the service tower has been replaced with plastic double glazed units.
- A number of centrally pivoting windows to access galleries and bridge links have been secured for safety reasons.
- The original glazing to concrete fins in the main entrance lobby has been replaced.

Fig. 10

Condition of external components:

- Only restricted access to metal windows and louvres was possible. A number of windows located in the access galleries along Block B were examined and found to be in good working order, however, it is understood that ironmongery is in a poor condition and that resealing may be required to a large number of windows.
- Paintwork appears in need of maintenance.
- A number of metal frames have been painted white (in place of the original black paint). This has occurred most notably to the boiler room glazing.

Policies / recommendations:

Potential changes

- The thermal performance of windows to unheated communal spaces is not as critical as those to private dwellings. It is therefore recommended that the original metal windows are retained.
- If required in the future replacement windows should retain the principal characteristics of the original windows, including frame size and profile, opening configuration and finish.

Refurbishment & alterations

- It is recommended that an up-to-date and comprehensive survey is undertaken.
- Due to the extensive costs and complexity involved in scaffolding Trellick Tower alternative access for refurbishment and maintenance of the existing windows should be explored.
- Explore extent of maintenance required to opening mechanisms and ironmongery. If required replacement ironmongery should match the existing as far as possible.
- Explore extent of resealing to window frames required.

Maintenance & management

- Repainting is likely to be required to the majority of metal windows to provide weather protection.
- The reinstatement of black paint, in line with the original design, to the boiler room window frames and any windows at ground floor is recommended as and when redecoration work is undertaken.



9. Window to Block B north gable end elevation - HTL 2015



10. Replacement windows to residents' room - HTL 2015



11. Glazing to boiler room internal view - HTL 2015



12. Glazing to boiler room external view - RIBA



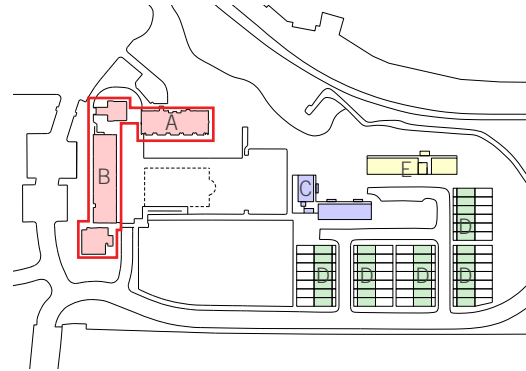
13. Replacement glazing to concrete fins in entrance lobby

Trellick Tower: Secondary Elements

Significance: Varies

Component assessment:

Cedar cladding	B
Brick infill	C
Metalwork	C
Lighting	D



Observations:

A number of secondary elements are used as linings and infill materials across both blocks A and B as detailed below:

3/4" Cedar panelling is used to line the 4' blockwork wall built between balcony spaces on the south elevation of Block A and west elevation of Block B. This panelling is fixed on 3/4" x 2" softwood battens at 2" centres and has been sealed for weather protection. Forming an important component of the overall south and west dwelling elevations this cedar panelling provides warmth to balcony spaces helping to offset the harsher appearance of the concrete. Fig. 1

Black painted metal railings were installed to balcony spaces. These railings are constructed from bolted steel SHS and flats with a painted capping piece. Fig. 2-3

A grey brick has been used to infill between the in-situ concrete walls on the ground floor spaces on Block A and on the rear of the Block B commercial units. Fig. 4

Rainwater drainage across both blocks A and B is provided by 4" diameter cast iron rainwater pipes and stacks with roof outlets and branches to private balconies. The majority of this pipework is concealed, for example behind the cedar panelling to balcony spaces, in line with Goldfinger's intent to conceal services where possible.

High level floodlights were originally installed to the top of Block A, located along what used to be the roof cornice, and to the top of Block B gable end on the east elevation. This latter floodlight is concealed by an in-situ concrete hood. These floodlights provided dramatic night time lighting and may have aided security but are no longer in operation. Fig. 5

Extract grilles, housed within in-situ concrete frames, are located on the north elevation of Block A and the east elevation of Block B. It is not know if these extract grilles are still in operation. Fig. 6

In-situ concrete drainage overflow boxes also appear on the elevation and it is understood that these are no longer in use. Fig. 7



1. Cedar cladding to balconies - HTL 2015



2. Metal railings to balconies - HTL 2015



3. Detail of metal railings - HTL 2015



4. Grey brick infill panel - HTL 2015

Trellick Tower: Secondary Elements (cont)

Condition of components:

- The cedar panelling to balcony spaces has weathered significantly. Localised damage and weathering to the seal is visible.
- The metal railings to balcony spaces appear in good condition but damage to the paintwork is visible.
- General weathering and staining from cleaned graffiti is visible on the grey brick infill panels.
- The condition of concealed rainwater goods is not known.
- It has not been possible to examine the floodlight fittings in close detail, however, these are no longer operational.
- The extract grilles appear in good condition, despite visible damage to paintwork. It is not known whether these grilles are still in use.

Policies / recommendations:

Potential changes

- If required replacement cladding to balcony spaces should retain the characteristics of the original specification including timber species and finish of sealant. Timber should be FSC certified.
- Removal and replacement of the floodlight fittings should be explored and if possible form part of future lighting strategy for the area surrounding Blocks A and B.

Refurbishment & alterations

- It is recommended that an up-to-date and comprehensive survey is undertaken to assess the condition of all secondary elements.
- Explore extent of resealing and localised repairs to the cedar cladding on balcony spaces.

Maintenance & management

- The metal railings to balcony spaces require repainting for future protection.
- The extract grilles require repainting for future protection.
- Cleaning of the grey brick infill panels is recommended as and when redecoration works are carried out.



5. Floodlight and extract grille hoods - HTL 2015



6. Detail of extract grille and hood - HTL 2015



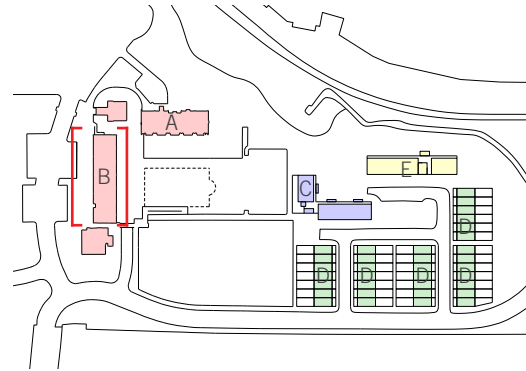
7. Drainage overflow - HTL 2015

Trellick Tower: Commercial Units

Significance: Varies

Component assessment:

West elevation Block B	C
East elevation Block B	C
Doctor's surgery	B



Observations:

The ground floor of Block B houses the Golborne Road commercial units with the shop fronts on the west elevation and rear elevations to the east overlooking the service yard. These units have changed use a number of times over the years with changes to the fabric occurring as a result. These spaces are currently rented by William Hill, the Trellick Lounge, Goldfinger Factory, and Costcutter supermarket. The original doctor's surgery to the north of the block retains a number of original features and stands as a valuable example of the original Goldfinger design.

Changes since the 1970s:

- Replacement of original glazing and signage to shop fronts on Block B west elevation.

Fig. 1-3

Policies / recommendations:

Refurbishment & alterations

- Explore removal of new aluminum framed glazing and applied infill panels to all shop fronts.
- Explore removal of applied signage to uncover original Crittal fanlights behind to all shop fronts.
- Explore reinstatement of the Crittal metal fixed glazing and timber entrance doors to match the original Goldfinger design. The use of double glazed units should be explored and form part of larger scale discussions on window refurbishment to the estate.
- Retain original Crittal fanlights, timber doors and original elevation and signage to the Doctor's surgery.
- Future refurbishment/ replacement of glazing to be carried out in line with guidance included in the section on metal windows. It is recognised that restrictions may be posed by terms appropriate for rental leases.

Maintenance & management

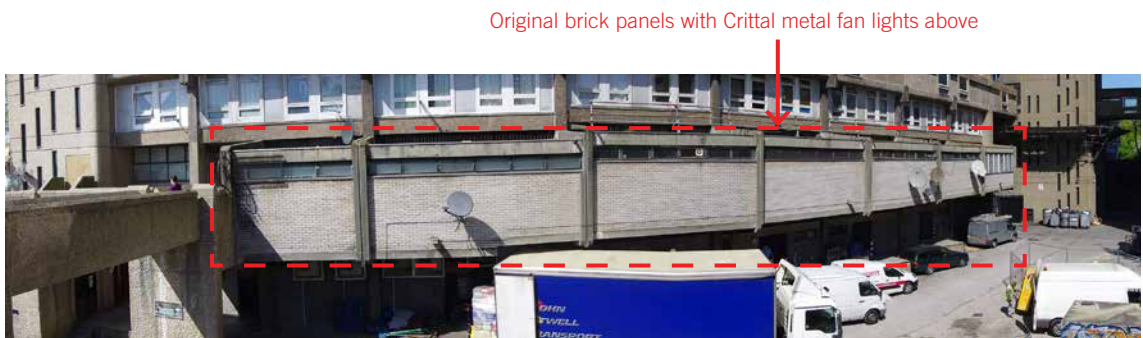
- Cleaning of grey brick infill panels to remove graffiti staining recommended as and when redecoration works are undertaken.
- Repainting of original metal framing for future protection recommended as and when redecoration works are undertaken.



1. West elevation Block B - HTL 2015



2. West elevation Block B (cont) - HTL 2015



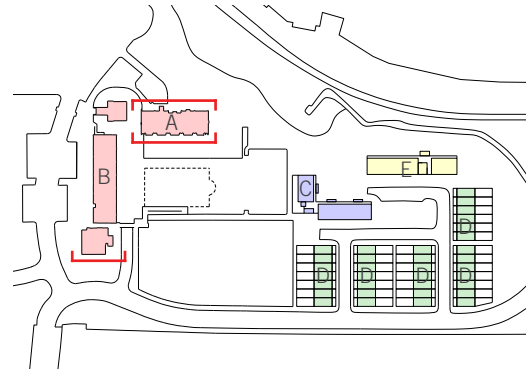
3. East elevation Block B - HTL 2015

Trellick Tower: Community Spaces

Significance: Varies

Component assessment:

North elevation Block A	D
South elevation Block A	C
South elevation Block B	C



Observations:

The original Goldfinger design for the Block A ground level community spaces varied between the two sides of the block. The south elevation of Block A originally housed nursery spaces that opened onto the (now demolished) roof garden whereas the north elevation presented the nursery entrance and front windows. As a result metal framed windows were installed on the north elevation with warmer timber windows installed on the south. These spaces currently house the Oremi Centre and Moroccan Women's Centre.

Fig. 1-2

The single storey Estate office extending beyond the south gable end of Block B was originally designed as a public house. This use was never realised and following construction this space was rented by Goldfinger as his office until 1977. Currently this space houses the Making Communities Work and Grow (MCWG) non-profit organisation.

Fig. 3

Changes since the 1970s:

- Installation of entrance portico structure to Block A north elevation.
- Addition of security grilles to a number of windows.

Policies / recommendations:

Potential changes

- Explore removal of applied entrance structure to Oremi and Moroccan Women's Centres.
- Explore redesign of Oremi centre signage to reflect original character of the elevation.

Refurbishment & alterations

- Explore refurbishment/ replacement of timber windows to the south elevation of Block A as and when undertaking larger scale refurbishment of timber windows to the estate. Guidance on refurbishment can be found in the section on timber windows.
- Explore removal/ redesign of security grilles to reflect original character of elevation. Dependant upon future use of space.

Maintenance & management

- Cleaning of grey brick infill panels to remove graffiti staining recommended as and when undertaking redecoration works.
- Repainting of original metal framing advised for future protection as and when undertaking redecoration works.

Refurbish existing timber windows:
replacement double glazed units to be explored



1. South elevation Block A - HTL 2015

Cleaning of brick infill panels required throughout

Removal of applied entrance structure advised



Replacing single glazing with Crittal metal
double glazed units to be explored

2. North elevation Block A - HTL 2015



Original brick base and timber framed windows



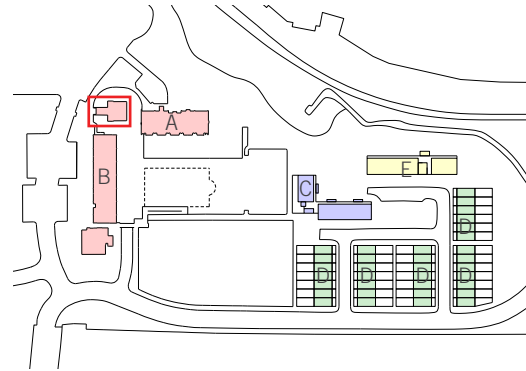
3. West and south elevations Block B - HTL 2015

Trellick Tower: Main Entrance Area

Significance: B

Component assessment:

Coffered in-situ soffit	A
Coloured glass window	B
Original wall finishes	B
New main entrance doors	D
New draught lobby doors	E
New suspended ceiling	E
New security desk	E



Observations:

The following internal finishes were originally installed in the main entrance lobby:

Fig. 1-3

- Coffered in-situ cast concrete soffit that extends externally.
- Large glazed entrance doors.
- Raised rubber flooring.
- Limestone wall cladding.
- Listed coloured glass window composition terminating the reception space.

