



# Conservation Area Proposals Statement Edwardes Square, Scarsdale and Abingdon Conservation Area



THE ROYAL BOROUGH OF  
KENSINGTON  
AND CHELSEA

## FOREWORD

The Edwardes Square, Scarsdale and Abingdon Conservation Area, covers part of the centre of the Royal Borough and includes a great variety of residential property, mostly built as family dwellings and much still so occupied.

The Conservation Area epitomizes many qualities of high residential amenity and this publication sets out the factors which have led to the designation of the area and the statutory provisions and Council policies by which it is hoped they may be conserved.

It is the Council's policy to maintain the historic and social identity of the Royal Borough and to retain its attraction as a residential area close to the heart of London.

I believe that we should do all we can to ensure that the Royal Borough remains a place where people will want to make their homes and to raise a family.

London is one of the few cities in this country which has a residential district of quality within its metropolitan area, close to the central business district. Few cities have inner urban residential areas of such charm and character as the Conservation Areas of Kensington and Chelsea. These areas should be kept fit for families and children, rather than exclusively for pieds-a-terre, devoid of family life.

Our District Plan and Conservation Area policies are designed to this end. It has never been our aim to preserve the Borough as a museum where no change at all can occur, but to identify and conserve the best of the physical features of the buildings and the groups of buildings which contribute to making this an exceptional residential area.

The distinctive character of this area could all too quickly be eroded by careless alterations, both large and small and also by lack of repair and maintenance to the buildings. Possibilities for improvements, extensions and alterations have been defined for the guidance of householders wishing to improve their properties. It is hoped that there will be a better appreciation of the historic and architectural heritage which it is sought to conserve and enhance.

I hope this publication will be interesting to all living and working in the area and will be useful to architects, solicitors, estate agents, surveyors and to all those thinking of acquiring or altering properties.

It is re-assuring that there are so many residents, active in local societies, who have been willing to give their time and expertise in contributing to this publication and the Council is grateful to them for their involvement.

A list of other publications for conservation areas in the Royal Borough can be found on the rear cover of this book.

*Wheeler.*

### Boundary Changes to the Conservation Area

The Edwardes Square and Scarsdale Conservation Area was first designated in January, 1970 in the second group of conservation area designations in the Borough.

The original area was based around the 'listed' buildings in Edwardes Square, Earls Terrace and Pembroke Square and a then current LCC designation of amenity building groups including those in Abingdon and Scarsdale Villas, Abingdon and Stratford Roads as well as Inkerman and Alma Terraces, Allen Street and the Earls Court Road terraces opposite Pembroke Square.

In 1974 the area was considerably extended, according to the contemporary report due to the considerable environmental improvement to the area. It included the remaining parts of Abingdon Road and Villas, part of Adam and Eve Mews, the north part of Allen Street and a considerable addition to the south west of the area.

The next important extension of the area was in January 1981 when (following initial studies for the policy statement) residents recommended extensions of the area which were endorsed by the Town Planning Committee after a comprehensive review of all the boundaries. The most obvious change was to transfer the north east side of Warwick Gardens from the Holland Park Conservation Area to the Edwardes Square Scarsdale and Abingdon area. Both Radley and Lexham Mews and Adam and Eve Mews were included in toto at this stage. A major change was the addition of the Edwardian Abingdon Gardens, Iverna Gardens and Iverna Court. This completed the conservation area as it now stands.

The committee also considered including Lexham Gardens, and although on this occasion they felt designation was unwarranted it was thought that evolving criteria may eventually require a review of this area.

In February 1982 the Town Planning Committee, in response to a request at the public meeting, considered extending the area northward along the line of the Earls Court Road and including Cope Place and Pater Street. They decided, however, not to designate any further extensions in this area.

The Town Planning Committee on 8th June, 1982, added Allen Mansions and Ilchester (Allen Street), The Royal Navy Provost Headquarters (1A Iverna Gardens), 197-213 (odd) Kensington High Street and Wynnstay Gardens, to the conservation area.

### Properties added to the conservation area in February, 1974

Abingdon Road: 1-71 odd, 2-16 and 32-52 even, church and public house.  
Abingdon Villas: 45-85 odd, 42-82 even.  
Adam and Eve Mews: West Block.  
Allen Street: Shaftesbury Villas 3-6a and Britannia Public House.  
Cope Place: 2-26 even.  
Earls Court Road: 106: 108.  
Earls Walk: All.  
Pembroke Close: All.  
Pembroke Gardens: 13-34 inclusive.  
Pembroke Mews: All.  
Pembroke Place: All.  
Pembroke Road: 2-48 even.  
Pembroke Villas: 1-7 inclusive.  
Pembroke Walk: 2-11: 16-19 inclusive.  
Phillimore Terrace: 1-12 and Congregational Chapel.  
St. Mary Abbot Close: All.  
Warwick Gardens: 48-102 even: 41-73 odd.  
Warwick Road: 150-160 even.

### Properties added to the conservation area in January, 1981

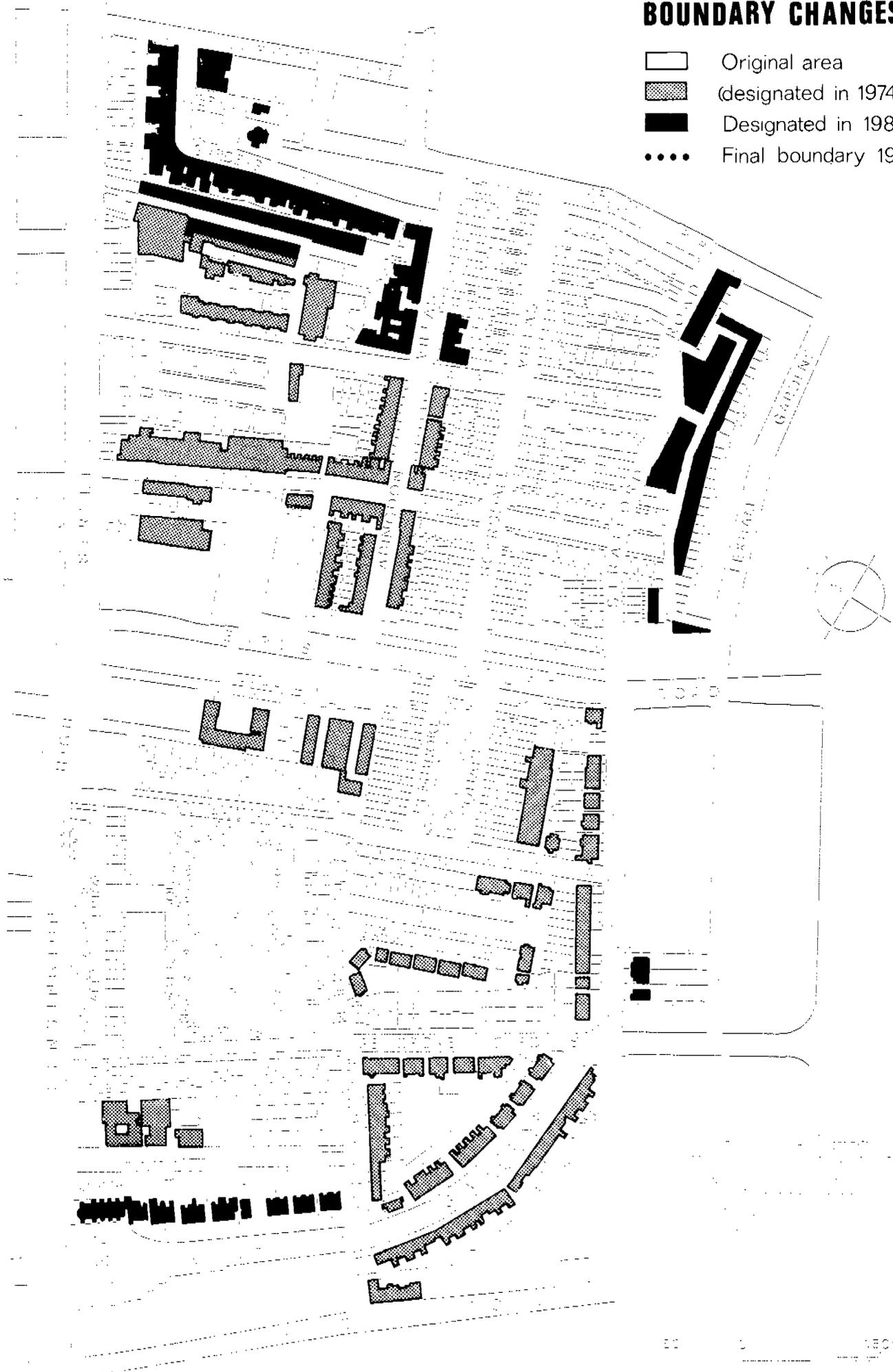
Abingdon Villas: Abingdon Court and Abingdon Gardens.  
Adam and Eve Mews: 1-28 even: 29-35 odd and car park rear of 165-179 Kensington High Street.  
Iverna Court: All including garden.  
Iverna Gardens: All including garden, St. Sarkis Armenian Church, Vicarage and Hall.  
Lexham and Radley Mews: All including Mews Arch.  
Marloes Road: 35.  
Pembroke Road: 29-31 odd.  
Stratford Road: 2-48 even and 1-3 Alma Studios.

### Properties added to the conservation area in June 1982

Allen Street: Allen Mansions, Ilchester.  
Iverna Gardens: Royal Navy Provost Headquarters (No.1A)  
Kensington High Street: Numbers 197-213 (odd)  
Wynnstay Gardens: All

# BOUNDARY CHANGES

- Original area
- (designated in 1974)
- Designated in 1981
- Final boundary 1982





## INTRODUCTION

### STATUTORY BACKGROUND

*Under Section 277 of the Town and Country Planning Act, 1971, local authorities are obliged to determine from time to time which parts of their areas are of special architectural or historic interest and to designate them as conservation areas. They are further obliged to formulate and publish proposals for the preservation and enhancement of conservation areas; to present such proposals for consideration at a public meeting and to have regard to any views concerning the proposals expressed by the persons attending the meeting.*

In accordance with the first part of this section of the Act, the Edwardes Square and Scarsdale Conservation Area was designated in January, 1970 with an extension of the boundary in February, 1974. In January, 1981 all conservation area boundaries in the Borough were rationalised and at the same time the boundaries of this conservation area were reviewed and the name altered to Edwardes Square/Scarsdale/Abingdon. This document fulfills the second requirement of Section 277 of the Act whilst the public meeting held on 7th December, 1981 fulfilled the third part

### THE PURPOSE OF THE POLICY STATEMENT

The objective of the Council is to preserve the conservation area as an area of architectural and historic interest. This does not mean that no change should take place, for conservation is as much concerned with ensuring that changes are compatible with their surroundings, as with retaining an exact appearance of the buildings.

The purpose of the Policy Statement is twofold:

1. To provide an indication of the Council's likely response to planning applications for developments such as house conversions, additional storeys and change of use. In situations where developments can be allowed, the Policy Statement also provides guidance on the appearance and other details of such developments. In this way the document is intended to be a useful guide for residents in the area, people intending to carry out developments, as well as the Council's planning department.
2. To indicate where physical improvements can be made, for example in the maintenance of buildings, and state where the Council will carry out improvements, such as providing street trees.

### PROCEDURE

This Policy Statement has been produced as one of a series being produced by the Council's consultants, Miller and McCoy, in liaison with representatives of several of the local residents' associations including the Edwardes Square, Scarsdale and Abingdon Association. Following the Public Meeting, a period of one month was set aside for receiving written and verbal comments on the draft. Any comments made either at the Public Meeting or during the following month were referred to the Town Planning Committee of the Council. Following the Committee's adoption of the report (with alterations as necessary) as Council policy, this final edition was printed.

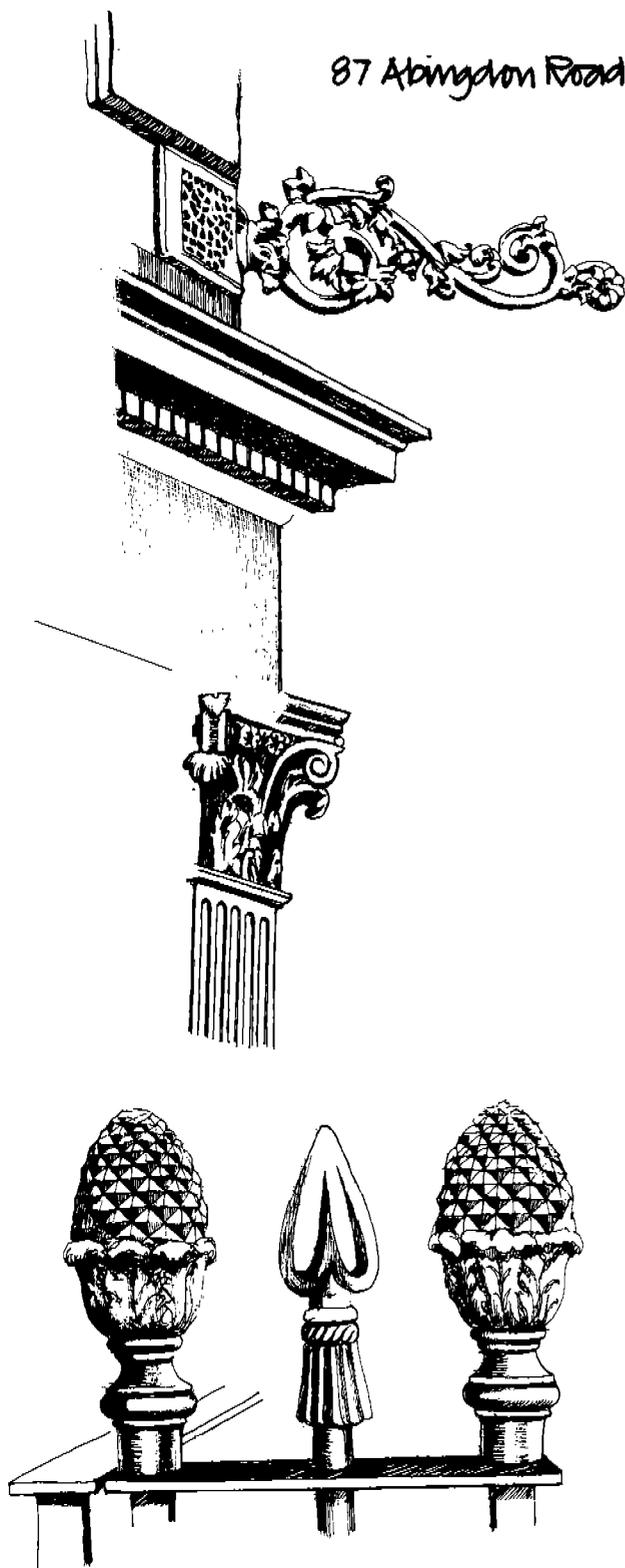
### NOTES ON FORMAT

In the draft edition, the descriptive chapters, which include those sections covering the history of the conservation area, a consideration of the Townscape and an analysis of its demography were omitted. This was done to reduce the cost of the draft and to restrict the text presented to those parts for which discussion was necessary. Similarly, photographs and coloured maps were omitted in order to reduce cost. These items and the descriptive chapters are included in this final edition.