The original Goldfinger design included space for a concierge adjacent to the lift core, however, this was not implemented by the council following construction. Public toilets and a refuse store were included on the south side of the lobby. The recent additions listed below heavily compromise both the use and character of this important entrance space.

Changes since the 1970s:

Fig. 4

- Changes to servicing occurred in the early 1970s and as a result a switch room was added at service yard level. All associated wiring for a new electrical heating system now runs across the concrete soffit behind suspended ceiling tiles.
- The coloured glass feature window was replaced in the 1980s and later reinstated to the original design following strong action by the resident's association. Two original solid panels are still absent.
- The addition of new security doors, security desk and associated amenity spaces.
- The external 'Trellick Tower' signage was removed and has since been reinstated with lettering that does not match the original design.
- Security monitoring equipment has been installed both externally and internally.

Policies / recommendations:

Refurbishment & alterations

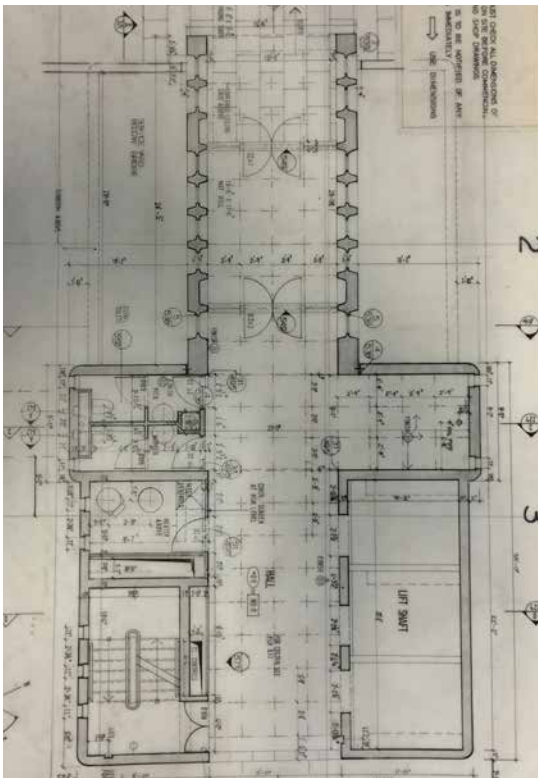
- All surviving original finishes to be retained and protected during future works.
- Explore removal of recent additions and reinstatement of original materials subject to viability, durability, and availability as and when refurbishment works occur.
- Explore reinstatement of external signage to match the original design.
- Consider the rerouting of services to avoid runs across the coffered concrete soffit.
- Consider new discrete security fittings.



1. Original entrance lobby - RIBA



2. Original entrance doors - James Dunnett



3. Goldfinger plan of main entrance lobby - RIBA



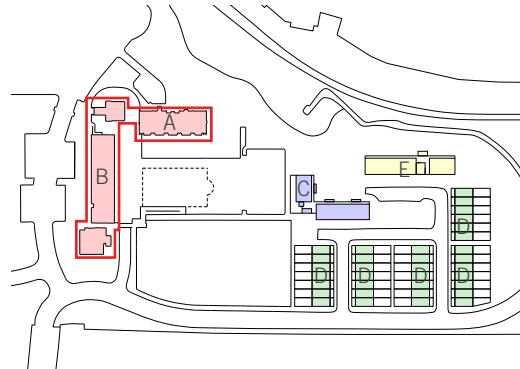
4. Current entrance lobby - HTL 2015

Trellick Tower: Communal Areas

Significance: Varies

Component assessment:

Service tower - lift lobby & staircase	C
Access balconies	C
Communal facilities	Not Assessed



Observations:

The link bridges, access galleries, escape stairs and lift lobbys represent the majority of the communal areas. The following original finishes were installed (these also occur in the Community room and within the hobby rooms accessed via the lift lobby stair):

Fig. 1-4

- Coffered concrete soffits to lift lobbys and Community room.
- Concrete fascia surrounding timber fire doors to bridge links.
- Walls to lift lobby clad in colourful tiling to a height of 2150mm AFFL with anti-graffiti speckle paint at high level above. Walls to stairs finished in the same speckle paint.
- Thermoplastic floor tiles laid on a concrete screed throughout except to refuse rooms where a hardwearing quarry tile is installed.
- Stair flights left as unfinished pre-cast concrete with granolithic inserts.
- Guardings to the stair are constructed from mild steel spandril-shaped panels between flights and tubular handrails to both sides of the stairway.
- Absbestos boarding was used in the construction of the access gallery ceilings (concealing service runs above). This should be noted as a health and safety risk.
- The Community room originally had a specialist fabricated white counter and matching wall units in the kitchen area and a red painted feature wall.
- The fire doors originally fitted to access galleries were a pair of 2" sapele glazed doors with 1/4" georgian-wired glass. Full height timber handle grooves were installed.

Changes since the 1970s:

- PVC floor tiles and sheet coverings have been installed in the access galleries and to parts of the escape stairs. A latex covering has been applied to landings within escape stairs with a canary yellow paint applied to walls.
- Original tiles and wall finishes have been overlaid with new tiling.
- New faced fixed service routes have been installed to access galleries.
- The original kitchen and red wall in the Community room have been replaced.

Policies / recommendations:

Refurbishment & alterations

- All surviving original finishes to be retained and protected during future works.
- Explore reinstatement of original finishes subject to viability, durability, and availability as and when refurbishment works are carried out.
- Explore the relocation of existing faced fixed service routes.



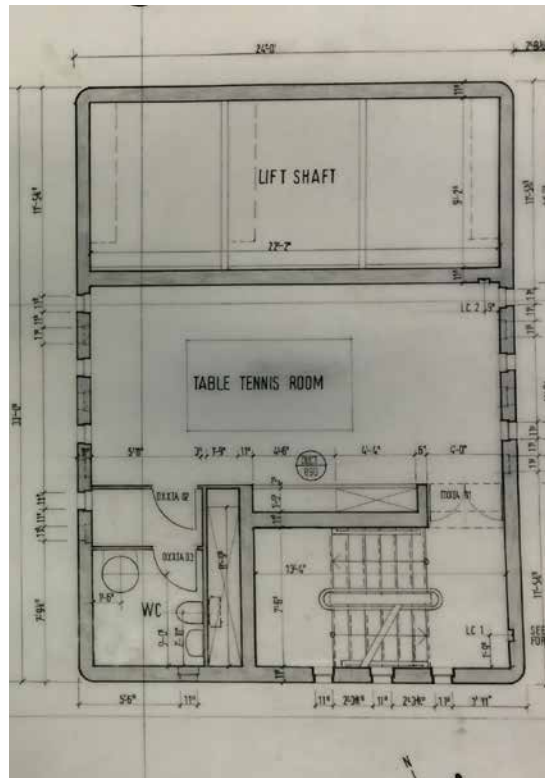
1. Lift lobby fire doors - HTL 2015



2. Bridge link interior - HTL 2015



3. Escape stairs current finishes - HTL 2015



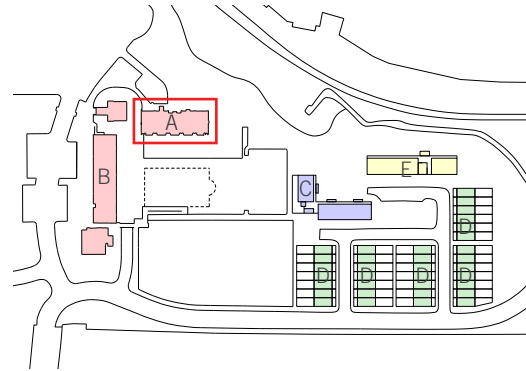
4. Goldfinger plan of hobby rooms - RIBA

Trellick Tower: Dwelling types Block A

Significance: NA

Component assessment:

Dwelling types NA



Observations:

The following flat types are present in Block A:

Fig. 1

- **a.** 1 bedroom, 2 person flat
- **b.** 2 bedroom, 4 person flat (upper and lower similar)
- **c.** 2 bedroom, 4 person flat
- **d.** 3 bedroom, 6 person flat (upper and lower similar)
- **g.** 3 bedroom, 6 person maisonette (two storeys)

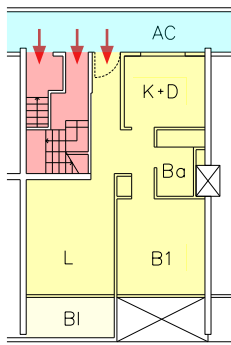
The dwelling plans have been established on a modular system. The grid being; 2'9" - 840mm, consisting of three 11" - 280mm sub-divisions.

This system enabled Goldfinger to use a common denominator for dissimilar components of the plans such as; bathrooms, WCs, car parking or garaging spaces and cross wall spacings.

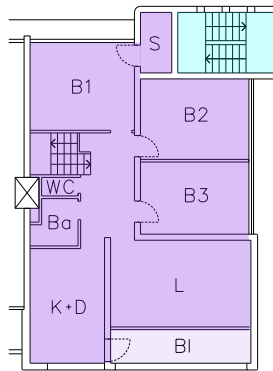
The sizing of these components is as follows:

- WC 2U x 1 1/3U 1.68m x 1.40m
- Bathroom 2U x 2U 1.68m x 1.68m
- Bathroom and WC 2U x 3U 1.68m x 2.52m
- Garaging space 3U x 6U 2.52m x 5.04m
- Cross wall space 8 1/3U 7.00m

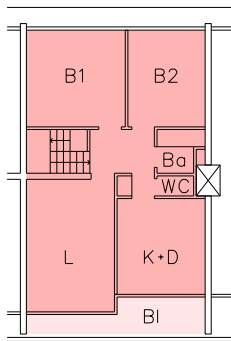
1. Block A dwelling type plan diagrams - HTL 2015



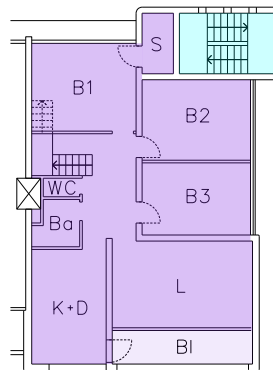
a. 1 bedroom / 2 person flat



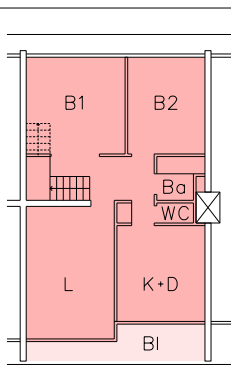
d (upper). 3 bedroom / 6 person flat



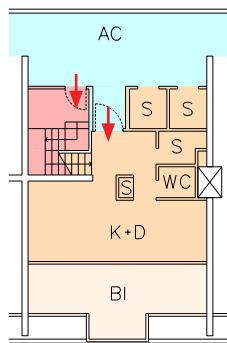
b (upper). 2 bedroom / 4 person flat



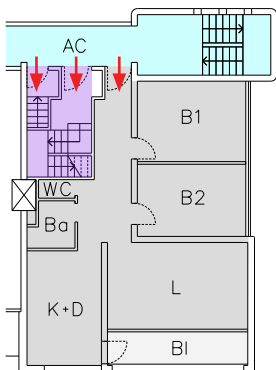
d (lower). 3 bedroom / 6 person flat



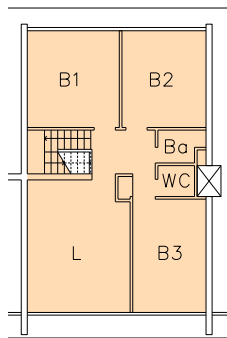
b (lower). 2 bedroom / 4 person flat



g (upper). 3 bedroom / 6 person maisonette



c. 2 bedroom / 4 person flat



g (lower). 3 bedroom / 6 person maisonette

KEY

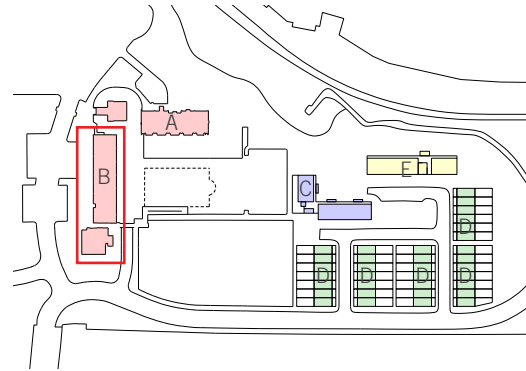
- Flat type a
- Flat type b
- Flat type c
- Flat type d
- Flat type e
- Flat type f
- Maisonette type g
- Access gallery
- Flat entrance

Trellick Tower: Dwelling types Block B

Significance: NA

Component assessment:

Dwelling types NA



Observations:

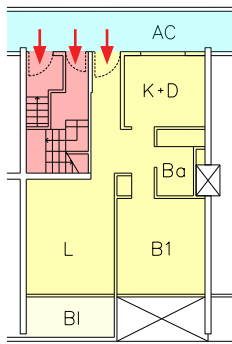
The following flat types are present in Block B:

Fig. 1

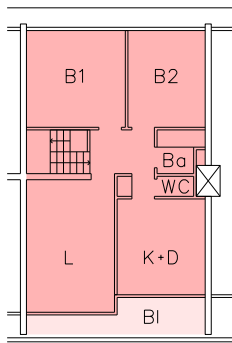
- **a.** 1 bedroom, 2 person flat
- **b.** 2 room, 4 person flat
- **e.** 2 bedroom, 4 person flat
- **f.** 3 bedroom, 6 person flat
- **g.** 3 bedroom, 6 person maisonette

The plans have been established on the same modular system as Block A and therefore the size of the various components is similar.

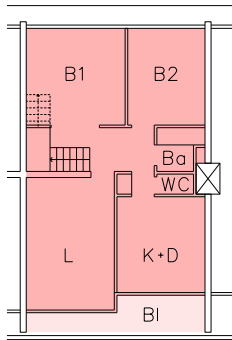
1. Block B dwelling type plan diagrams - HTL 2015



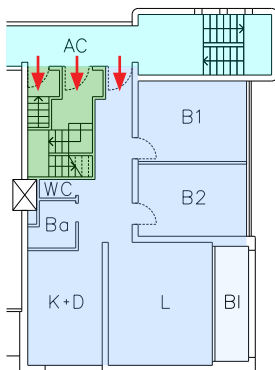
a. 1 bedroom / 2 person flat



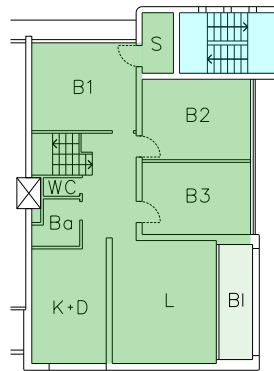
b (upper). 2 bedroom / 4 person flat



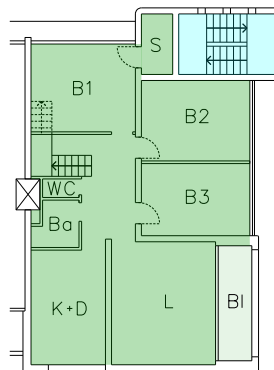
b (lower). 2 bedroom / 4 person flat



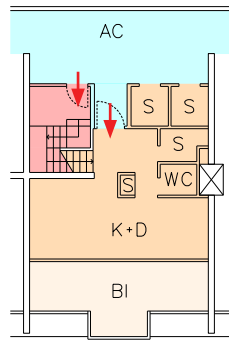
e. 2 bedroom / 3 person flat



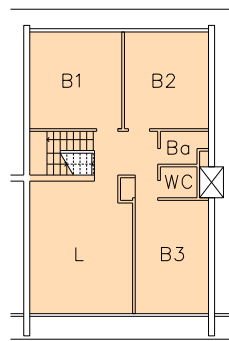
f (upper). 3 bedroom / 6 person flat



f (lower). 3 bedroom / 6 person flat



g (upper). 3 bedroom / 5 person maisonette



g (lower). 3 bedroom / 5 person maisonette

KEY

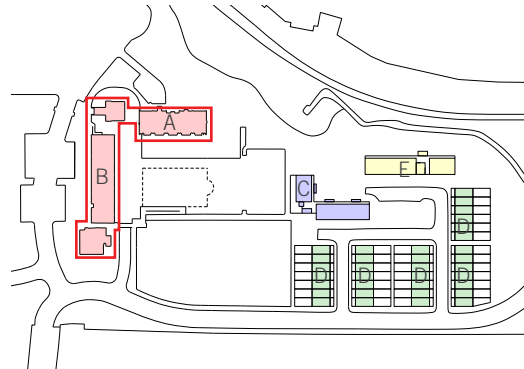
- Flat type a
- Flat type b
- Flat type c
- Flat type d
- Flat type e
- Flat type f
- Maisonette type g
- Access gallery
- Flat entrance

Trellick Tower: Typical dwelling interiors

Significance: C

Component assessment (original):

Fit out	C
Internal walls	C
Internal and external doors	B
Floor finishes	D
Ceiling finishes	D



Observations:

As previously described the dwellings in Blocks A and B are accessible from a common access gallery. The entrance door for single bedroom flats is direct from this gallery. Private interlocking staircases provide access to two bedroom flats and lead up and down from the access gallery. Within these flats a private lobby is provided at access gallery level from which the stair leads up or down to a hall at the centre of the flat.

All bathrooms and WCs are located internally adjacent to the service riser and are ventilated by means of extract fans situated on the roof. All dwellings have private balconies partly sheltered by the floor slab above.

Changes since the 1970s:

Fig. 1-13

A survey of current dwelling interiors does not fall within the scope of this document, however, tenanted properties are likely to have received replacement kitchens, bathrooms and finishes in line with the KCTMO policy for cyclical upgrades. Leasehold properties may retain a higher level of original finishes. Details on original finishes are included below.

Original fit out and services in dwellings:

- Kitchens were originally fitted with stainless steel (double drainer) sinks, mixing taps, cupboards and ventilated larders.
- In addition to individual stores provided for each tenant, accessed from the gallery, built in storage cupboards were provided in kitchens and bedrooms.
- Windows are reversible for cleaning and the 'stable' doors to balcony spaces were installed for children's safety.
- Sliding partitions exist in some dwellings for dividing double bedrooms into two single bedrooms.
- Electric socket outlets were installed on a specially designed skirting trunking, which projects only 1/4" from the face of the plaster, and contains electrical, telephone and television wiring.
- Lighting switches are incorporated in to the metal door frames.
- Heating was originally provided from a central boiler room to each dwelling through a hot air heat exchanger and into the rooms through specially designed fibreglass ducts. This system was replaced with an electrical heating system shortly after the building was completed.



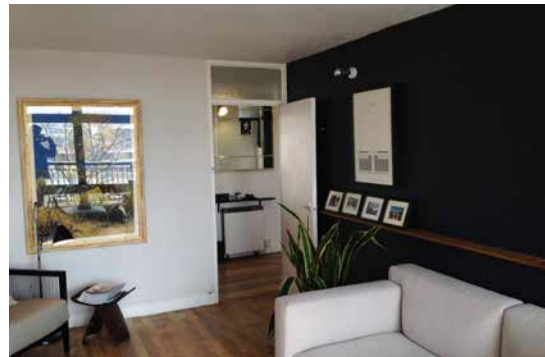
1. 1970s photograph of kitchen - RIBA



2. 1970s photograph of maisonette balcony - RIBA



3. Living room in two bed leasehold flat - HTL 2015



4. Living room in two bed leasehold flat - HTL 2015



5. Kitchen in two bed leasehold flat - HTL 2015



6. Balcony in two bed leasehold flat - HTL 2015

Trellick Tower: Typical dwelling interiors (cont)

- Hot water was supplied by means of under-sink electric heaters, providing hot water to sinks and bathrooms.
- **Internal structural walls and partitions:**
- Structural cross walls are 9" RC with end walls 8" RC.
- Walls to the internal stairwells are 9" RC and fairfaced on one side.
- The walls between dwellings and access balconies are constructed from 6" blockwork.
- Internal partitions are constructed from 3" blockwork.
- The ends of walls next to concrete join in a splayed sided chase. This detail is also used to the tops of walls against concrete soffits with 1/2" glass fibre sound-deadening quilt.
- Concrete lintels were installed over balcony kitchen windows and over the access panels to ducts.

Internal and external doors:

The external doors originally fitted were timber with glazed fanlights above. Internal doors are generally 13/8" flush doors with metal frames and further glazed fanlight above. These internal doors were designed to achieve a half hour fire rating.

Finishes and Fittings:

- Lightweight plaster render to the majority of walls.
- Small areas of 1/4" white glazed wall tiling were originally fixed to walls in kitchens, bathrooms and WCs.
- Walls to the dwelling side of the access galleries were originally finished with colour glazed wall tiling on plaster.
- Thermoplastic tile flooring within dwellings laid on cement and sand screed with galvanised wire mesh on sound insulating quilt. Thermoplastic skirtings were installed.
- 5/8" quarry tiled paving to access balconies is laid on two layers felt damp-proof membrane on 1 1/2" cement and sand screed with galvanised wire mesh on top of 1/2" sound-insulating quilt. 3" quarry tile skirtings were installed.
- Generally a plastic compound finish (known as Artex) was applied to the soffits within dwellings. This is understood to contain asbestos and requires specialist input prior to any work to the soffit.
- The balcony spaces have a false soffit composed of perforated asbestos sheeting on softwood bearers with 1" thermal insulation. This asbestos sheeting should also be noted as a health and safety risk.

Decoration

- The fairfaced concrete soffits within dwellings and to the staircase were decorated with a washable plastic compound. Two coats of oil were applied to the fairfaced concrete stair walls.
- Generally an emulsion paint was applied to plastered walls.
- An oil based paint was used in bathrooms.
- Two coats emulsion paint was applied externally to the asbestos balcony soffits.
- Two coats oil was applied internally to wood and metalwork. Selected hardwood fittings, including the external cedar cladding boards, was finished with two coats of sealer.



7. Bedroom in two bed leasehold flat - HTL 2015



8. Bathroom in two bed leasehold flat - HTL 2015



9. Staircase in two bed leasehold flat - HTL 2015



10. Kitchen storage in leasehold flat - HTL 2015

Trellick Tower: Typical dwelling interiors (cont)

Policies / recommendations:

Refurbishment & alterations

- All surviving original finishes to be retained and protected during future works.
- Explore reinstatement of original finishes subject to viability, durability, and availability as and when refurbishment works are carried out.
- Leaseholder flats are likely to retain a greater extent of original finishes. The historical importance of these finishes should be clearly communicated to potential purchasers.

Maintenance & management

- The durability and future life cycle of the existing and any replacement fittings should be considered when planning redecoration in tenanted units. The design for any replacement fittings should align with KCTMO life cycle targets as far as possible and avoid damage to original finishes.

Note on future flat refurbishment: It is recommended that a 'test bed' flat is developed in dialogue with conservation bodies in order to identify appropriate, user friendly fittings and integration of current services and technology within these listed dwellings. Details of previous work undertaken by KCTMO to identify appropriate interior design is contained within the Appendix.



11. Fanlight above door frame - HTL 2015



12. Switch integrated into door frame - HTL 2015



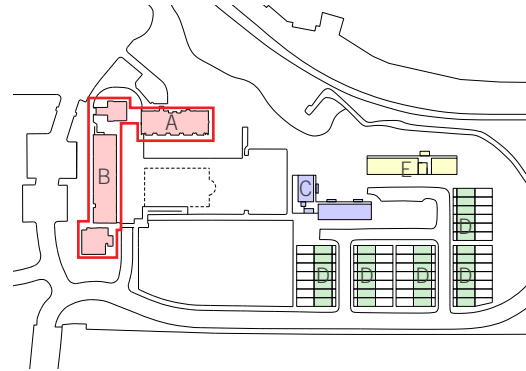
13. New kitchen cupboard handle - HTL 2015

Trellick Tower: Original servicing strategy

Significance: NA

Components:

Sanitary services	NA
Ventilation system	NA
Heating system	NA
Refuse chute	NA



Observations:

Service risers running the height of both blocks A and B are centred between alternating sets of 2 dwellings and adjacent to the bathroom and WC. Soil, water, gas pipes and the main extract duct are located in these risers. The original heating pipes, electrical trunking and kitchen extract are run above the suspended ceiling in the access galleries to serve dwellings across three storeys. Additionally the service tower houses the main refuse chute, original boiler pump room, a number of tank and secondary pump rooms, and wet risers for fire fighting.

Fig. 1

Sanitary services:

The soil shunt, main soil pipe and vent pipe are contained within the services riser with soil ventilation extract provided at roof level.

Ventilation:

Extract ventilation from internal bathrooms and WCs is via flexible ducts running in the services riser up to roof level. Kitchens are extracted via a ducted system within the access galleries that connects to a centrifugal fan.

Heating:

Heating was originally provided from the central boiler room (oil fired) through to a hot air heat exchanger in each dwelling which then distributed heated air into rooms through specially designed fibreglass ducts. This system was able to be boosted by fans controlled by a thermostat. Hot water to sinks and bathrooms was originally supplied via undersink electric heaters.