The cover is an extract from Daws map of 1822.



87 Abingdon Road



## Acknowledgements

This policy statement was produced under the direction of the Borough Planning Officer, Alan Sanders, ARICS. It was prepared by Miller and McCoy under the supervision of Denis McCoy, ARIBA., MRIAI., FRTPI., Dip.Arch (Oxford). Report author was Robert Fraser, BA.

Production art work and graphics were by Joan Ullathorne and Mike Gatehouse.

The History Chapter was written and researched with the assistance of Brian Curle and Tim Egan of the Kensington Central Library who located illustrations and commented on the draft. The author benefitted from the sight of the draft text, for the forthcoming volume of the Survey of London, covering the Edwardes Square and Pembroke Square areas.

The Demography Section was written by Francis Lynch of the RBK&C Development Plan Group.

The Movement Section was written by Haydn Davies of the RBK&C Traffic and Transport Section.

Historical illustrations were photographed and printed by the Borough Photographer John Rogers from original maps and illustrations held in Kensington Central Library.

The Policy Statement was produced in conjunction with representatives from local residents' associations. Those represented included:

The Edwardes Square, Scarsdale and Abingdon Association  
Edwardes Square Garden Committee  
Pembroke Square Residents Association  
Pembroke Place Residents Association  
Earls Terrace Residents Association  
The High Street Study Group  
The Camden, Holland, Abingdon and Queen's Gate Forum

Members of the associations helped to research the history of the area and surveyed the area for the enhancement and townscape sections. They also made available photographs and drawings for use in the document.



*Where a paragraph is reproduced in this form with italic letters, it describes the legislation affecting the particular form of development and related Government policy and advice. The Council is required to observe and implement these laws and guidelines.*



**Where a paragraph is reproduced in this form with bold letters, it means that it is a Council policy referring to the conservation area.**



Abingdon Road 1954

## HISTORY

### Introduction

The development of The Edwardes Square, Scarsdale and Abingdon Area took place in three distinct architectural periods.

There were breaks in development (1825-50 and 1875-90) coinciding with changes of style, but unlike many of the homogenous 'planned' developments (which form the basis of other conservation areas) attempts at 'set piece' development appear to have petered out with the completion of Pembroke Square. The pursuit of a single minded estate style caused many financial difficulties in contemporary estates.

The layout of the area was defined early on. The 1822 map shows a lane which was called Earls Court Lane at this time; a path which may later have become Pembroke Road; Part of Stratford Road; Marloes Road and the northern boundary of Lexham Mews. The 1852 map shows the superimposed Scarsdale Villas and leaves the resulting grid pattern in the south-east of the area a foregone conclusion.

The first period of development was the late Georgian Earls Terrace, Edwardes Place, Edwardes Square, Pembroke Square and a number of terraces in Kensington High Street (since demolished) as well as a couple of terraces in Abingdon Road (Park Place and Abingdon Place). These were mainly a continuation of the ribbon development on the Hammersmith Road.

The second phase was the early Victorian network of terraces in Abingdon Road and Villas, Allen Street and Scarsdale Villas, as well as the villas and terraces of Warwick Gardens. These filled in the spaces left by earlier ribbon development.

The last phase was largely the redevelopment of earlier terraces particularly those fronting Kensington High Street but included some infill in the Edwardian era primarily with Mansion blocks in the grounds of the old Abingdon House.

The following is a brief history of development which, whilst as accurate as possible, includes little financial or social background to the development. A definitive history of the development of this area will be published in the Survey of London, South Kensington volume, due to be published within the next few years by the GLC Historic Buildings division. This will provide a great deal of background including the details of financiers, developers and builders active in the area.

### The Late Georgian Period

In 1811 when the building of Edwardes Square was first started, houses lined the main road through Kensington only as far as the Earls Court Lane (sic). There was a toll gate at this junction near the gates of Holland House, controlling the entrance to the west of Kensington and a toll bar on Earls Court Lane. Ribbon development on the main highway from Kensington to Hammersmith reached this junction in 1789 when George Wightman completed Pordens fine Phillimore Place with a terrace on the north side as far as Holland Lane. From this junction onwards, apart from a boundary wall to the Holland House estate and the White Horse Inn hedges bordered the road with open fields on each side as far as Hammersmith.

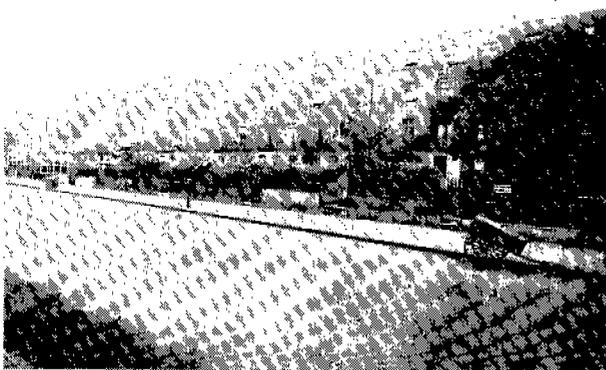
There was very little building from 1793 to 1815 due to the shortage of materials caused by the war with the French. There was, however, some speculative building

on the roads out of London and the open road between Kensington and Hammersmith must have been an obvious site, Phillimore Place on the north side of Kensington High Street between Phillimore Gardens and Argyll Road (since demolished) was very probably a financial success.

Louis Leon Changeur signed an agreement with the Rt.Hon. William Lord Kensington on 30th May, 1811 permitting him to build on eleven acres of the latter's estate south of the main road. A week after signing the agreement Changeur was given permission to build a brick drain to replace the ditch and watercourse in front of the proposed Earls Terrace and to make four openings from the turnpike for access to the grounds and buildings.

The building of the square was well in hand by June 1811 but eight months later in February 1812 surveyors for the Westminster Commissioners for Sewers reported to their committee that Changeur had built some sewers to drain the west and north sides of the square without consent. A prolonged dispute over the line and specification of the sewers built by Changeur without the Commissioners' consent drew out from March until August. The severe recommendations of the Commissioners, ordering rebuilding and re-routing of the sewers, may have contributed to Changeur's bankruptcy in November of the same year.

The twenty five houses of Earls Terrace were built first, set back from the highway by an elegant carriageway flanked at each end by a porter's lodge. Five houses east of the terrace were built next and called Leonard Row or Place (demolished in 1923 or 4 to be replaced by the new Leonard Place 267-281 and Odeon Cinema). Leonard Place had grown to a uniform terrace of twelve houses by the 1850's set forward from Earls Terrace to match Edwardes Place — itself originally intended to be a terrace of some ten houses and to be called Elderton Row. The east side of the square was developed first, followed by the west side being called respectively Kensington Place East and Kensington Place West. The stables and mews which formed the south side were



Leonard Place C.1923

completed in 1819, (of which numbers 63-66 may possibly be survivors) broken in the middle to give access to a yard and a pair of houses, (one of which forms part of number 60). The Studio buildings on the south side of the Square appeared as redevelopments after 1870.

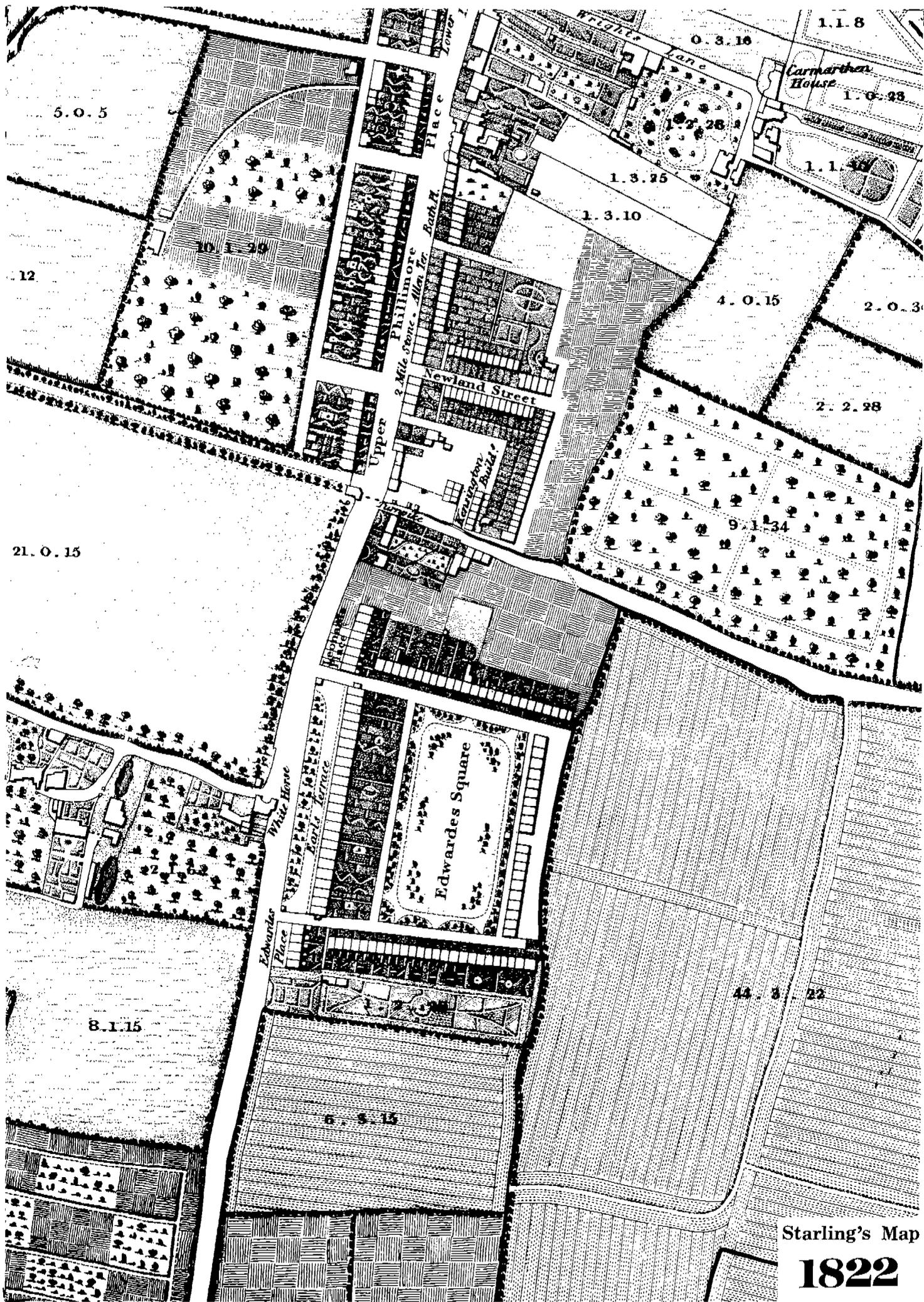
By 1820 the square garden was laid out and a gardener's lodge called 'The Temple' completed. This was designed according to the classical garden architectural design revival of the time to look like a Grecian temple with Doric columns on the garden side. A hand pump still stands on the south wall of the Temple, another is behind the east lodge of Earls Terrace, these were constructed to provide water for the gardens. In 1818 the Royal Horticultural Society laid out its first experimental garden abutting the west of Edwardes Square.

On 1st July, 1819 an Act of Parliament was passed for the paving, cleansing, lighting, watching, watering, planting and improving of Edwardes Square. Twenty two Trustees from residents of houses connected with the square were appointed to administer the provisions of the Act. They were charged to erect lamp posts, lamp irons, and lamps to light the square (changed from oil to gas in 1855) and employ able-bodied watchmen at night and an inspector by day. In addition the Trustees were responsible for sinking wells and pumps for the use of the square garden and the front of the terrace, and the general upkeep of railings, gravel walks, lodges, etc.