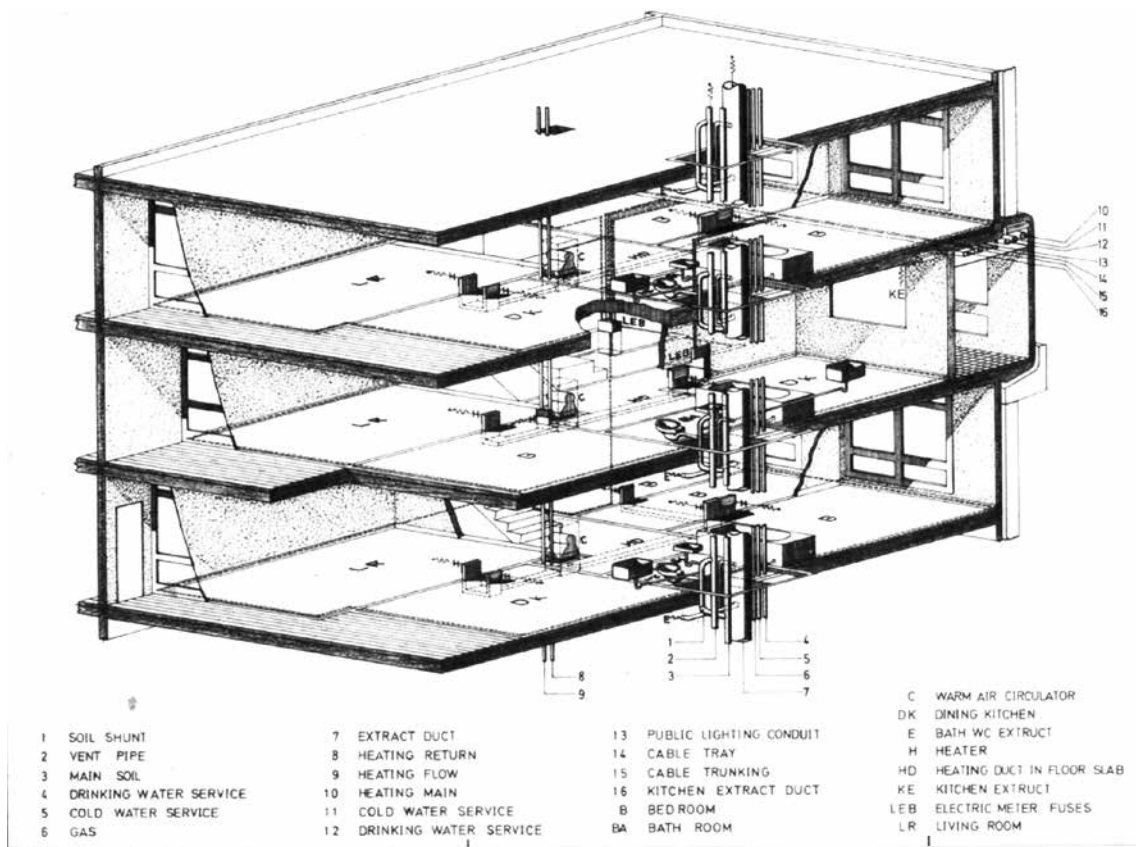
Fig. 2-3

Refuse:

A main refuse chute is located in the service tower and waste is collected from the bin store at service yard level.

Changes since the 1970s:

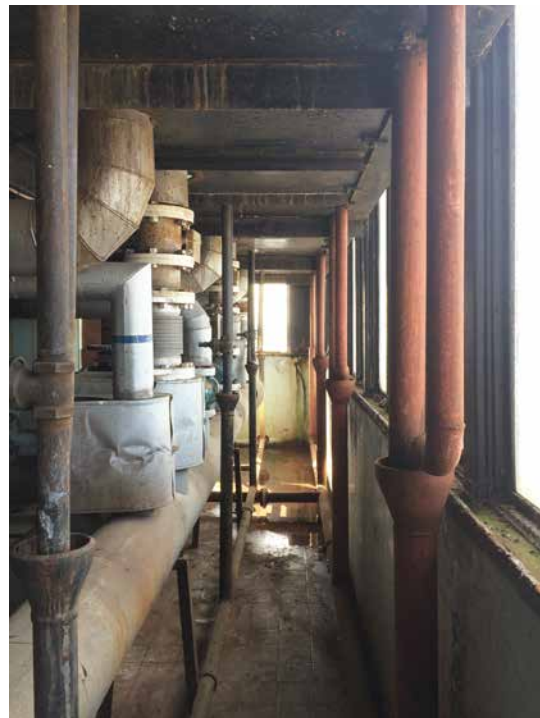
- The original heating system was replaced by an electrical heating system in the early 1970s, with a substation located at service yard level and heaters installed within dwellings. The original ductwork and grilles remain intact but are now redundant.
- Face fixed service routes have been added to accommodate data and electrical runs.
- The original refuse chute was recently enlarged. Blocking by residents remains an issue.



1. Services diagram indicating central riser and services route within access galleries - AA



2. Boiler room - HTL 2015



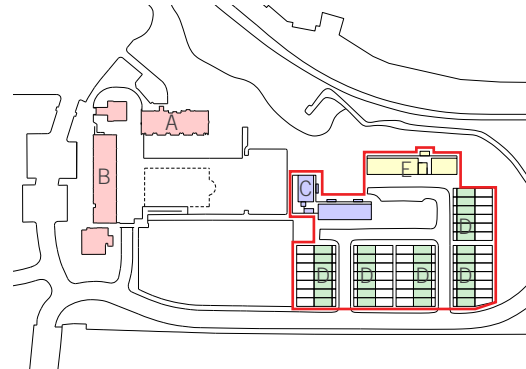
3. Boiler room - HTL 2015

Edenham Way: Overview of Blocks C, D and E

Significance: C

Component assessment:

Block C	C
Blocks D	C
Block E	C



Observations:

The massing and elevations of Blocks C - E are described in the following sections, however, a brief overview is provided below.

Orientation:

Block C is 'L' shaped in plan with the main living spaces in dwellings orientated to face south and west to maximise daylight. This orientation generates views out over the roofs of the Block D houses and back towards Trellick Tower. Access galleries are located on the north and east sides of the block. The Block D terraced housing is orientated north-south to provide daylight to private gardens and main living spaces. Block E adopts a similar arrangement to that of Block A with the primary living spaces again facing south and access galleries located on the north side of the block.

Fig. 1-2

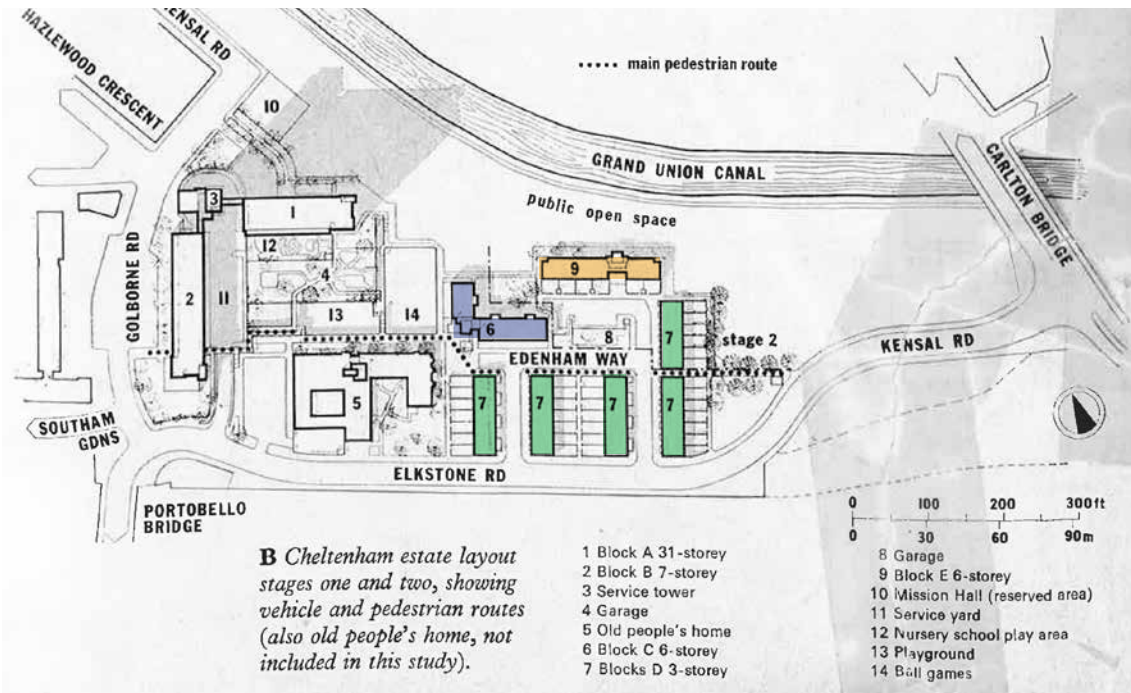
Structure:

A similar structural system of concrete slabs and cross walls (as used on Blocks A and B) was employed by Goldfinger on Blocks C and E. However, in place of in-situ concrete, solid brick construction was used to form the cross walls. Once again the structural grid is expressed on the external elevations as cross walls, slabs and access galleries project out beyond the glazing line. The Block D housing also utilises solid brick cross walls to support floors and external elevations and form party walls between dwellings.

Material hierarchy:

Primary structure on Blocks C and E is constructed from yellow brick or concealed in-situ concrete with secondary structural and facing elements formed from precast concrete (exposed aggregate finish). Black painted metal windows were installed in communal areas with white painted timber windows installed on private flat elevations. In an echoe of Trellick Tower vertical timber linings are again used to provide warmth on the balcony spaces of the primary dwelling facades.

Fig. 3-6



1. Site plan of Edenham Way Estate - Goldfinger



2. 3D view of Edenham Way Estate - Goldfinger

Edenham Way: Overview of Blocks C, D and E (cont)

Circulation:

The circulation of Blocks C and E can be read in the external access galleries located on the north and east elevations. Secondary escape stairs and lift cores are expressed as separate brick clad elements and lie in contrast to the primary dwelling elevations. Circulation occurs centrally within the Block D housing, however, the unique roof profiles are generated by the inclusion of an east facing skylight that lights the stair below.

Overview of original construction materials:

- In-situ cast concrete floor slabs (no exposed faces).
- Solid yellow brick cross walls and walls to lift and stair enclosures.
- In-situ cast concrete balustrades to access galleries.
- Pre-cast concrete components for facings (exposed aggregate finish).
- Black painted metal windows to communal areas.
- White painted timber windows to dwelling façades.
- Asbestos based spandrel panels to dwelling façades on Blocks C and E.
- Stained vertical timber cladding to balcony spaces on Blocks C and E.
- Black stained plywood panels to Block D elevations.
- Black painted metal balustrade to balcony spaces.
- Grey brick walls to external landscaping.



3. View of Blocks E and D from Elkstone Road - HTL 2015



4. View of Blocks C, D and garages - HTL 2015



5. View of Block D housing from Elkstone Road - HTL 2015



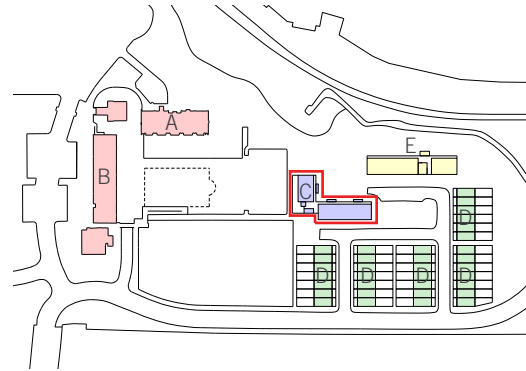
6. View of Block C from Elkstone Road - HTL 2015

Edenham Way Block C: Massing

Significance: C

Component assessment:

Block C massing C



Observations:

Located in the north west corner of the Edenham Way Estate, Block C is 'L' shaped in plan and consists of two six storey 'wings' arranged orthogonally to Elkstone Road and Trellick Tower. This massing presents a 'stepping down' in height across the estate from the 31 storeys of Block A to the 3-storey housing that makes up Block D. Blocks C, D and E are grouped together to form the Edenham Way Estate and although connected to Trellick Tower these blocks do feel separate. This separation has been reinforced as a result of the disrupted east-west pedestrian route across the site.