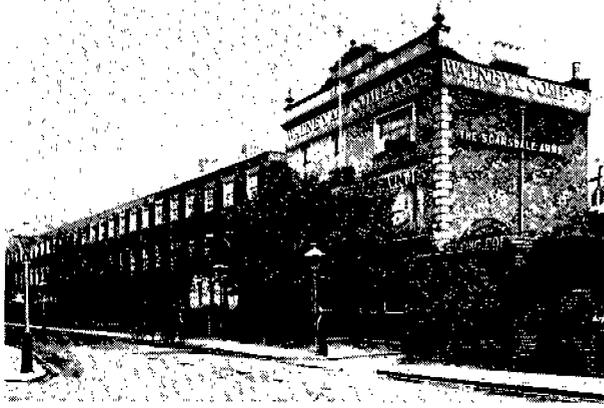
Up until 1827 the south side of the square was closed: however, in March of that year Lord Kensington informed the Trustees of the square that he intended to continue the road on the east side of the square to the south into Pembroke Square.

Initiation of development in Pembroke Square was undertaken by the developers Dowley and Tuck who were working on behalf of Lord Kensington on this matter and on the nearby Kensington Canal which was in the throes of construction at this time. Building of the square was entrusted to sub-contractors and financed by various speculators. Dowley and Tuck however found a recession in the property market disastrous, being declared bankrupt in July, 1826 with only half a dozen of the houses then occupied. The square was eventually completed on behalf of the creditors who held or subsequently obtained the building leases. The north and south sides were completed by 1827 and all occupied by 1830. The west side, however, was held up by legal wrangles and not restarted until 1828 but was nevertheless completed by 1831 and occupied by 1835 (numbers 22 and 23 were later additions, completed in 1835-7: number 21 was built in 1839).

There were four cottages linking the south side of Edwardes Square with Pembroke Square called Pembroke Cottages North. Numbers 1 and 2 were occupied in 1843-4 and numbers 3 and 4 (1846 but



Starling's Map  
**1822**



Scarsdale Public House, Edwardes Square C. 1905

replaced by Pembroke Court in 1932). Opposite these cottages the east terrace of Edwardes Square continued up to, but not including, the Scarsdale Public House which was built in 1866-7. The last two houses (22 and 23 Edwardes Square) were originally planned as four dwellings, but completed and used as two dwellings, one being used as a girls boarding school.

The name Pembroke derives from the Welsh estates of Lord Kensington's family, the Edwardes. Various other streets and terraces also have links with villages on these estates or investors in the development.

Pembroke Square connected through to the Earls Court Road, a road predating the development of the area, which had a number of small yards, market gardens and stables at its north end which were gradually developed. It is unlikely any of the buildings standing before the 1850's still exist, certainly none in recognisably original condition.

Parallel to Earls Court Road lay Newland Street (now Abingdon Road) which was developed at around the same time as Edwardes Square. Although not appearing on contemporary maps, there is a record of rates being paid on 9 Park Place (now number 43) in 1828. Nearer the High Street, a terrace of eleven houses with forecourts, was certainly built on the east side by 1822. Fourteen houses were built at the same time on the other side of the street but not all of these have survived. At a much later date, 1880, permission was sought to build shops on the east side forecourts. Only number 9 survives without a shop front to show how elegant the original terrace must have been. Starling's map of 1822 shows a terrace linking Newland Street and Earls Court Road: this was known as Warwick Street at the west end and Sutton Street at the east end (now Pater Street). This had a terrace only on the north side redeveloped to form Warwick Chambers (1902) and Abingdon Mansions (before 1890). Although the Princess Victoria P.H. was not the same early period as the rest of the terrace, it did predate the later mansion blocks. The same period of redevelopment demolished part of the terrace on the west side of Abingdon Road to form Ilchester Mansions (1894).

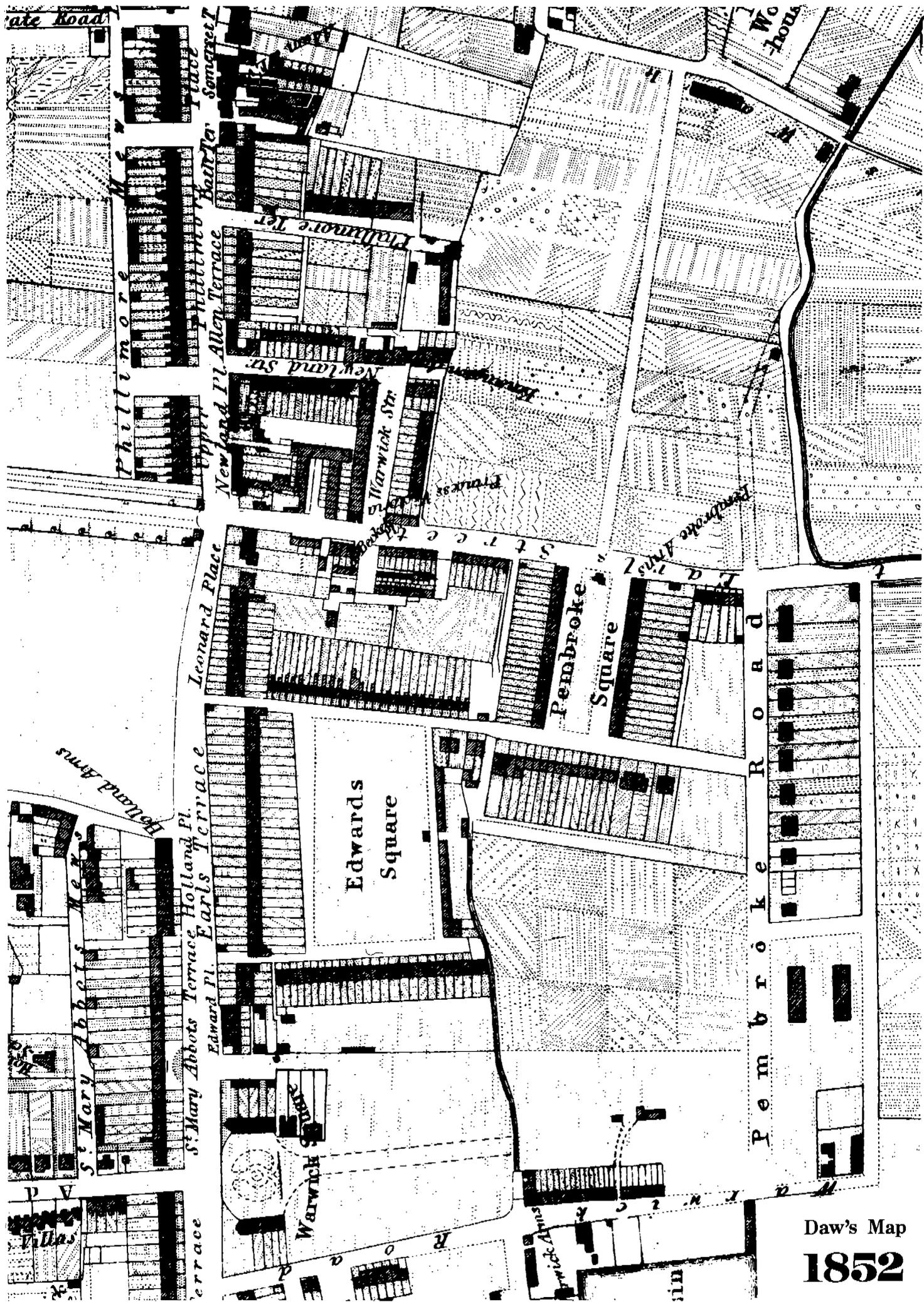
## Victorian Developments

The developments which shaped the remainder of the area started from the Earls Court Road and existing terraces of Abingdon Road. The whole area of Abingdon Villas, Scarsdale Villas, Abingdon Road and Allen Street and the north side of Stratford Road was developed in the decade 1852-62.

After the completion of Pembroke Square, one of the speculators — William Collins, who had emerged relatively unscathed from the financial traumas — obtained an interest in all unbuilt land taken in the original agreement by Dowley and Tuck. He became owner of the whole western range of Pembroke Square from 4 Pembroke Cottages to 35a Pembroke Square and it was he (and after his death his widow) who completed the development of this area. Starting in the Earls Court Road, he granted building leases for 98-108 (even) in 1844-6 and turned the corner into Pembroke Road, planning twelve houses in three groups of four in 1853 of which 2-8 were built at this time, 10 and 12 and 14 to 22 (1861-3) were completed after his death. He was, however, responsible for 1 and 2 Pembroke Cottages South (Pembroke Villas) 1827, 3 and 4 (around 1854), 5 (first occupied 1859), and his executors for 6 and 7 (1862). The Prudential Assurance Company bought the whole west sides of Pembroke Villas and Pembroke Square and Pembroke Cottages for their scheme to redevelop Pembroke Gardens Close on the site of Pembroke Lodge (late 1860s). This company also built the modern range of houses in Pembroke Villas (24-42) in 1961-3. On the south side of this road, eight pairs of substantial houses were originally built, of which only numbers 29-33 (odd) remain.

The main development in the south-east of the area started in the Earls Court Road, where the newly developed terraces were divided by a series of east-west roads — Pater Street (1820s), Cope Place (originally Park Terrace, 1840's and Emma Place, 1850's) followed by Abingdon Villas, Scarsdale Villas, and Stratford Road (1850's). A map made by the Metropolitan Commissioner of Sewers in 1851 shows Pembroke Terrace (94-108 Earls Court Road) but not the Earls Court Terrace (67-95 Earls Court Road), although both appeared in the 1851 census and Daw's map of 1852 shows all the terraces on the west side of the Road complete. Those remaining at 94-106 and 32-56 are much changed, at least in elevational detail.

A'Beckets Place (now the site of the garage 27-33 Earls Court Road) and the terrace now the site of the Police Station and Gorston Terrace (1-7 Earls Court Road) were all built by the time of the survey for the 1851 Metropolitan Commissioners for Sewers map. Kensington Buildings appeared on Starling's map of 1822 these were a group of stables standing at the top of the Earls Court Road until demolished by war-



Daw's Map  
1852



The Terrace, Kensington High Street 1893.

time bombs. The Hansom Cab Public House was originally called the Pembroke Arms and is first mentioned in Ratebooks of 1846; it was, of course, part of the earlier Pembroke Square.

The first expansion east started on the Earls Court Road itself. Numbers 47-65 Earls Court Road (later called Lansdowne Terrace) was built as part of (and originally also called) Foxley Terrace (Scarsdale Villas 58-72) in 1952. Scarsdale Villas appears as a name in its own right in the ratebooks of 1856 (the west end of the road by Foxley Terrace had been known originally as Foxley Road). The Villas (north and south) appear in the 1861 census whereas neither Shaftesbury Villas (the centre terrace of the road 38-56 and 29-41) nor Argyll Terrace (43-47) appeared until the 1871 census. The line of the road was evidently when Foxley Terrace was built in 1852 since Daw's 1852 map accurately forecasts both Scarsdale Villas and Abingdon Road. Lord Scarsdale owned a house and land on the east side of Wrights Lane.

Just to the north a start was made in 1853 on Abingdon Villas with the building of Orchard Terrace on the south side (66-82 Abingdon Villas) which backed on to the new Foxley Terrace. Abingdon Villas West (45-63 and 46-44) followed the same year and the road was probably completed soon afterwards.

Meanwhile, Warwick Gardens was being built over on the western border of the estate. Development started on the High Street with two facing terraces forming Warwick Square; the name Warwick Gardens was given to the road funnelling southward from the Square in the 1850 ratebooks. Information from contemporary plans and maps suggest that progress southward was gradual and it appears that, unlike most of the estate, building leases were granted piecemeal as the development progressed. Building appears to have followed closely on the heels of the grant of building leases. These were granted for the Square from 1822 onwards, buildings first appearing in the ratebooks of 1830 (St. Mary Abbots Place west side serving as mews for the square): other leases progressed southward down the road from 1849 to 1856, stopping at Pembroke Gardens (which appears to have been built on the line of an established

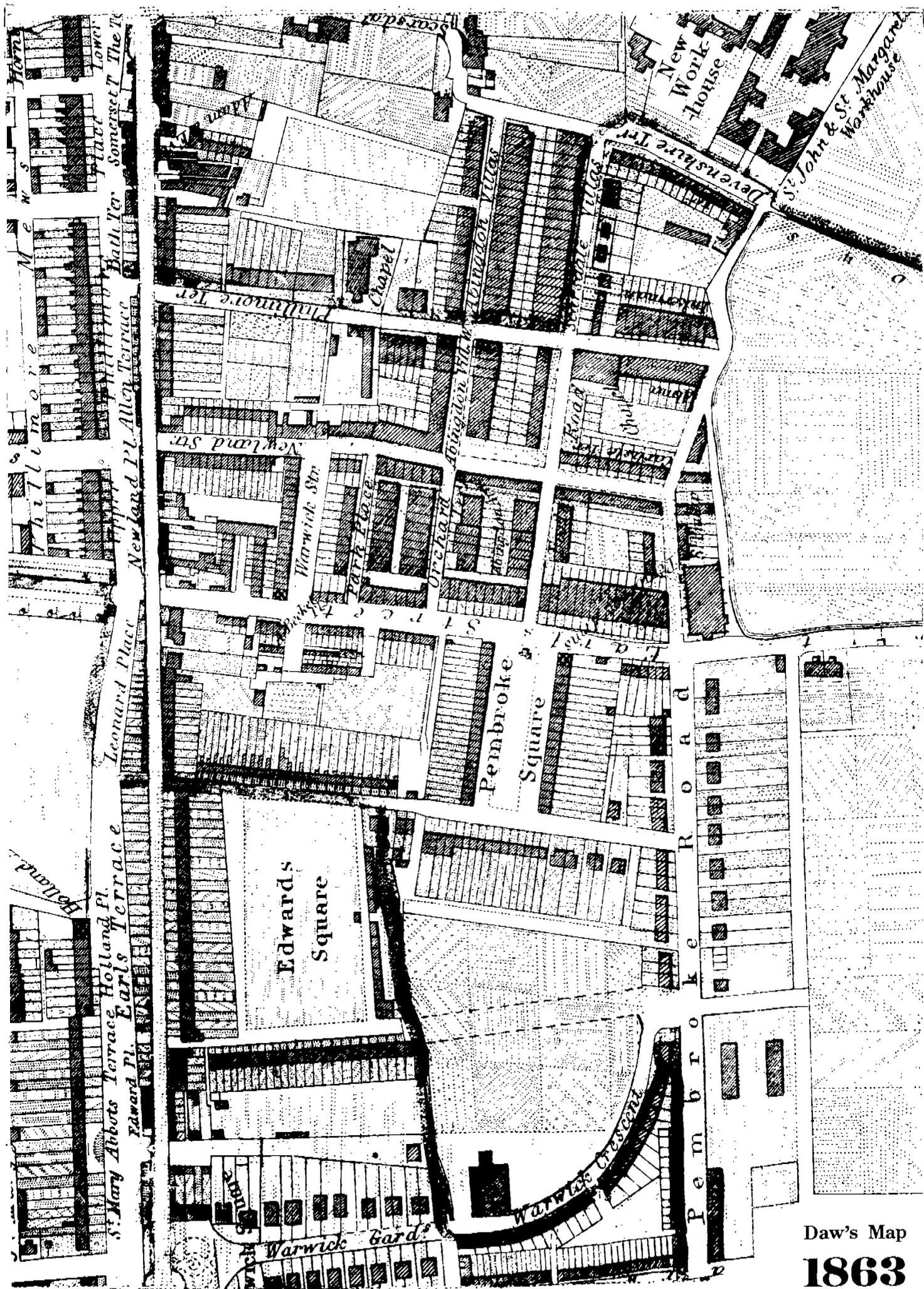
footpath — see Daw's map of 1852). The Wesleyan Chapel was established on the south corner of Pembroke Gardens and Warwick Gardens, a site now occupied by six Dutch-gabled houses from the 1920's.

Daw's 1863 map shows that building continued southward on the outside of the newly named Warwick Crescent, building leases were granted from 1863 and this time development moved northwards. The street was certainly complete by the Ordnance Survey Map update of 1872.

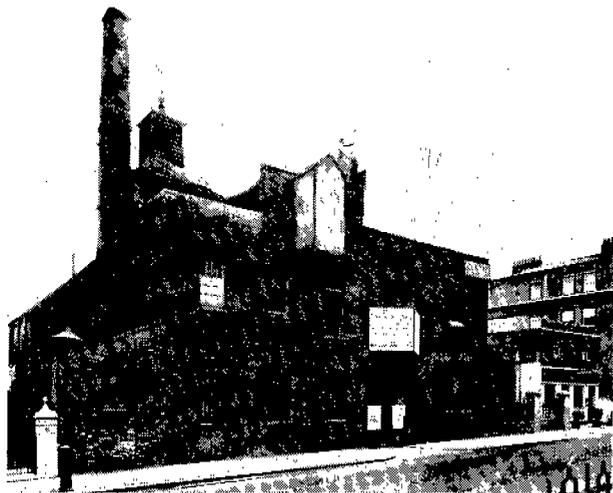
Pembroke Gardens was understood to have been built between 1858 and 1862: Daw's map of 1863 however, does not show them and the building leases of the original estate appear not to have been granted until 1865-68. Nevertheless, the name did appear in the rate book of 1863. It seems most likely, therefore, that they were developed as a block with the north side of Warwick Crescent in the 1860's and certainly appear on the Ordnance Survey Map updated to 1872, and were occupied by 1874.

The 1852 Daw's map shows the line of Stratford Road. A continuation of the line of Pembroke Road allowed space on the south side of the road just north of the field boundary for St. Phillip's Church, the short St. Phillip's Terrace (54-60 Stratford Road) and the endstop to Abingdon Road, Cleveland Terrace Gardens (Sunningdale Gardens). The road then ran along the estate boundary to the junction with Marloes Road. Building north of this estate boundary was completed some ten or twenty years before development of the estate to the south (including Lexham Gardens and Mews) started. William Stratford had a market garden in Kensington bordering the road and this is the probable derivation of the name.

Marloes Road was formerly part of the winding Wrights Lane and was not referred to separately until 1872. Devonshire Terrace (37-67) appears first on Daw's map of 1852 and is named on the 1861 census. The last house of the terrace was established as a Public House in 1852 and an elaborate garden laid out in 1854. Until at least 1872 the road ended at its junction with Stratford Road.



Daw's Map  
1863



Britannia Brewery 1928

Allen Street (originally just called Phillimore Terrace) extended only as far as the Britannia Brewery, at least until 1851. Phillimore Terrace (eight houses in 1841, occupied completed and named by 1844) faced out over an area of open ground in both directions for many years until the building of Adam and Eve Mews and Wynnstay Gardens. Development progressed southwards with Shaftesbury Villas; at one time the existing terrace faced a pair of houses of the same name on a site now occupied by part of Abingdon Court. These terraces were mentioned in the 1861 census and being similar in style to terraces in Abingdon Villas probably date from around 1853. The road appears to have been completed in response to the east/west Villas rather than before them. Inkerman Terrace also appears in the 1861 census although the facing Alma Terrace first appears in the ratebooks of 1862. Both these terraces were named after battles of the Crimean War. The road was not named Allen Street until 1867 after the builder Thomas Allen who owned property on its east side.

In Newland Street (Abingdon Road) development halted at Park Place from the 1820's, until the development of the Earls Court Road terraces began. The ratebooks show that 9 Park Place (43 Abingdon Road) paid rates from 1822 and the 1846 rates map confirms that these terraces must have been complete from an early date. Between the terraces on the eastern side were the livery stables, (a site now occupied by the Gas Board premises) and the Kensington Arms. Development restarted piecemeal to meet the progression of the roads branching off the Earls Court Road.

The first building phase of the Victorian period in the street was Claremont Terrace (40-52 Abingdon Road) which appears in the 1861 census. Albion Terrace on the east side did not appear in the ratebooks until 1871 and not on contemporary maps for some time afterwards. The paired terraces of Abingdon and Carlisle (54-70, 69-87 and 72-94, 89-111 respectively) appear in the 1871 census and are contemporary with terraces in the east-west Villas. Cleveland Terrace Gardens (Sunningdale Gardens) was developed contemporary with the Abingdon Road Terraces.

## Late Victorian and Edwardian Completion

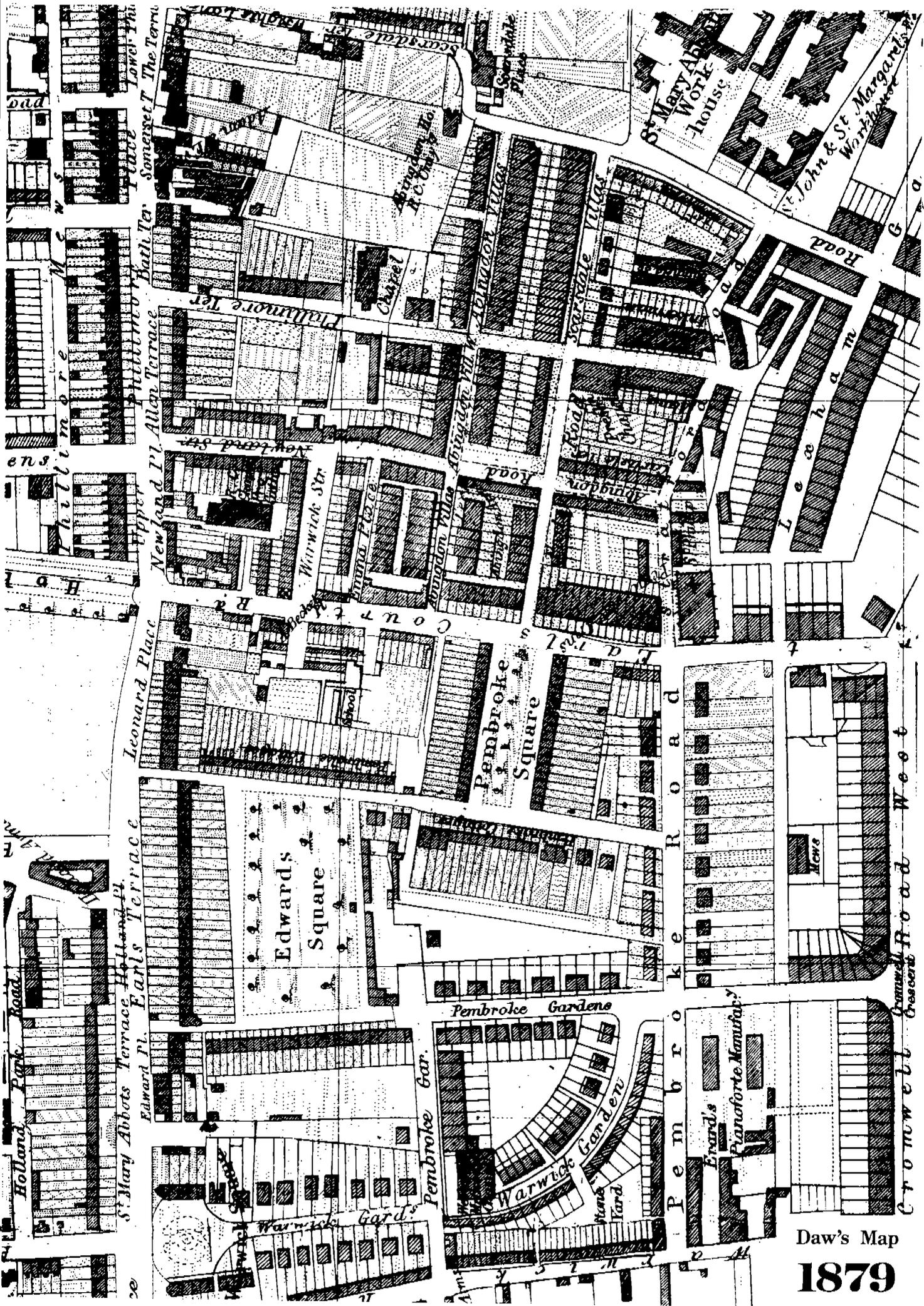
Looking at the Daws map of 1863, the most noticeable feature is the open ground still within the estate area. It took some time for the final form of the estate to develop. Apart from the major developments and redevelopments of the north-east of the area, most of the open space became small studios or mews developments of these both Shaftesbury Mews and the east side of Pembroke Place have since been redeveloped. The site of the former was a livery stables from 1864, the name possibly commemorating Shaftesbury House formerly standing, near Seymour Walk, or the reformer of that name. One of the earliest small mews of the estate, Pembroke Place West (as it was known), was in existence from before 1851 as a single terrace of houses looking out over a market garden. Between them and the terraces of Earls Court Road was squeezed William Place. It is possible that parts of the houses of this narrow alley still stand. The north, west and southern terraces of Pembroke Place must have been built in the 1880's or 1890's. The east terrace was rebuilt recently. The nearby Pembroke Mews must also date from this period although buildings in Earls Walk are probably more recent.

Several other small streets evolved along Stratford Road to fill the spaces left in the centre of the blocks by the Abingdon Road/Allen Street/Scarsdale Villas terraces. Scarsdale Studios was an open space until the 1880's, although later in that decade some small buildings in the entrance to the area alongside South Bank Terrace (15-21 Stratford Road) became known as South Bank Villas.

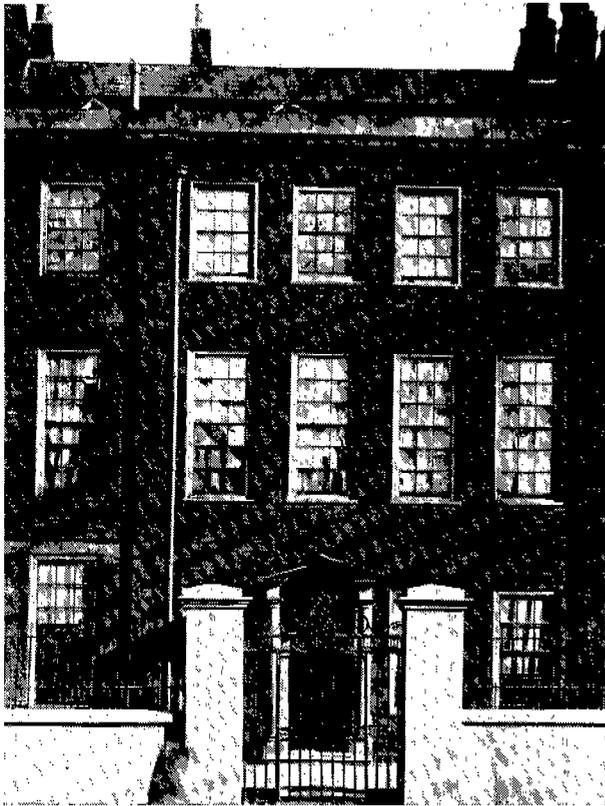
Blithfield Street came into existence around 1868 when it was named in the ratebooks. Previously the site had been used as a bowling green backing on to the Devonshire Public House. Some small buildings on the site were removed to allow the development. The elusive Stratford Avenue was shoehorned into the remaining area to the west and although not built until the late 1870's was certainly occupied from 1882.

Pembroke Walk started as a rear access to houses in Pembroke Square but soon small service buildings appeared, probably housing stables. These were added to over the years, development of the south side probably being from the 20th century.