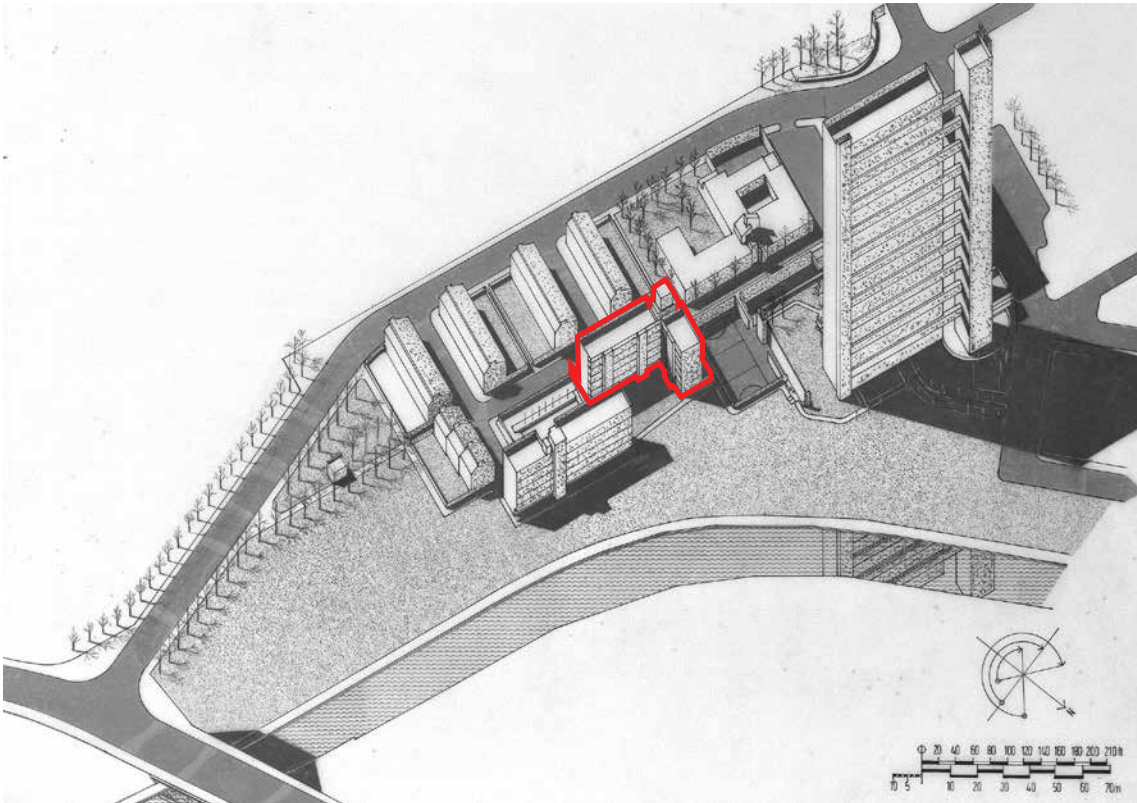
Fig. 1

Following the completion of Phase 1 of the Cheltenham Estate Block C faced Kensal Road to the north. After the completion of Phase 2 Kensal Road was relocated and replaced with the public parkland now known as Meanwhile Gardens.

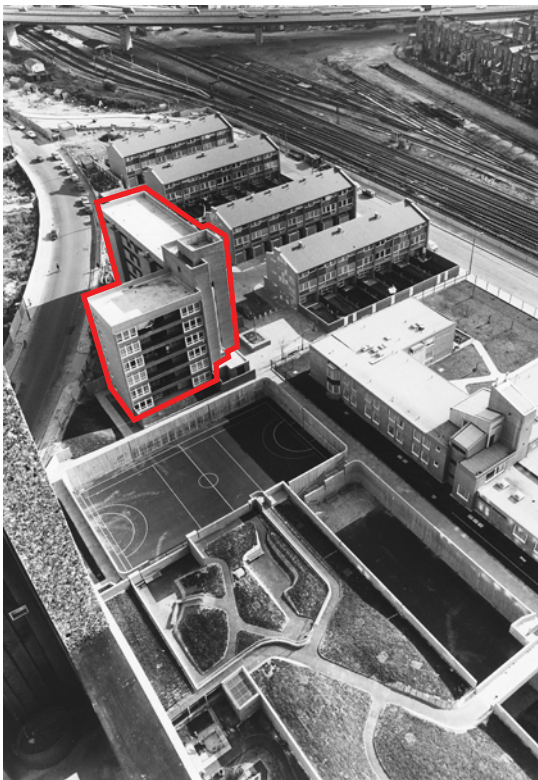
Fig. 2

The two wings of Block C are connected by a central circulation tower, containing the main entrance, stair and lift core. This leads to external access galleries on the north and east elevations of the two wings. These galleries occur at every floor and serve 4 flats on the longer east-west wing and 2 flats on the shorter north-south wing.

Block C is constructed in loadbearing brickwork with reinforced concrete floors. The primary elevations on the south and west edges feature expressed floor plates with pre-cast concrete fascias, framing full-height timber windows and recessed private balconies. The secondary elevations feature cantilivered concrete access balconies with bush-hammered faces and black-painted metal windows.



1. 3D view of Edenham Way Estate - Goldfinger



2. View from Trellick Tower following phase 1 - RIBA



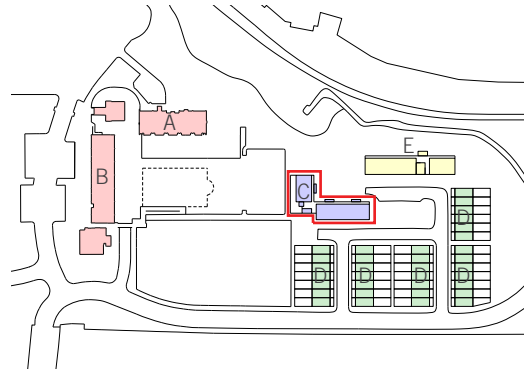
3. View to Block C from Edenham Way terraces - HT 2015

Edenham Way Block C: Building exterior

Significance: C

Component assessment:

Loadbearing yellow brick	C
Precast concrete components	C
In-situ concrete access galleries	B
Original timber windows	B
Original metal windows	B
Timber panelling	C
PVCU windows	E



Observations:

The north elevation of Block C consists of the external access galleries and projecting brick enclosures that house external flat storage. The gable end of the shorter north-south wing also forms part of the north façade and is formed in yellow brick.

Fig.1-2

The south elevation of Block C echoes the south and west elevations of the main Trellick blocks. On this elevation the structural brick party walls are expressed and the floor slabs are faced in pre-cast concrete panels, white painted timber windows are used on flat façades, and metal balustrades and timber linings clad the balcony spaces. The brick tower housing the main entrance and lift and stair core forms the western side of this elevation, with vertical metal framed glazing set between this tower and the east-west wing. An in-situ concrete 'hood' for the original security lighting is also visible at the top of the tower.

Fig. 3-4

The east elevation of Block C is formed by the brick gable end to the east-west wing that houses five flats. A single timber framed window for each flat is located on this gable end with in-situ concrete roof parapet at high level.

Fig. 5

The west elevation of Block C is formed by the brick circulation tower and the façades of the flats located on the shorter north-south wing. A similar composition and materials to the south elevation were used in construction. An in-situ concrete roof parapet, pre-cast concrete refuse shoot, and ground floor electrical substation are also visible.

Fig. 6

Changes since the 1970s:

Fig. 8-10

- The original white timber framed windows to the gable end flats have been replaced with PVCU units.
- Boiler flues have been installed to external walkways and the gable end elevations.
- A number of ground floor security grilles (white painted metal) were installed in the 1990s.
- A number of grab rails and balustrading have been installed on the ground floor to aid wheelchair use.
- Black painted metal fencing has been installed to the ground floor gardens.
- Addition of satellite dishes and wiring fixed directly to external facades.



1. Block C, north elevation - HTL 2015



2. Block C, north gable end - HTL 2015



3. Block C, south elevation - HTL 2015



4. Block C, south elevation - HTL 2015



5. Block C, east elevation - HTL 2015



6. Block C, west elevation - HTL 2015

Edenham Way Block C: Building exterior (cont)

Condition of external components:

- The areas of yellow brick appear to be in good condition, however, general staining is visible. Localised brick repairs have been carried out (notably next to the boiler flues on the north face of the north-south wing).
- The in-situ concrete access galleries and pre-cast panels facing floor slabs appear to be in good condition. General weathering and staining is visible.
- The metal framed windows to common areas appear in working order although a comprehensive examination was not undertaken.
- The metal balustrades to flat balconies are in good condition, however, damage to the paintwork is visible.
- The timber panelling to flat balconies is in varying conditions.
- Only restricted access to the flat timber windows was possible. It is understood that opening mechanisms, weather seals, and paintwork require maintenance.
- The grey brick external landscape walls are in a good condition, however, a number of localised repairs are visible.
- A large number of satellite dishes have been installed and extensive surface fixed wiring is visible including external lighting to the main entrance.
- The concrete refuse chute is in good working condition although staining is visible.

Policies / recommendations:

Potential changes

- Ensure no alterations are carried out to the overall composition and original fabric of the elevations in question.
- Any future replacement windows should retain the principal characteristics, material and finish of the original windows' appearance as far as possible. Refer to the section on Trellick Tower timber windows for further guidance.

Refurbishment & alterations

- A method statement for repairs and cleaning to all finishes of concrete should be developed and thoroughly tested on non-significant sample areas prior to future works.
- A method statement outlining timber species and finish should be agreed prior to the repair or replacement of the timber panelling to balcony spaces.
- Explore the removal of satellite dishes and wiring fixed directly to external façades.

Maintenance & management

- When repainting the timber windows colour matching in line with the original design should be carried out. A sample window should be prepared and methodology agreed.
- When repainting the metal railings to balcony spaces and metal windows for future protection colour matching in line with the original design should be carried out.
- When cleaning areas of brickwork sample areas should be prepared, with the agreed methodology recorded, prior to wholesale works.



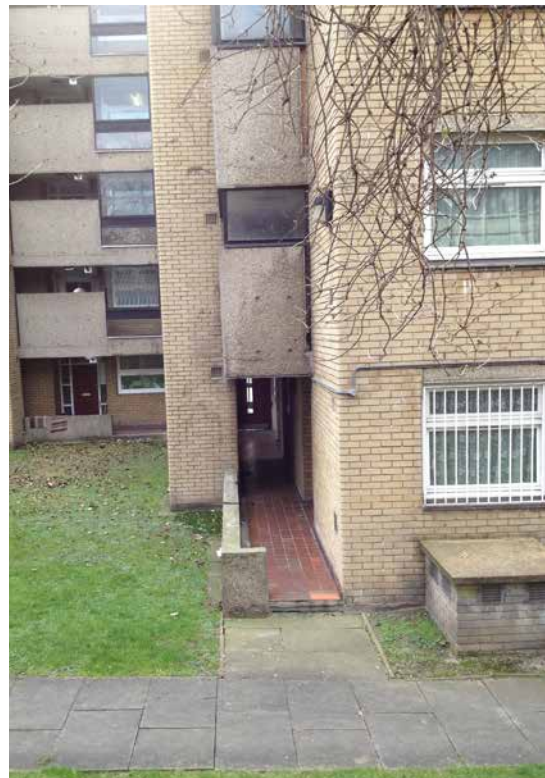
7. Block C main entrance - HTL 2015



8. Satellites and cabling - HTL 2015



9. Boiler flues to gable end elevation - HTL 2015



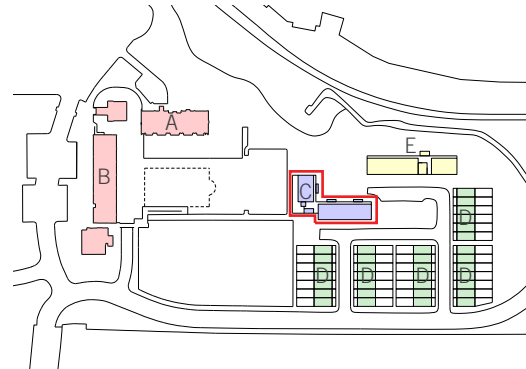
10. Security grille to ground floor windows - HTL 2015

Edenham Way Block C: Common Areas

Significance: C

Component assessment:

Entrance	C
Stair / lift cores	C
Corridors	C



Common Parts:

The common parts to Block C consist of entrance and lift lobbies, stair core, and the access galleries to the two wings. The original finishes of the lobby spaces consisted of yellow brick or exposed in-situ concrete internal walls, a painted concrete soffit, thermoplastic floor tiles, and timber fire doors to the external access galleries. Echoing Trellick Tower an unfinished pre-cast concrete stair with granolithic inserts was installed. Metal openings to the refuse chutes are also located in the lobby spaces.

Fig 1-9

These finishes are continued through to the access galleries, although external floor tiles change to a hard wearing quarry tile with matching coving. Slatted timber doors and panels are used for flat stores and riser cupboards, and painted timber windows and flat entrance doors with glazed surrounds were originally installed.

Changes since the 1970s:

- A tiled vinyl floor covering has been laid in the lift lobbies.
- Boiler flue ductwork has been installed and runs across the access galleries (housed in a visually disruptive downstand).
- Timber doors leading to the access galleries and flat entrance doors on tenanted units have been replaced.
- A number of security grilles to windows, particularly on the ground floor, have been installed. Internal signage has been replaced and updated in line with KCTMO policy.
- New lighting to the lobbies and access galleries have been installed with face fixed conduit runs.
- Adaptations to the original metal balustrade on the escape stair have been carried out.

Condition of components:

In general the lobby spaces and access galleries appear in good condition, however, areas of damp to the access galleries are visible, and there is staining to areas of internal brickwork.



1. Entrance lobby - HTL 2015



2. Lifts at ground floor - HTL 2015



3. Fire door to external access gallery - HTL 2015



4. Access gallery and flat storage - HTL 2015



5. Refuse chute - HTL 2015



6. Detail of pre-cast stair and insert - HTL 2015

Edenham Way Block C: Common Areas (cont)

Policies / recommendations:

Refurbishment & alterations

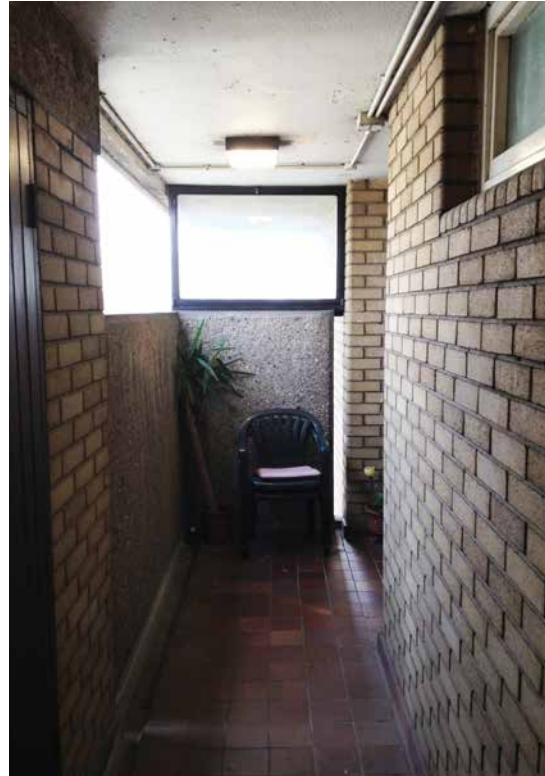
- All surviving original finishes to be retained and protected during future works.
- Explore reinstatement of original finishes (subject to consideration of their durability and availability) as and when refurbishment works are carried out. Specifically the removal of the vinyl flooring to lobby spaces and reinstatement of tiles to match the original finish could be incorporated into future works.
- Consider relocating faced fixed lighting and service routes.
- Explore alternatives to the current boiler flue ductwork runs.
- Explore reinstatement of internal signage to the original Goldfinger designs.

Maintenance & management

- Assess the areas of damp on the access galleries. A method statement for repairs and preventative works should be agreed prior to remedial works.



7. Boiler flue on access gallery - HTL 2015



8. Glazing panel at end of access gallery - HTL 2015



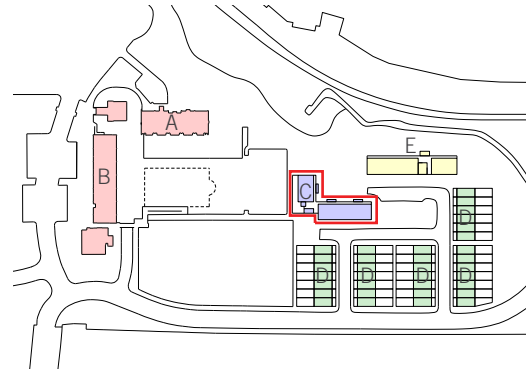
9. Damp visible to access gallery soffit - HTL 2015

Edenham Way Block C: Dwelling Types

Significance: NA

Component assessment:

Block C dwelling type NA



Dwelling types:

Thirty six one bedroom flats, six per floor, are housed in Block C. The north-south wing houses four flats per floor, with the east-west wing housing two flats per floor.

Fig. 1

All flat types are the same (type **h**) and consist of a single bedroom and living space with external balcony access on the south and west elevations, with bathrooms and kitchens located adjacent to the access gallery on the north and east elevations. External storage for each dwelling is accessed from the external gallery.

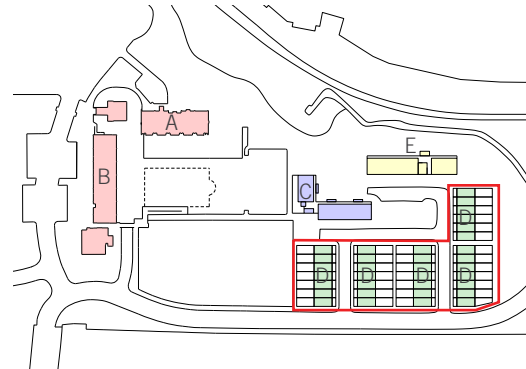
A detailed examination of the dwelling interiors does not fall within the scope of this document.

Edenham Way Blocks D: Massing

Significance: C

Component assessment:

Block D composition C



Massing:

The Block D terraced houses are located to the southeast of the Edenham Way Estate. At three storeys high the terraces form the lowest part of the estate. The majority of the Block D housing was completed in the first phase of works, with only the row of six houses to the north east of the estate completed in the second phase. This row of houses steps down towards Elkstone Road due to the change in level at this point on the site.

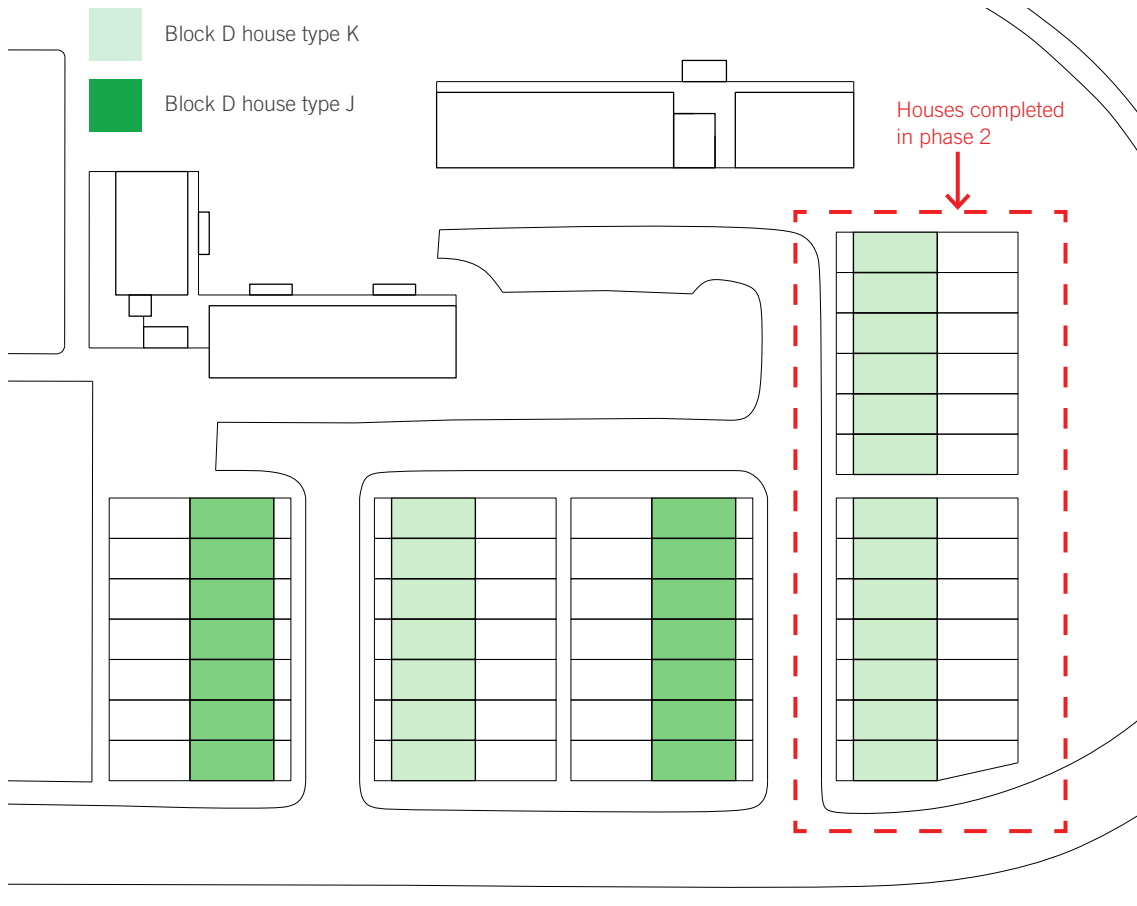
The terraces follow two standard plans: Type J with east access and type K with west access. The difference between these plan types is discussed in the following section on 'dwelling types'.

Fig. 1

Overall composition:

The composition of the terraces is relatively straightforward with the structural brick party walls expressed, and the line of clerestory windows visible due to the changing multi pitch roof profile.

Fig. 2-3



1. Location plan of Block D house types - HTL 2015



2. Relationship with Trelick Tower as built - AJ



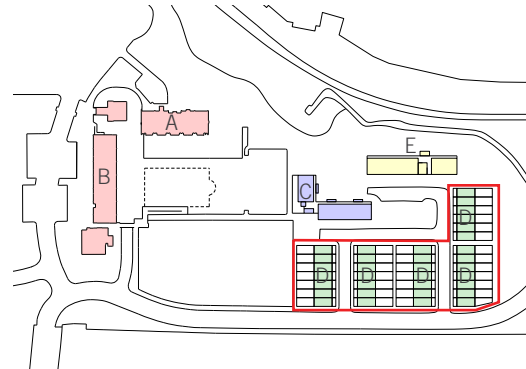
3. Current relationship with Trelick Tower - HTL 2015

Edenham Way Block D: Building exterior

Significance: D

Component assessment:

Loadbearing yellow brick	C
Precast concrete components	C
Original timber windows	B
Stained plywood panels	D
PVCU windows	E
Other alterations	E



Observations:

As previously described the structural brick party walls are expressed externally, projecting beyond the floors, with bull-nosed bricks used. Above the recessed entrances the first floor concrete floor slabs are faced with an external pre-cast panel (with exposed aggregate finish echoing blocks A and B). On the first and second storeys the façades were originally clad in black painted plywood panels. Upper floors originally had square pivoting and white painted timber windows (not floor to floor units as elsewhere on the estate), while full-height sliding timber doors were installed on the rear ground-floor kitchens. The tiled roofs have an asymmetrical profile, incorporating a staggered double-pitch, and timber clerestory windows that run along the east side. All the houses have an integral garage at the front and a rear garden enclosed by a grey brick wall with a timber gate. The blank gable end elevations are constructed from yellow brick and reveal the profile of the sloping roofs and clerestory window.

Fig. 1-7

Changes since the 1970s:

- A large number of the original timber framed windows and doors have been replaced and a variety of window designs are now visible.
- The original garage doors have been replaced or repainted.
- Installation of metal 'julliette' balconies has occurred on a large number of KCTMO managed houses.
- The installation of weather proof, brown plywood panels has replaced the original black painted plywood panels on a large number of KCTMO managed houses.
- Painted brickwork surrounding the front entrances is visible on a number of the houses.
- A few of the houses have extended the entrance porch by installing new glazed screens or simple brick structures out of keeping with the original designs.
- A large number of satellite dishes have been installed and extensive wiring is visible to external façades including external lighting.

Condition of external components:

- The areas of yellow brick appear to be in good condition. General staining is visible, however, and localised brick repairs have been carried out.
- The pre-cast panels facing floor slabs appear to be in good condition, although general staining and weathering is visible.
- Only a small number of the original timber windows remain. Where visually accessible



1. Stepping west photographic elevation - HTL 2015



2. Gable end elevations - HTL 2015



3. Row of rear elevations - HTL 2015

Edenham Way Block D: Building exterior (cont)

the remaining timber windows do not appear in a good condition.

- Where remaining the black plywood panelling is in varying conditions and shows extensive signs of weathering.
- The grey brick external landscape walls appear to be in a generally good condition, although repairs to the mortar joints inconsistent with the original colour have been carried out.
- A visual survey of the roofs was not possible.

Policies / recommendations:

Potential changes

- Ensure no alterations are carried out to the overall composition and remaining original fabric of the elevations in question.
- Any future replacement windows should retain the principal characteristics, material and finish of the original windows' appearance as far as possible.

Refurbishment & alterations

- Like for like repairs and paint finish should be achieved when carrying out remedial works to the remaining timber windows. Where possible the installation of double glazed units to these original timber frames should also be explored pending leaseholder agreement.
- A method statement for repairs and cleaning to all finishes of concrete should be developed and thoroughly tested on non-significant sample areas prior to future works.
- A method statement for replacement of the black stained plywood panels with a suitable alternative, or like-for-like panel, and finish should be produced.
- Explore the removal of satellite dishes and wiring fixed directly to external façades.

Maintenance & management

- When repainting the timber windows colour matching in line with the original design should be carried out. A sample window should be prepared and methodology agreed.
- When cleaning areas of brickwork sample areas should be prepared, with the agreed methodology recorded, prior to wholesale works.