Adam and Eve Mews was built on an amalgam of rear yard sites along Kensington High Street. The Adam and Eve Public House established before 1730 and only becoming a shop some ten years ago, had a rear yard with a number of stables and cottages with access through an arch from the High Street. The Mews occupies the site of this and the neighbouring Chancellors Yard. The Western Mews appear to have been built on the site of a rear access alley to Phillimore Terrace, the egress of which was just south of the terrace. Plans of the Mews date from 1880 and it is likely that building started soon after.



Daw's Map  
1879



No.6, The Terrace 1893

Of the remaining small streets St. Mary Abbots Place developed as a collection of small buildings serving the rear of houses in Edwardes Terrace and Warwick Square. Of the early buildings, the original No.7 remains as a part of the film studios and an old house on the site of No.16 may still form part of this house.

Pembroke Studios was a more planned development of 1880 standing on an open site adjacent to the present No.35 Pembroke Gardens, which is contemporary with its Warwick Gardens neighbours and may have been a forerunner of an abandoned extension of that development into Pembroke Gardens.

Abingdon House stood at the corner where Wrights Lane and Marloes Road meet. For most of the Victorian era this house and its ample grounds had remained aloof from the development all around. Adam and Eve Mews eventually poached a couple of the western fields. Cheniston Gardens was built over the site of the house in the early 1890's and in 1894 Iverna Gardens was built. In the same year Ilchester Mansions (Abingdon Road) were built following Abingdon Mansions (Pater Street pre-1891). The north eastern terrace of Abingdon Villas, of rather more modest houses than those remaining on the south side, was demolished around this time to allow the entrance to the Gardens and was replaced with Abingdon Court (designed by Palgrave and Co.) in 1899-1900. Abingdon Gardens (designed by Sydney Newcombe) followed in 1904, two years after the completion of Warwick Chambers (Pater Street). These are the sole examples of an Edwardian style which had so much changed the style of Kensington east of the Underground railway.

## The Edwardes Square Court Case

A significant date in the history of the square was March 1910 when the 99 year leases of the square garden and Earls Terrace fell due. Two years earlier the Allen brothers of the Amalgamated Estates Limited bought the freehold of Earls Terrace and the square garden intending to pull down the terrace and build on the site of the houses and garden square. Opinion had generally held at this time that despite the various provisions of the 1819 Act and their reinforcement by the Kensington Improvement Act of 1851 the freeholders of the garden and terrace still held the right to develop on reversion of the tenancies. As a result the Trustees had ceased to maintain the gardens after 1908 and instead had accumulated funds for the payment of expected claims for dilapidations. Just such a claim came from the Allen brothers in 1920 for £200. Counsel opinion sought by the sub-committee considered that there was no liability and so the case went to Court. Here the decision went in favour of the committee and it was considered that Article LI of the 1851 Act upheld Article XXXVI of the 1819 Act in giving the committee the right to look after the square garden on behalf of residents regardless of the fact that the latter did not hold the freehold. This meant that the garden committee preserved the use of the square for residents and effectively prevented the square from being redeveloped. Legal proceedings took the following course:

26 July 1910 – found for the committee  
7 November 1910 to appeal – dismissed with costs

22 January 1912 appeal to the House of Lords – dismissed with costs

*A huge party was held in the square to celebrate this victory with a massive bonfire, fireworks, bands and fairy lights.*

*In January 1914 another proposal to redevelop Earls Terrace intended to build two blocks of flats on the site and alter the road in front and behind. The garden committee again took advice and made representations to the Borough Council where they found support with Alderman Sir Aston Webb, the distinguished architect, who opposed the scheme and as a result nothing came of the proposal.*

## The High Street

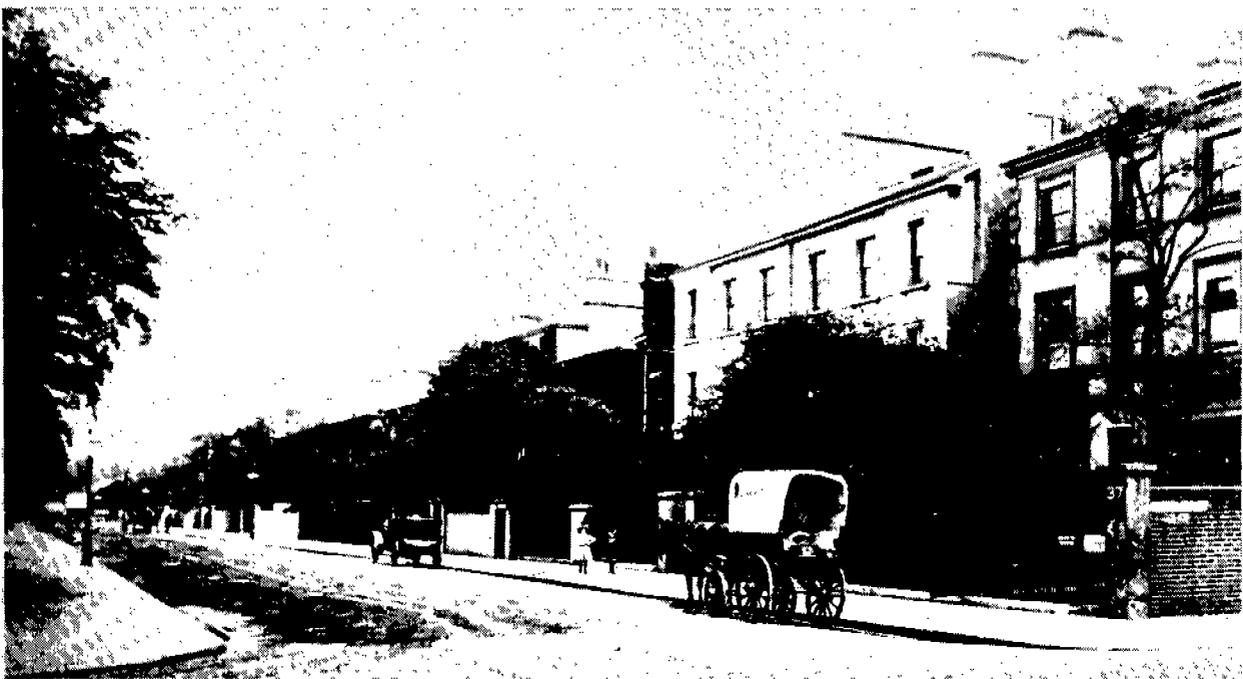
The building of Iverna Gardens may have caused the redevelopment of the High Street terraces between Wrights Lane and Adam and Eve Mews around 1897. The terraces belonged to the ebullient cheesemonger Jubal Webb who was known at the time for his ingenious advertising campaigns. (He was also the last remaining shopowner to sell up for the Barkers site.) The site had previously been Somerset Terrace and The Terrace, the latter of which was an uneven terrace of large dwelling houses, one of which (number 7) had been occupied around 1824 by Sir David Wilkie RA. Bath Terrace and Newland Terrace, between Adam and Eve Mews and Allen Street were redeveloped in a different, possibly later, style and it is uncertain when this took place although the building on the western corner with the Mews dates from 1922 (Nos.165-195)

The Edwardian enthusiasm for redevelopment was thankfully thwarted at Earls Terrace and Edwardes Square in a legal test case (detailed below). Elsewhere mansion blocks and shopping frontages replaced the notable terraces of Upper Phillimore Terrace on the north side of the High Street, but it was incidental redevelopment and stray wartime bombs which most radically changed the southern side of the High Street. Leonard Place was demolished in 1923 and replaced with the Odeon Cinema 1924 and a short shopping frontage which was also called Leonard Place early on. Newland Place, west of Abingdon Road, stood until the war claimed it as a casualty, together with the Star and Garter Public House which had stood on the corner of Earls Court Road since the 1850's. Since this time only minor developments, such as, the modern houses in Adam and Eve Mews, have altered the fabric of the area.

## The 'French Invasion' Rumour

*Louis Leon Changeur had been building in England for some years when he proposed Edwardes Square. This square was named after William Edwardes, first Lord Kensington of 1776, father of the freehold owner of 1811 and who had previously disposed of the family estates north of the main highway, including Holland Park House and grounds sold to the Rt. Hon. Henry Holland in 1767.*

*Confusion over Changeur's name led to a long running rumour that the square had been intended to house officers of Napoleon's victorious invading army. This started when in June 1811 an employee of Kensington Turnpike reported that Changeur had stopped up a watercourse, but gave the name not of Changeur but of a Frenchman who had gained some infamy at the time for obtaining secret information on the plans of the English army in the war with France. An investigating committee not only discovered Changeur's correct name but that the land on which he had stopped up the watercourse was leased to him and was not the property of the Turnpike. However, the name confusion led to the belief that the square was built in expectation of a French victory in the war. Changeur was unable to finish the scheme he had started since he was made bankrupt for some £10,000 only fifteen months after he had started work.*



Pembroke Road C.1900

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## DEMOGRAPHY

### POPULATION AND HOUSING

#### Total Population

Map 1 shows the population of enumeration districts covering the conservation area in 1971 and 1981 (N.B. 3 enumeration districts have had to be merged to form a compatible area).

It can be seen that many enumeration districts here suffered a marked decline in population, almost half in some cases. Total population is the only information so far available from the 1981 census, so it is not yet possible to provide explanations for this. Conversion of houses into flats may be one factor, as may the growth in holiday lettings.

Statistics from the 1971 census were assembled for the area shown on Map 3, being the best approximation to the Conservation Area. The population of this area was 4743 including 97 in institutions, the remainder comprising 1952 households. The (estimated) population of same area in 1981 was 3270, in 1961 — 5110. The population decline 1961-71 was rather slower than the Borough average, from 1971-81 rather faster.

#### Population Characteristics

In many respects the area is representative of the Borough. The following table shows those characteristics of it which differ substantially from the Borough mean in 1971.

These figures tell a clear story. Residents of the area are better housed, better educated and have better jobs, more cars and larger families than the average. Fewer of them are immigrants.

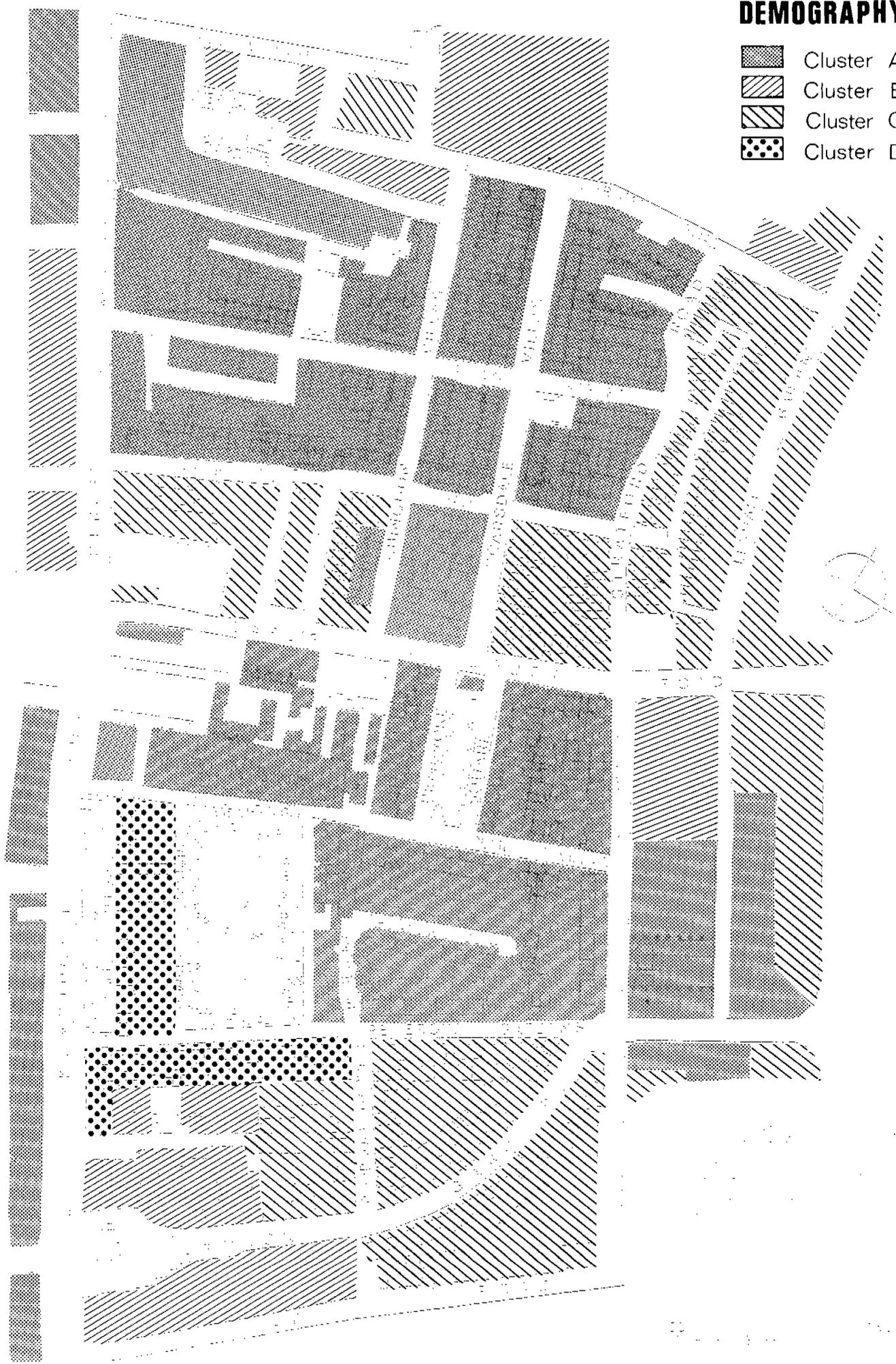
The figures are all percentages

	Conservation Area	Borough
Population born in UK	69.0	65.3
in Eire	2.7	5.0
in New Commonwealth	4.7	7.1
Population with higher education	19.0	13.5
households in owner occupation	25.9	16.1
rent from Council	0.3	7.8
with exclusive use of amenities	81.5	63.4
with over 1½ persons/room	2.8	8.4
car owning	50.7	33.8
one person	34.6	42.5
5+ persons	10.2	7.3
with 1/2 rooms	27.8	44.7
with 6 or more rooms	34.1	13.2
lone parent families	3.6	6.6
Economically active population:		
professional/managerial	30.5	21.6
manual	5.1	14.7

In order to explore differences between different parts of the area a technique known as cluster analysis was employed. Briefly, this consists of determining which census variables are best at describing the enumeration districts within an area and then grouping these enumeration districts according to how 'close' they are in terms of these variables. In this case, in order to show how the Conservation Area relates to its immediate neighbourhood, surrounding enumeration districts were also included in the analysis. In all, 38 enumeration districts were grouped into 4 clusters, using 1971 census data. Enumeration districts within each cluster are similar in terms of their demographic characteristics and clearly differentiated from enumeration districts in other clusters.

# DEMOGRAPHY

-  Cluster A
-  Cluster B
-  Cluster C
-  Cluster D



The results are shown on Map 2. The clusters have been labelled A, B, C and D, although in fact cluster D comprises a single enumeration district whose anomalous characteristics single it out from all the others. This enumeration district consists of Earls Terrace and the west side of Edwardes Square, plus a few properties in Kensington High Street.

The salient characteristics of each of the clusters are as follows:

**Cluster A** this is a family type of area, with high owner occupation and few people living on their own. Housing standards are high. The bulk of the Conservation Area is of this type and the Map shows clearly how it relates to similar areas to the north of Kensington High Street. (Relatively few threats to the architectural character of this kind of area would be expected.)

**Cluster B** there are more old people and few owner occupiers in this type of area. Such areas are scattered around the fringes of the Conservation Area and include several mansion blocks.

**Cluster C** areas in this cluster have a high proportion of young adults, few professional/ managerial workers and many households lacking exclusive use of amenities. These are areas of bedsitters and flat sharing and the map shows them to be found south of the Conservation Area, towards Earls Court. Within it, they are found between Earls Court Road and Abingdon Road and around Stratford Road and Warwick Gardens. (These areas are likely to present problems from the point of view of conservation as the residents are less affluent, more transient and tend not to own their homes.)

**Cluster D** consisting of one enumeration district as mentioned, contains a large proportion of residents born abroad, few young adults, a very stable population, a very high proportion of sharing households, possibly in non self-contained flats and many professionals and managerials.

### Housing Density

Map 3 shows housing density in the area 1971, measured by numbers of habitable rooms (living rooms and bedrooms) per acre of residential land. The Borough average for comparison, is 270 habitable rooms per acre. Much of the Conservation Area has density near or below the Borough average, rising to very high density in the north-east.

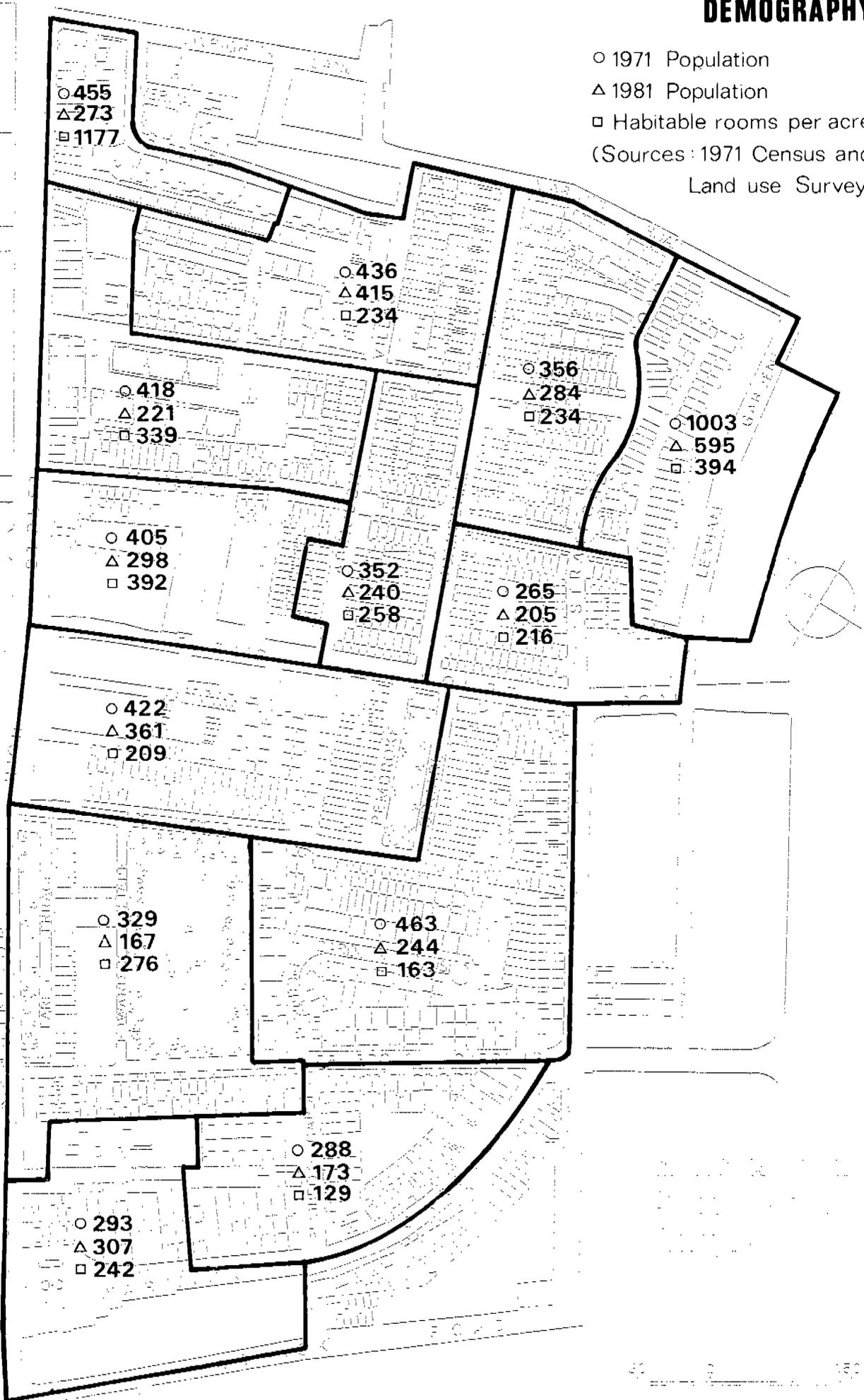
**The Council's policy is to resist extensions to housing** which would further increase the density of areas already having high density. New housing construction would tend to be at lower densities than existing, although exceptions might be made on townscape grounds. (District Plan 5.6.4-5).

Most of the Conservation Area between Edwardes Square and Allen Street/Adam and Eve Mews enjoys good accessibility to facilities such as public transport, shops, schools and public open space and reasonably low densities. In such areas **the Council wish to see a proportion of family sized dwellings** when housing is built or converted, where such property has access to a private or communal garden. (District Plan 5.9.9ff).



# DEMOGRAPHY

○ 1971 Population  
 △ 1981 Population  
 □ Habitable rooms per acre  
 (Sources: 1971 Census and Land use Survey)





## Introduction

The conservation area is bounded by a number of major roads that carry the majority of long distance through traffic. Warwick Gardens and Pembroke Road are part of the southbound Earls Court one-way system, which is designated as a major secondary road in the Council's District Plan. Kensington High Street, an important east-west route is designated a secondary road, whilst Marloes Road and Wrights Lane, which carry a significant number of north-south movements, are district roads. The Earls Court Road, a secondary road, divides the area approximately in half along a north-south axis and provides a link between Kensington High Street, West Cromwell Road and Earls Court.

The Council in co-operation with the GLC has been instrumental in achieving a night time ban (9 p.m. to 6 a.m.) on goods vehicles over 3 tons unladen weight on the Earls Court one-way system, which has resulted in a substantial reduction of heavy vehicles passing through this residential area at night. The Council continues to press for better enforcement of the ban and for the extension of its times of operation.

Such measures are only palliatives however, and the Council is very much in favour of the principle of a relief road for the Earls Court one-way system (necessarily with a link to Wandsworth Bridge and preferably with a new river crossing built at the same time which would provide traffic relief for Cheyne Walk and Chelsea Embankment) because of the benefits which would be gained by residents living along the one-way system.

The GLC have abandoned their proposals for such a roads and have been informed that the Council of the Royal Borough strongly oppose this deletion from their programme.

## Traffic Management

The remaining roads in the area are designated local roads and are subject to a number of environmental traffic management measures which operate within the framework of the more important road system outlined above. The western part of the area is covered

# MOVEMENT

by a scheme designated to prevent large vehicles and through traffic using Edwardes Square. Observations made by the Council confirm that the scheme achieves its objective and that the few large vehicles using the area are usually servicing local properties. In the east, Abingdon Road is one-way southbound for its central section, a measure aimed at reducing the impact of through traffic. At junctions on Scarsdale Villas, special measures to improve safety have been implemented by the Council.

The GLC as highway authority for the Earls Court one-way system, are considering a scheme to relieve the southbound section of the route, north of Cromwell Road, by returning part of Warwick Road to two-way working. The Royal Borough supports in principle such a scheme, since it would enhance the residential amenity of many dwellings.

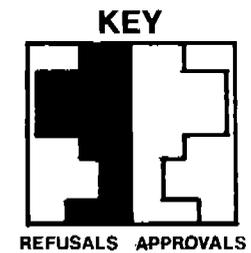
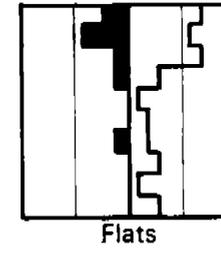
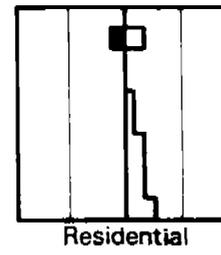
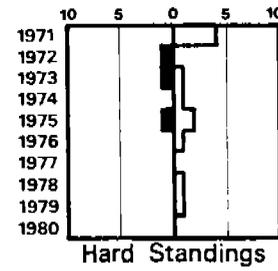
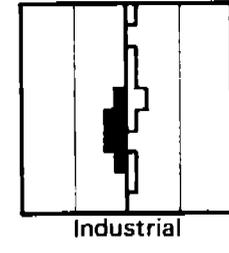
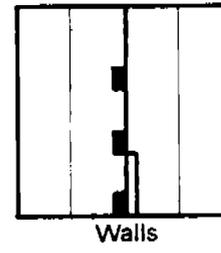
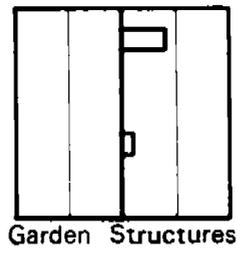
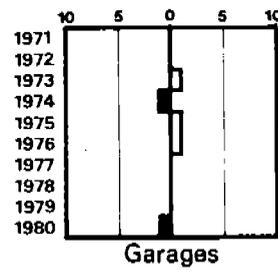
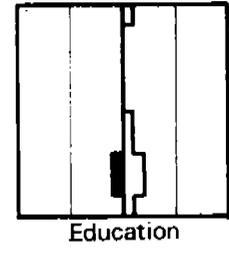
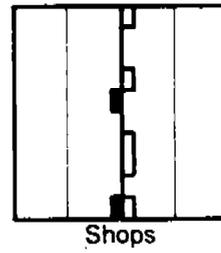
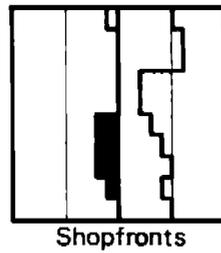
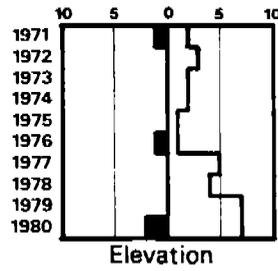
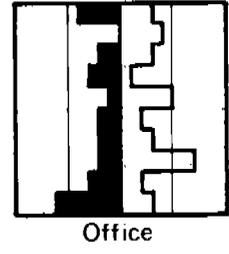
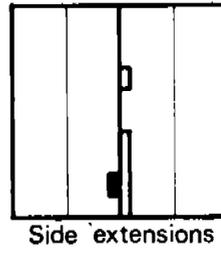
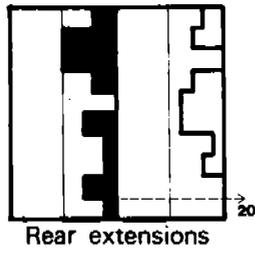
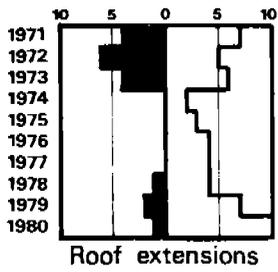
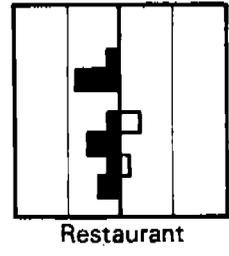
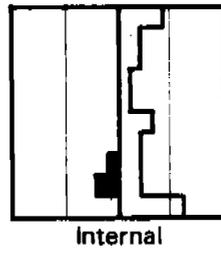
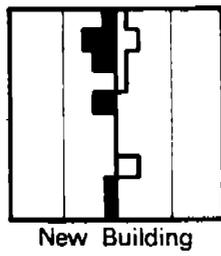
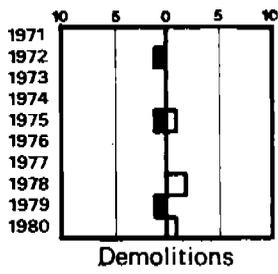
## On Street Parking

(see page 56 for references to forecourt parking).