4. Rear elevation type J - HTL 2015



5. Rear elevation type K - HTL 2015



6. Front elevation type J - HTL 2015



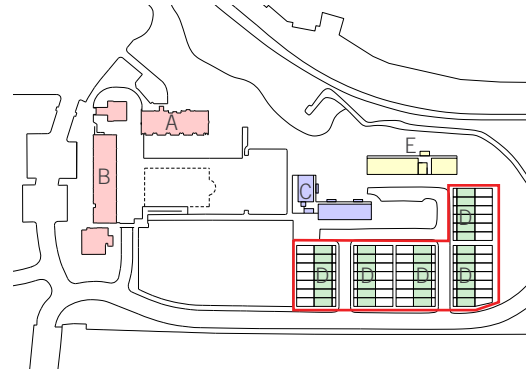
7. Front elevation type K - HTL 2015

Edenham Way Block D: Dwelling Types

Significance: NA

Component assessment:

Block D dwelling types NA



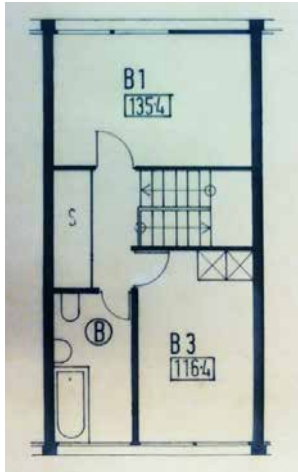
Dwelling types:

The terraces follow two standard plans: Type **J** with east access and type **K** with west access. Both plan types provide a garage and combined dining and kitchen space at ground floor, living space and bedroom at first floor, and a further two bedrooms and main bathroom on the second floor.

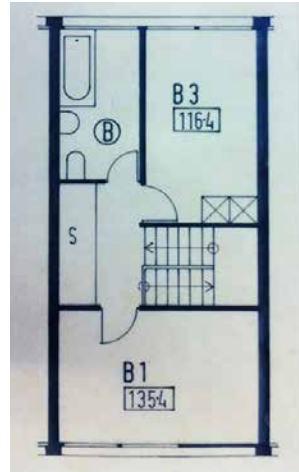
Fig. 1-2

The only difference between types J and K on the external elevations is that the garages in the type J houses project further beyond the façade than those on type K, and that the rear kitchen space in the type J houses are recessed further behind the first floor slab than those on type K. The purpose of this variation is to bring the position of the internal stair on the type J houses further eastwards in order to allow lighting from the typical clerestory windows at roof level. The blank yellow brick gable end elevations (facing north and south) are common to both dwelling types.

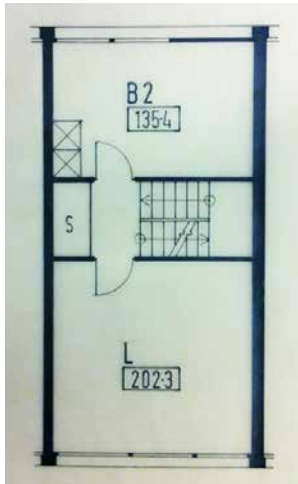
A detailed examination of the dwelling interiors does not fall within the scope of this document.



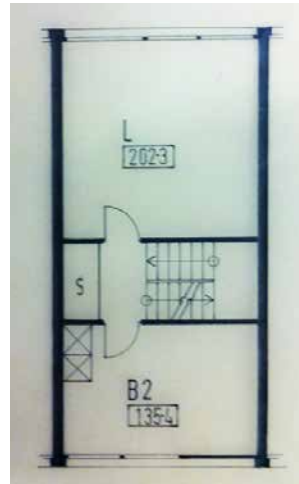
Type J G+2



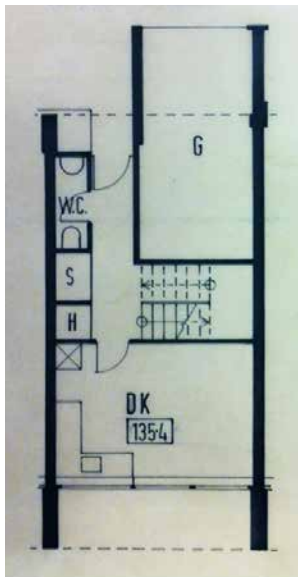
Type K G+2



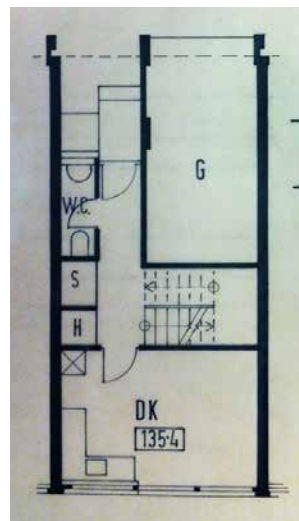
Type J G+1



Type K G+1



Type J G+0



Type K G+0

1. Type J floor plans - RIBA

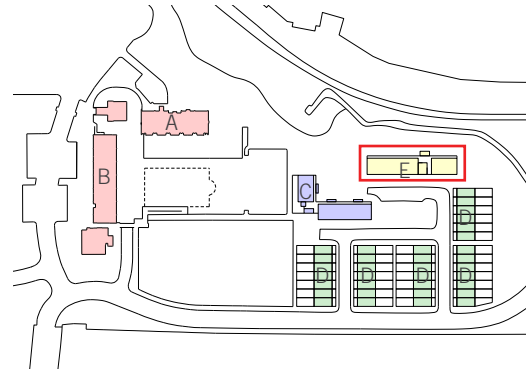
2. Type K floor plans - RIBA

Edenham Way Block E: Massing

Significance: C

Component assessment:

Block E composition C



Massing:

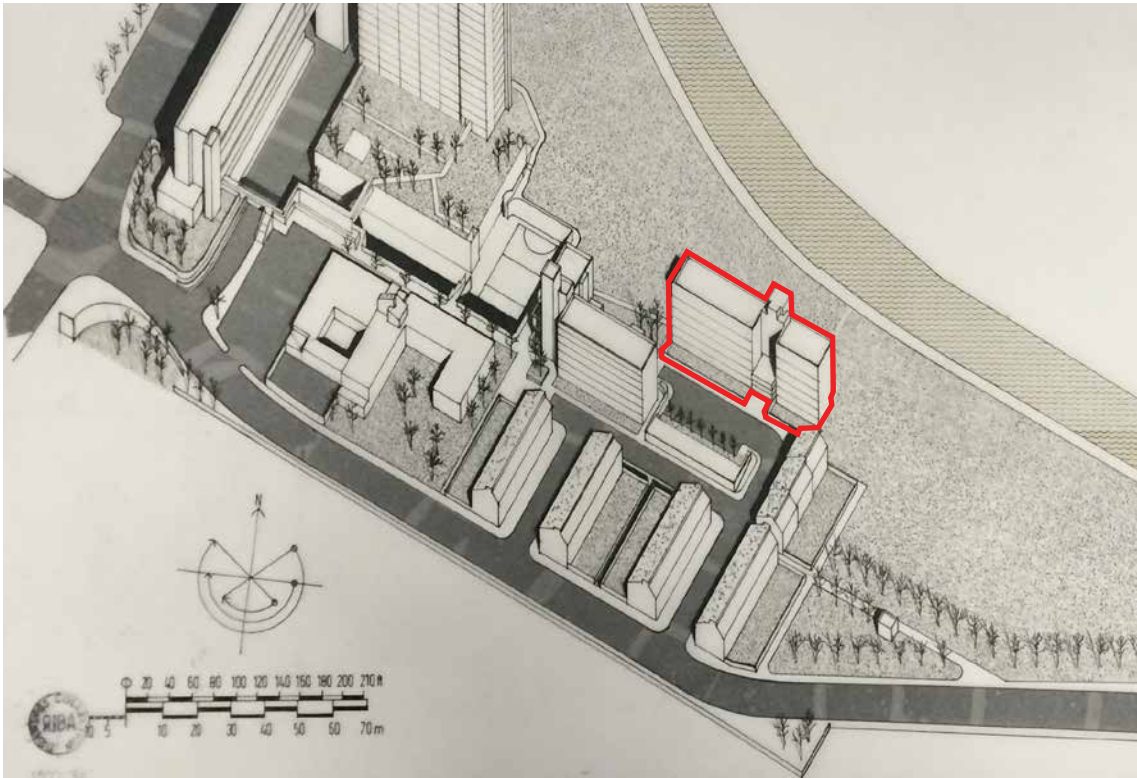
Block E is six storeys high and is located to the north of the Edenham Way Estate. The block consists of two 'wings', both running east-west and comprising 30 flats and maisonettes in total, a central tower housing the main entrance, a residents' room, and lift and stair core.

Fig. 1-2

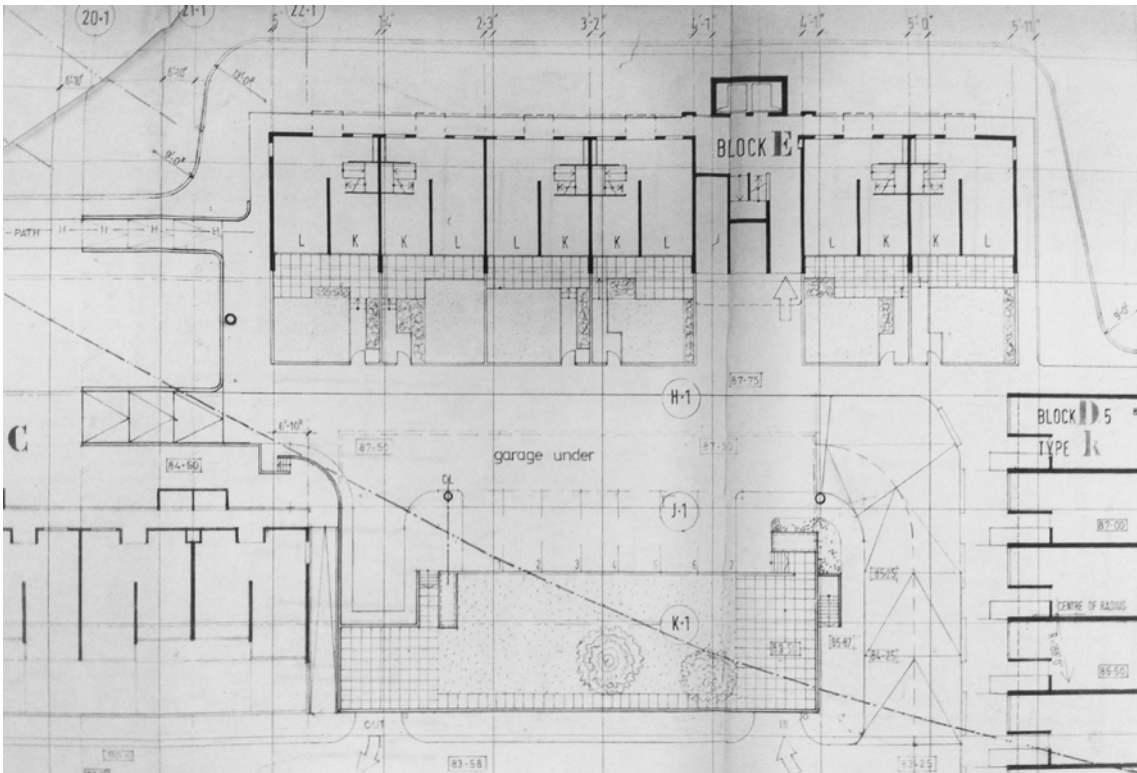
Block E was completed in the second phase of construction following completion of Block C and the majority of the Block D housing.

Overall composition:

Once again the structural brick party walls are expressed on Block E with the central tower recessed behind the south facing façades of the two wings. The first floor volume of the resident's room projects beyond this façade and creates a sheltered entrance area at ground floor.



1. 3D view of entire estate - Goldfinger



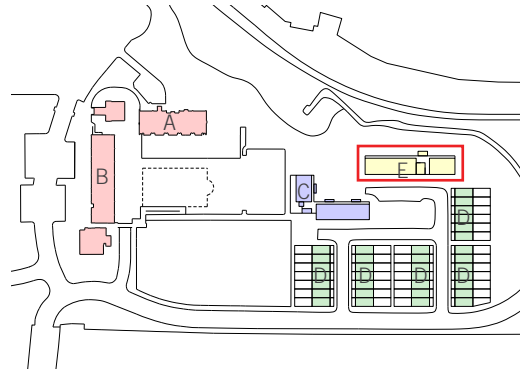
2. Ground floor plan, Block E - Goldfinger

Edenham Way Block E: Building exterior

Significance: C

Component assessment:

Loadbearing yellow brick	C
Precast concrete components	C
In-situ concrete access galleries	B
Timber panelling	C
Original metal windows	B
PVCU windows	E



Observations:

The north elevation of Block E is formed primarily by the in-situ concrete access galleries and the projecting rear brick elevation of the central tower. Metal framed glazing to the external walkways is set within the concrete balustrades and fixed to the underside of the floor slab above.

Fig. 1

The south facing flat façades consist of timber framed windows, expressed in-situ concrete floor plates (in contrast to the pre-cast panels facing floor plates on Block C and Trellick Tower), and stained vertical timber panelling. The structural grid is expressed with the yellow brick party walls projecting beyond the face of the floor slabs. Black painted metal framed glazing is used for all communal areas and notably to the residents' room that projects out over the main entrance.