The area is covered by a controlled parking scheme. The permitted on-street parking during controlled hours consists of some 630 residents places, 100 short and 58 medium term meters. Short term meters have a maximum stay of two hours and medium four hours. Parking charges vary according to location and the charges are subject to review by the GLC. A high charge zone covers the area adjacent to Kensington High Street shopping centre, medium charge to the south-east of the area and low charge to the west.

The majority of parking problems result from illegal parking. The responsibility for the enforcement of parking regulations lies with the Metropolitan Police and Traffic Warden Service, both of whom are under the control of the Home Office. The level of enforcement is currently extremely low and this results in the system being largely incapable of protecting the interest of the Royal Borough's residents. The Council is currently bringing pressure in an attempt to improve the situation. The Council takes direct action against pavement parking and has done so in the case of a number of offenders in the conservation area, under the Highways Act, 1835, which is the most relevant existing legislation.

# CHART OF PLANNING APPLICATIONS 1971-1980





## DEVELOPMENT

### DEVELOPMENT PRESSURE

#### Introduction

Changes in the conservation area over the last ten years have been due to small developments only, that of Shaftesbury Mews being a little before the ten year period considered below. The only entirely new developments have been in Earls Walk and Adam and Eve Mews. Even minor changes, however, can ruin an area especially where they involve removal of original features such as window glazing bars, cornices, brackets and other decorative features.

In the 1960s many elevational changes were made to Radley and Lexham Mews when they were converted to residential use and, sadly, architectural fashion superimposed its taste on the formerly existing fabric. Thankfully recent development in the area has been more sympathetic as the value of conservation is more widely realised. Despite this the most damaging feature of recent development in the area has been the removal of front boundary walls and the replacement of front gardens with parking spaces. Much of this environmental vandalism is outside planning controls (see pages 28, 56)

#### Planning Applications

The tables are self-explanatory. The records of applications over the last ten years were examined and all applications categorised under nineteen headings. (These do not correspond to official use classes or development classes). For the purposes of the table, dormers requiring planning permission were classified as roof extensions and conservatories as rear extensions.

Many 'changes of use' are for a limited period and may be renewed, so a single change of use may accumulate a

number of planning permissions. Many new developments follow two or three alternative applications in a short space of time, of which only one proposal will be built, although they may cover a large development affecting several properties (a single application in Earls Court Road covered three rear extensions a year before another group application covered three hardstanding spaces). Some significant developments did not require specific planning permission and hence do not appear on the diagrams. Particular examples of this are the hardstandings and crossovers in Abingdon Villas of around 1978 and in Scarsdale Villas around 1975: other examples are numerous extensions and alterations to Scarsdale Villas in the period 1972-75, all of which were 'permitted development' (see 'legal requirements of development' section, page 28). The forecourt parking spaces in Allen Street were mostly formed around 1969.

#### The Tables

These are intended as a guide to development pressures in the Edwardes Square, Scarsdale and Abingdon area. It is interesting to note the overall fall in the number of applications in 1974-6 when a number of residents may well have been considering moving (during that boom in prosperity) rather than extend their homes.

The column on the right of the chart shows the high refusal rate for demolition, garages, garden walls, restaurants, offices and industrial uses. In certain categories this is to be expected in a conservation area. One might expect the highest refusal rate from applications to demolish. The fact that it is not suggests that those applications submitted were carefully considered and may have been of non-original extensions or unsafe structures only. The high refusal rate for new buildings (completely new self-contained structures) is to be

expected and refers in the main to two sites at Adam and Eve Mews and Earls Walk, which were built after modification of the refused applications.

There are very few garage applications and no fair conclusion can be made; a similar situation occurs in the garden walls category since half those applications applied to one site in Pembroke Road.

Whilst small local light industrial uses are welcome in some mews, warehousing (which falls into the same category for the purposes of the chart) is not. Some of the 'industrial' refusals refer to warehousing, others refer to car repair businesses (some of which conduct business in a way which is likely to be unneighbourly); while others refer to unsuitable locations for industry. Since mews premises are usually less than 235m<sup>2</sup>, changes of use from light industrial to general storage or vice versa may be permitted development (see page 28 ).

Nearly all restaurant applications refer to Abingdon Road and Marloes Road. The high refusal rate reflects the Council's general concern that non-retail uses should find appropriate accommodation, harming neither shopping streets nor residential amenity.

The relatively high rate of refusals for offices is not surprising since the Conservation Area is close to, but outside, the two large office centres around Kensington and Earls Court underground stations. A study of applications showed that the majority of approved applications were over shops in Kensington High Street and Earls Court Road, and that in purely residential areas there was a high refusal rate.

### Location of Development

The chart shows only a very general analysis, it is, however, interesting to see in which streets any one type of development has a high or low refusal rate.

**New Building:** Adam and Eve Mews had six approvals and two refusals resulting in new buildings now completing the western mews. There were three refusals in Pembroke Square for houses backing on to Earls Walk: an approval resulted from an appeal.

**Roof Extensions:** Adam and Eve Mews had thirteen approvals and one refusal with Radley Mews close behind with seven approvals, and one refusal (between them one third of the applications for the category) suggesting that converting Mews into family houses led to a search for space. However, only the western part of Adam and Eve Mews was in the conservation area prior to the 1981 extension and that only since 1974.

**Rear Extensions:** By far the largest category. The high level in Edwardes Square (fifteen approvals two refusals) and Pembroke Square (fourteen approvals, three refusals) would suggest that if extension is to be allowed

anywhere on a listed building, this is the most appropriate direction. Those in Edwardes Square were largely termed 'conservatories' which may indicate they were not needed for living accommodation. The extensions in Abingdon Road (ten approvals, three refusals) were connected mostly to the subdivision of the houses into flats or two dwellings (basement flat) and it is possible that the large number in Stratford Road (eleven approvals, two refusals) were for the same reason.

**Internal Modifications:** The listed buildings (requiring listed building consent) of Pembroke Square (seven approvals, one refusal) and Edwardes Square (five approvals) naturally had most applications, Allen Street (four approvals, one refusal) after 1978 suggests a reorganisation of a subdivision into flats or conversion back into single family dwellings.

**Elevational Changes:** Edwardes Square (six approvals) and Pembroke Square (six approvals, one refusal) were again largely due to requiring 'listed building consent' for otherwise 'permitted development' (see page 29 ). The same number (six approvals) in Adam and Eve Mews leads one to suspect that conversion to residential use of this mews has probably led to more losses of the original style than its continued industrial/service uses (considering roof extension figures and that the Mews had the greatest number of changes of use to residential with six approvals).

**Shopfronts:** The lead of Kensington High Street (thirty-two approvals, four refusals) is unsurprising and shows the search for the 'edge' in advertising commented on in the shopfronts advisory guidelines appendix.

**Garden Structures:** Insignificant figures are surprising only in that the developments were large enough to require planning permission.

**Flats:** Subdivision of a house into two or more dwellings appears to result in extensions. Abingdon Road (seven approvals), Abingdon Villas (four approvals, four refusals) and Stratford Road (six approvals) also featured highly in the extension categories.

**Restaurants:** The absence of further suitable accommodation for restaurants is shown by the refusal rate in Abingdon Road (one approval, eight refusals).

**Offices:** Applications for office use were widespread and can lead to multi-use of commercial buildings. Kensington High Street had nine approvals and two refusals whilst Abingdon Road (four approvals, five refusals) is less suitable. A trend to convert mews to offices (Adam and Eve Mews, six approvals, two refusals\*) is regrettable since it leads to the edging out of residential or industrial uses.

\* the east side of Adam and Eve Mews was not in the conservation area at this time.

## Appeals

versus refusal of planning permission August 1972 for extra storey Abingdon Court for nine flats. **Appeal dismissed.**

versus refusal of planning permission October 1971 for adaptation to three flats on three floors and three bedsitting rooms in the basement in Abingdon Villas. **Appeal dismissed.**

versus refusal of planning permission August 1980 for roof terrace. **Appeal dismissed.**

versus refusal of planning permission November 1974 for first floor rear extension. **Appeal dismissed.**

versus refusal of planning permission September 1975 for a hardstanding for parking: three houses in Earls Court Road. **Appeal allowed.**

versus refusal of planning permission September 1977 to fell a thorn tree in Edwardes Square. **Appeal dismissed.**

versus refusal of planning permission December 1973 for use as offices Marloes Road. **Appeal allowed.**

versus enforcement notice September 1974 for use as restaurant in Marloes Road. **Appeal allowed.**

versus refusal of planning permission September 1978 to allow retention of shopfront Kensington High Street. **Appeal allowed.**

versus refusal of planning permission for shopfront December 1977 Kensington High Street. **Appeal allowed.**

versus refusal of planning permission May 1977 for two metre high wall Pembroke Road. **Appeal dismissed.**

versus refusal of planning permission July 1980 two metre high wall Pembroke road. **Appeal allowed.**

versus refusal of planning permission May 1973 to build mews studio at rear of Pembroke Square with access to Earls Walk. **Appeal allowed.**

versus refusal of planning permission April 1979 for rear extension Scarsdale Villas. **Appeal allowed.**

versus enforcement notice September 1979 against use of garage for car repairs Warwick Gardens. **Appeal dismissed.**

15 appeals.  
7 dismissed.  
8 allowed.

	granted	refused	TOTAL	%refused
1971	44	15	59	25
1972	41	21	62	33
1973	40	16	56	28
1974	23	12	35	34
1975	26	7	33	21
1976	28	11	39	28
1977	35	12	47	25
1978	47	10	57	17
1979	41	17	58	29
1980	65	14	79	17

## REFUSAL RATE

	granted	refused	TOTAL	%refused
<b>MAJOR DEVELOPMENTS</b>				
Demolitions	4	3	7	43
New Building	7	10	17	59
<b>SMALL WORKS</b>				
Internal	25	3	28	11
Roof extension	55	18	73	25
Rear extension	91	23	114	20
Side extension	5	1	6	17
Elevation	34	4	38	11
Shopfronts	42	8	50	16
<b>GARDEN DEVELOPMENTS</b>				
Garages	3	2	5	40
Garden Structure	5	0	5	0
Walls	3	3	6	50
Hard Standing	11	3	14	21
<b>CHANGES OF USE</b>				
Residential	13	1	14	7
Flats	35	9	44	20
Shops	5	2	7	29
Restaurant	3	12	15	80
Office	33	25	58	43
Education	8	2	10	20
Industrial	8	6	14	43
<b>TOTAL</b>	<b>390</b>	<b>135</b>	<b>525</b>	<b>26</b>

## APPLICATION TYPES

## LEGAL REQUIREMENTS OF DEVELOPMENT

### Introduction

The legal position regarding development and demolition in the conservation area is summarised below. The summary applies to all buildings whether or not listed, but excludes certain special cases, notably control of advertisements and development by various statutory bodies. The complete legislation is more involved and readers should refer to Circulars 23/77 and 12/81\* produced by the Department of the Environment or enquire at the Planning Information Office at the Town Hall.