Fig. 2

The eastern gable end elevation of Block E is constructed in brick and houses four flats and a single maisonette (located on the ground and first storeys) across six floors. Five windows, one for each flat and the ground floor maisonette, are located on this gable end. The east face of the concrete access galleries is also visible, with a single metal framed window located above the balustrade on each floor. An in-situ concrete roof parapet and 'hood' for the original high level security lighting are also visible.

Fig. 3

The west gable end elevation of Block E mirrors the east elevation with the exception of a vertical timber panelled services riser projecting beyond the main brick face. This riser is terminated by the in-situ concrete roof parapet.

Fig. 4

Changes since the 1970s:

- All original white painted timber windows have been replaced with double glazed PVCU windows.
- Boiler flues have been installed on the external access galleries as in Block C.
- A number of grab rails and balustrading have been installed to aid wheelchair use on the ground floor maisonettes.
- Cabling has been surface fixed to party walls and a number of satellite dishes have also been installed.
- A lightning earthing strip has been installed.



1. Block E north elevation - HTL 2015



2. Block E south elevation - HTL 2015

Edenham Way Block E: Building exterior (cont)

Condition of external components:

- The in-situ concrete access galleries, floor plates and roof parapet appear to be in good condition, however, general weathering and staining is visible.
- The metal framed windows to the access galleries appear in working order although a comprehensive examination was not undertaken.
- The metal framed windows to the residents' room appear in working order although a comprehensive examination was not undertaken.
- Only restricted access to the new double glazed windows was possible. Where visually accessible these windows appear in a generally good condition.
- The areas of yellow brick appear to be in a good condition generally. Severe staining is visible, however, above the main entrance below a drainage outlet. Localised brick repairs have also been carried out.
- The black painted timber panels are in varying condition and damage is visible.
- Staining is visible to the grey brick external landscape walls and localised repairs are visible.
- The black painted timber panels forming the services riser are in a generally good condition.

Policies / recommendations:

Potential changes

- Ensure no alterations are carried out to the overall composition and remaining original fabric of the elevations in question.
- Any future replacement windows should retain the principal characteristics, material and finish of the original windows' appearance as far as possible.

Refurbishment & alterations

- A method statement detailing repairs to all finishes of concrete and sampling process should be produced prior to the scheduled KCTMO works to this area of the fabric.
- Produce a method statement and sampling process for brick repairs to both the yellow and grey brickwork prior to any future works. Particular efforts should be made to develop a good match for the colour of the original pointing.
- A method statement detailing the species and finish of any replacement timber panels should be produced prior to any future works.
- Explore the removal of satellite dishes and wiring fixed directly to external façades.

Maintenance & management

- When repainting the metal framed windows, in order to provide protection from future weathering, match the colour of the original designs. A methodology should be agreed and recorded prior to beginning repainting.
- When repainting the metal railings to balcony spaces and metal windows for future protection colour matching in line with the original design should be carried out.
- When cleaning areas of brickwork sample areas should be prepared, with the agreed methodology recorded, prior to wholesale works.



3. Block E east elevation - HTL 2015



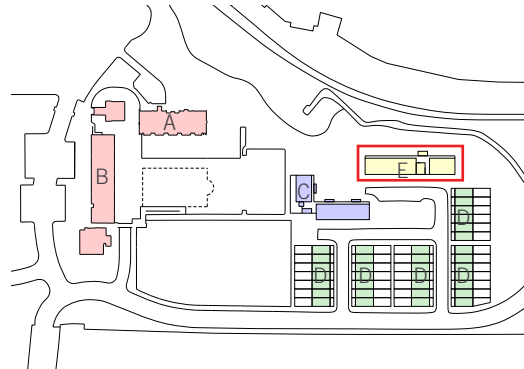
4. Block E west elevation - HTL 2015

Edenham Way Block E: Common Areas

Significance: D

Component assessment:

Entrance	D
Stair / lift cores	D
Corridors	D
Resident's room	D



Observations:

The central tower houses the main entrance, Residents' room and lift and stair core. Flats are accessed by external walkways (similar to those on Block C) located on the north side of Block E. The finishes of these common parts were originally a similar design to Block C with yellow brick or exposed in-situ concrete internal walls, a painted concrete soffit, thermoplastic floor tiles, and timber fire doors to the external access galleries. The ceiling of the resident's room is a coffered concrete soffit and was painted white. An unfinished pre-cast concrete stair was also installed, however, no granolithic inserts on the nosings were included in contrast to Block C. Metal openings to refuse chutes are also located in the lobby spaces.

In an echoe of Block C these finishes are continued through to the access galleries, with the exception of the external floor tiles which are a hard wearing quarry tile with matching coving. Painted timber windows and flat entrance doors with glazed surrounds were originally installed.

Changes since the 1970s:

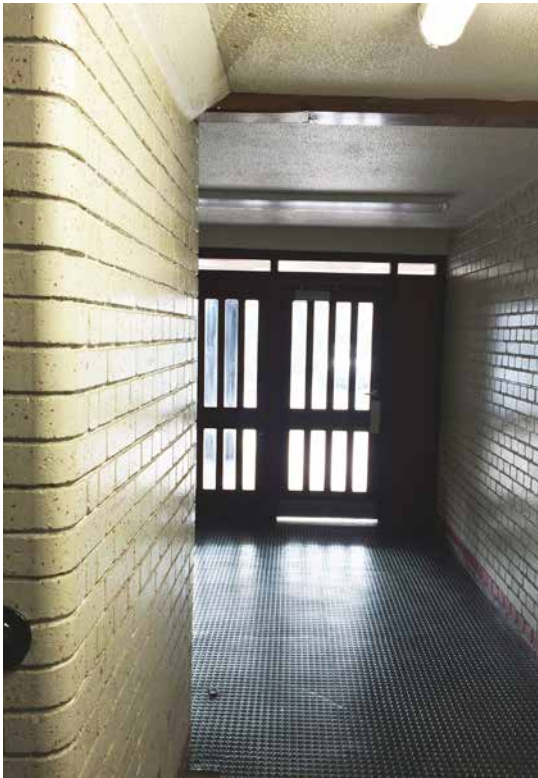
- Anti-graffiti paint has been applied to the walls of the stairs and lobbys.
- A vinyl anti-slip floor tile has been installed on the ground floor, with red vinyl sheet flooring applied to the stair landings including a red painted skirting zone on the brickwork walls.
- In the Residents' room a different vinyl tile has been applied to the floor while the inside face of the external concrete walls have been painted white.
- Internal lighting, with surface fixed conduit, and new internal signage in line with KCTMO policy have also been installed throughout.
- On the external access galleries a downstand housing the boiler flue ductwork has again been installed.

Fig. 1-8

Condition of components:

In general the lobby spaces and access galleries are compromised by recent additions. Areas of damp to the access galleries are also visible and there is staining to areas of internal brickwork.

Fig. 9



1. Main entrance lobby - HTL 2015



2. Stair and lift lobby - HTL 2015



3. New flooring to stair landings - HTL 2015



4. Residents' room - HTL 2015

Edenham Way Block E: Common Areas (cont)

Policies / recommendations:

Refurbishment & alterations

- All surviving original finishes to be retained and protected during future works.
- Explore reinstatement of original finishes (subject to consideration of viability, durability and availability) as and when refurbishment works are carried out. Specifically the removal of the vinyl flooring to lobby spaces and reinstatement of tiles to match the original finish could be incorporated into future works. The removal of the anti graffiti paint should also be explored if practical.
- Consider relocating faced fixed lighting and service routes.
- Explore alternatives to the current boiler flue ductwork runs.
- Explore reinstatement of internal signage to the original Goldfinger designs.

Maintenance & management

- Assess the areas of damp on the access galleries. A method statement for repairs and preventative works should be agreed prior to remedial works.



5. Anti-graffiti paint to walls - HTL 2015



6. Refuse chute - HTL 2015



7. Stair and lift lobby - HTL 2015



8. Access gallery and boiler flue - HTL 2015



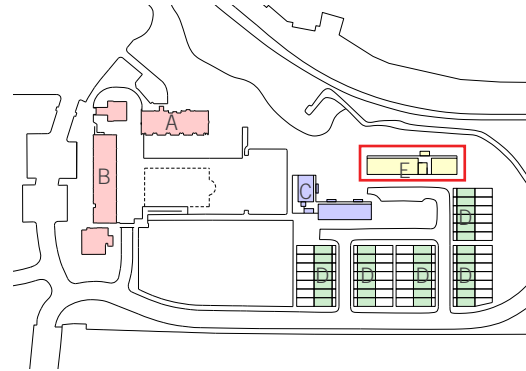
9. Damp to access galleries - HTL 2015

Edenham Way Block E: Dwelling Types

Significance: NA

Component assessment:

Block E dwelling types NA



Dwelling types:

The ground and first floors house six three bedroom maisonettes with private gardens on the south. Above this are 24 one bedroom flats. These flats are arranged asymmetrically to either side of the lift tower with six flats housed on each of the top four floors (four flats are located in the west wing with two flats located in the east wing).

Fig. 1-2

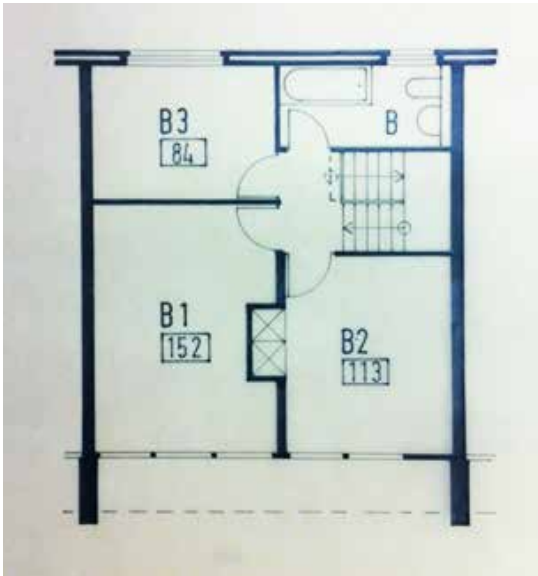
Flat type **I** - 3 bedroom, 5 person maisonette

Flat type **m** - 1 bedroom, 2 person flat

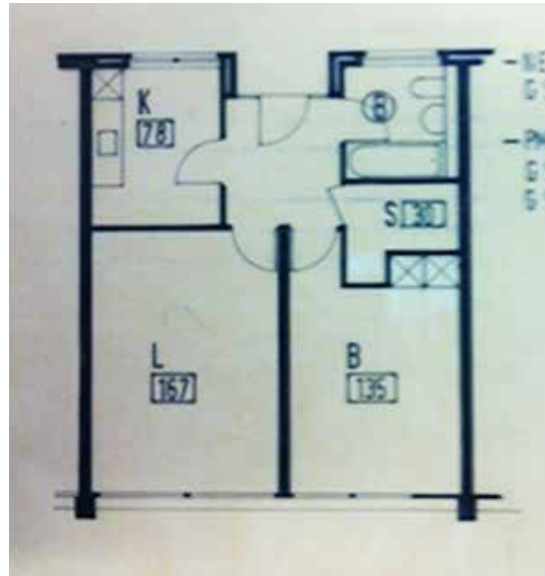
On the lower ground floor level each of the six type I maisonettes consist of a living room and kitchen on the south side of the block, and a store and WC on the north side. Three bedrooms and a shared bathroom are located on the upper level.

The type m flats consist of a single bedroom and living space located on the south side of the block with a bathroom and kitchen located adjacent to the access gallery on the north side. An internal store is also provided.

A detailed examination of the dwelling interiors does not fall within the scope of this document.

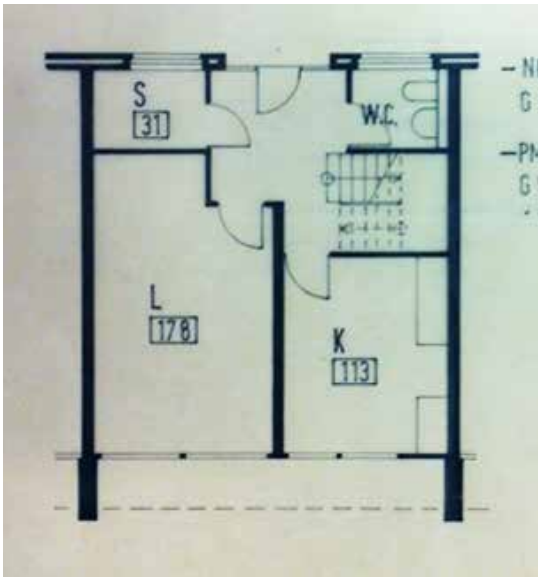


Type I G+1



Type m typical

2. Type m floor plan - RIBA



Type I G+0

1. Type I floor plans - RIBA

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