### Development needing permission



*In order to control development in the public interest, the law provides that planning permission is required (s.23(1) of the 1971 Town and Country Planning Act)\* for all "development". This is defined as "the carrying out of building, engineering or other operations in, on or over land, or the making of any material change in the use of any buildings or other land" (s.22(1)).*

*Specially excluded are (amongst others) works affecting only the interior of a building (although these may need listed building consent if the building is listed), or those which do not materially affect the external appearance of a building (e.g. routine maintenance). Also excluded is the use of any buildings or land attached to a dwelling house for any normal domestic purpose (s.22(2)(d)).*

*Apart from these specific exclusions, therefore, all development requires permission. This can be given in two ways; either by the Council in response to a specific application, or by the Secretary of State through the mechanism of "permitted development".*

### Permitted Development

*Under the General Development Orders 1977-1981 (article 3)\*, certain classes of development are deemed to be granted permission — for which there is therefore no need for any application to be made to the Council. The two classes most relevant to this conservation area as designated at 1st April, 1981 are as follows:*

*Class 1: (which applies to single family dwelling houses only):*

*1. The enlargement, improvement or other alteration of a single family dwelling house, provided that:*

*(a) the volume of the house is not increased by more than one tenth or 50 cubic metres (1750 cu.ft.), whichever is greater; up to a maximum of 115 cu.m. (41360 cu.ft.); and*

*(b) The highest part of the roof is not exceeded; and*

*(c) no part of the new work comes closer to the street than the front of the house did before the alteration; and*

*(d) no part of the extension within 2 m. of the site boundary is more than 4 m. in height; and*

*(e) the new work covers less than half of the total garden.*

*2. The erection of a porch, provided it is less than 2 sq.m. in area and 3 m. in height, and more than 2 m. from the back of the pavement.*

*3. The erection of a building in the garden (other than a house, garage more than 5 m. away from the house, stable, etc.), required for normal domestic purposes, provided no part of it is closer to a road than the house, is not more than 3 m. high (4 m. if it has a ridged roof), and does not lead to more than half of the area of the property not occupied by the original house being covered in buildings.*

*4. The construction of a hardstanding for vehicles.*

*5. The erection of an oil storage tank, not more than 3 m. high and containing not more than 3500 litres, provided it does not project in front of the house.*

*Class II (which applies to all buildings):*

*1. The erection of gates, fences, walls, etc., not more than 2 m. high — or 1 m. high fronting a highway.*

*2. The forming of a means of access to the street in connection with other "permitted development", except to classified roads.*

*3. The painting of the exterior of a building other than for advertisement;*

*It should be noted that these "permitted development" rights can be taken away by conditions on previous planning permissions (article 3(2)). Also, "listed building consent" as opposed to planning permission, would normally be required for these types of development where the building is listed. Outside the conservation area less restrictive rules in respect of extensions apply.*

### Article 4 Directions

*Under Article 4 of the General Development Order, the Council can repeal certain or all "permitted development rights", where it feels that even such relatively minor development would seriously harm the appearance of an area, subject to the agreement of the Secretary of State.*

*A small number of properties including Alma and Inkerman Terraces and some houses in Scarsdale Villas are covered by Article 4 Directions (see Appendix page A11 ).*

*Article 4 Directions enable the Council to exercise control by being able to decide whether or not to grant permission for these types of development.*

### **Demolition**

*Under s.227A of the 1971 Act, listed building consent is required for the demolition, in whole or in part, of all buildings in any Conservation Area. However, by virtue of the Secretary of State's Direction at para.71 of Circular 23/77, consent is not required for the demolition of any building whose volume does not exceed 115 cu.m. or any part of such building; nor for the demolition of any building (or part) if to erect it would be permitted development under Class I or II (amongst others) of the General Development Orders (see above) – e.g. a small extension at the rear of a single family dwelling house, or a garden wall of under 2 m. high separating any properties.*

*Perhaps surprisingly, an Article 4 Direction, taking away the automatic permission for certain types of development as certain properties, does not imply that consent for corresponding types of demolition is now required – the Circular 23/77 exemptions from the need to obtain listed building consent for demolition apply whether or not a Direction has been made. The Council has drawn the attention of the Department of the Environment to the unfortunate effect of this, but they were not sympathetic – feeling that local authority resources should not be used in such detailed control.*

### **Compensation**

*Compensation may be payable in certain cases by the Council if planning permission is refused, and the refusal is upheld at appeal, for a proposal involving an increase to a building of up to one tenth of its original floorspace existing at 1.7.1948 (or, in the case of a single family dwelling house, 50 cu.m. if greater), under s.169 of the 1971 Act.*

### **Important Building Groups**

Just as buildings in a conservation area are in general both more important and subject to more protection than those outside it, so within the Area some are of more value than others.

“Listed buildings” are those recognised by the Secretary of State as being “of special architectural or historic interest”, and are listed in an appendix. It is known that others in the conservation area are being recommended, for inclusion in the list.

Special rules govern the partial demolition of ecclesiastical buildings in use for ecclesiastical purposes and unique procedures may apply to churches of the Church of England. Normal development control procedures apply to them all, however.



The maintenance and active use of listed buildings will be strongly encouraged. Original interiors of quality should be preserved, especially those of buildings listed grades I and II\*



(D P Ch.4 Para. 3.4)  
*Listed buildings and anything in their grounds are subject to special protection and procedure. Listed Building Consent is required, whether or not they are in a conservation area, to demolish them, or any part of them, or to carry out any work affecting their character (including their interior), or their setting, even where such work might not be “development” requiring planning permission.*

*The Council also has statutory powers under ss.101† and 114/5 of the 1971 Act, and under s.27 of the Public Health Act 1961 as applied by the Corporation Act 1972, to ensure that listed buildings are preserved in good order, although in practice this only extends to repairs sufficient to keep the structure standing and to exclude the wind and the rain.*

The Historic building Division of the Greater London Council has the responsibility of recommending additions to the list. Local residents suggestions for consideration include: 59 South Edwardes Square; the Scarsdale Public House; The Princess Victoria Public House; Pembroke Studios and 32 Pembroke Gardens. Lists of buildings of local interest appear on page A11. The map on page A6 shows those buildings which the Council considers of most local interest in this conservation area (see District Plan: paragraph 4.9 Chapter 4)

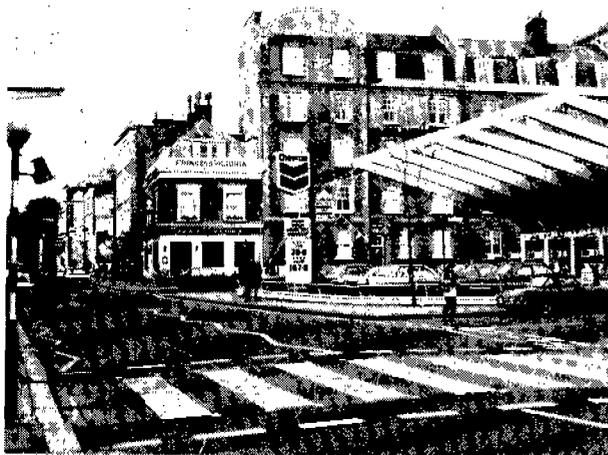
Some buildings appear in lists compiled before 1970 as Grade III, which is no longer used. Many of these buildings are however considered of special interest by current standards and are being added to the statutory lists as these are revised. They are not subject to extra statutory protection, although all the normal requirements of conservation area legislation will of course apply to them (as to all buildings, listed or not, in any conservation area.)

† as substituted by the Town and Country Amenities Act, 1974.

\*Circulars and Acts can be obtained from Her Majesty's Stationery Office, retail counter 49, High Holborn W.C.1. (01-928 6977)

Full references:

Department of the Environment Circular 23/77  
Department of the Environment Circular 12/81  
Town and County Planning Act 1971  
Public Health Act 1961  
Kensington and Chelsea Corporation Act 1972  
Town and Country Planning General Development Orders 1977 to 1981



## USE POLICY

The policies and advice in this chapter are largely concerned with the changes in the use of buildings (e.g. houses to flats or industry to offices). Other aspects of development in the conservation area are equally concerned with the character and townscape of the area. It is more appropriate therefore that policies relating to specific developments (hardstandings, extensions, listed buildings, etc.) should appear in the Townscape and Enhancement sections which deal with physical aspects of the area.

The District Plan deals comprehensively with the location of commercial users. Particular attention is here brought to those policies dealing with the compatibility of certain users and conservation where they have particular significance in this area. The conservation area is close to important shopping and office centres and there is constant pressure on traditional uses and the residential nature of the area.

There are a number of sites beyond the conservation area boundary where new development can be expected in the next decade. These include sites on the eastern side of Earls Court Road at its junctions with Cromwell Road and Kensington High Street. In examining planning applications for those developments the Council will wish to be assured that the buildings proposed, by virtue of their bulk, height, design, use or traffic generation, cause no harm to the character or appearance of the conservation area. A planning brief has been adopted for the site at the junction of Earls Court Road and Kensington High Street.

Policies in quotation marks are from the District Plan, and of general application in the Royal Borough; the others are amplifications of the Plan which are specific to this conservation area.

## Flats

In addition to the purpose built flats above shops, and in mansion blocks, some of the major terraces and rooms over shops in the Edwardes Square, Scarsdale and Abingdon Conservation Area have been converted into flats.



**'The Council normally welcomes proposals to convert property into flats if there is no conflict with other policies in the Plan, but applications to sub-divide smaller houses suitable for continued use as single family dwellings will normally be refused.'**

(para 12.13: Chapter 5)

Sub-division of houses into bedsitting rooms has often been accompanied by a general deterioration of the external appearance of a house. However, flats and single family dwellings are normally inseparable in appearance. It follows that the policy



**'All newly constructed dwellings and family dwellings provided in conversions shall be self-contained. Smaller dwellings provided in conversions shall be self-contained where possible.'**

(para 12.17 Chapter 5)

is consistent with aims of external improvement.

The short term occupancy of some of the flats in the area is inclined to exacerbate the problem of poor repair. Longer term lessees tend to be tied to repairing leases or at least are more inclined to pressurise landlords into painting and repairing properties. Self-contained flats tend to have longer term leases and as a conservation policy longer term residents and the improvement of properties internally should be pursued.

Past conversion of houses into flats led to undesirable further developments and extensions.



**'There are some larger houses which, although suitable for use as single family dwellings may, in the alternative, be capable of conversion into two maisonettes. In these cases the Council will expect planning applications for conversions to contain at least one family sized unit in each conversion.'**

The preferred mix will be for a larger family unit and smaller unit suitable for one to three persons. Many houses in Abingdon Road, Scarsdale Villas and Abingdon Villas have such an existing arrangement, although any trend to convert back to single family dwellings will be encouraged. The demography chapter has identified these and the surrounding streets as particularly suitable for family dwellings (see page 21 ).

## Industrial Use



**'The Council will ensure that all industrial development in residential areas is light industrial in character as set out in the Town and Country Planning (Use Classes) Order 1972.'**

(para. 5.3 Ch. 12)

Most of the existing industrial uses in mews are considered neighbourly to those parts in residential use, but enforcement proceedings have been taken to control or restrict uses which damage the amenity of the area.

In the Edwardes Square, Scarsdale and Abingdon area, industry and commerce co-exist happily with residential uses in all the mews and Pembroke Mews in particular. A major feature of original mews are the large double coach house doors on strap hinges. These are sadly often sacrificed for large windows when residential or office uses are introduced. Industrial and the original garage users are often able to keep this desirable feature and will be encouraged to do so rather than install a shop-front.



**Although mews offer attractive accommodation for office uses no change of use from light industrial will normally be allowed.**



**'The Council will normally give favourable consideration to the requirements of industry in the Borough when applying its office policy. Where industrial premises require ancillary office floorspace, and it can be shown that this supports the functioning of the industrial activity, the Council will normally permit it. However, the Council will normally refuse permission for office floorspace which leads to a loss of industry.'**

(para. 5.10 Chapter 13)

## Offices

The Edwardes Square, Scarsdale and Abingdon area is close to Royal Borough preferred office locations at Earls Court and High Street Kensington Underground Stations. However, the office location policy states:



**'In particular they should not intrude into established residential areas, change the character of a conservation area or lead to a loss of housing or retail floorspace.'**

(para. 3.2 Chapter 13)

There are very rare occasions where exceptions may at

some future time be allowed in conservation areas to conform with the policy in the District Plan that 'otherwise non-conforming uses' may be allowed if a genuine advantage to buildings of historical or architectural interest or other buildings in conservation areas can be proved (in line with policies in Chapter 13 District Plan) or the preservation of such buildings depends upon it or where an exception is justified to accommodate local firms. There are at present no apparent 'problem' buildings in this conservation area where such an exception would be justified.

Offices in the conservation area are mainly above existing commercial premises in the High Street, and in Earls Court Road where it is considered inappropriate. Once office use is established, changes in physical appearance of the buildings normally follow. Curtains are no longer seen, fluorescent lighting appears and frequently, as in Marloes and Earls Court Roads, increased demand for parking spaces causes unfortunate front garden hardstandings.



**The spread of office uses in Earls Court Road and into residential areas in general and the Mews in particular will be discouraged and no further loss of residential or retail floorspace will normally be allowed.**

It is important that incremental changes in Earls Court Road be controlled to retain and increase residential use in the future.

## Studios

A particular feature of this area are the studios which contribute to the character of its townscape. There are some non-residential commercial studios and also various residential studios, including the following:

Alma Studios  
Stratford Avenue  
Pembroke Studios  
Scarsdale Studios  
Pembroke Walk  
South Edwardes Square  
St. Mary Abbots Place

Studios are outside the use classes and therefore any other use is a change of use and requires planning permission.



**It will be the intention of the Council, on receipt of any planning applications for change of use, to retain the same physical appearance of the buildings. Photographic, craft and fine art users will be equally appropriate. Any change of studios to exclusive residential or general office use will be vigorously resisted.**

## Restaurants



**'In considering applications for new restaurants, cafes, sandwich bars, wine bars and public houses, the Council will need to be satisfied that the provision of additional catering establishments will be of benefit to an area and in no way detract from its existing character and function. To this end, the Council will take into account any likely reduction in the area's character and amenity by way of increased levels of noise and refuse, traffic congestion and parking problems resulting from additional catering establishments and any potential loss of retail or residential floorspace. Uses of this kind should, therefore, generally be located in, or adjacent to, the Borough's shopping centres or areas where tourist activity is concentrated.'**

**(para.5.11: Chapter 14)**

There are therefore no locations in the conservation area which will be suitable for restaurant uses.

## Shops

Shopping centres inevitably attract uses other than shops, such as restaurants, banks, estate agents, saunas, etc.

These uses would not be acceptable in residential areas, but they can also bring problems in shopping centres. Often they can afford higher rents and their clustering weakens the retail character of a shopping centre. It is important to avoid the displacement of convenience shops (which are food and other local shops serving the day-to-day needs of residents) or the introduction of 'dead' frontages often associated with such uses.



**'The Council will, in principal shopping centres, seek to keep a concentration of shops at the core of each centre.'**

**(para.5.3: Chapter 14)**



**'In local shopping centres, .....the Council will prevent the displacement of retail shopping uses by non-retail uses by normally refusing a change of use from retail trade, if this will reduce the retail service to local people or disrupt the shopping frontage. However, the Council recognises the services that some office uses can provide and will accept their location in certain parts of shopping centres, provided the use will, in the Council's opinion, be beneficial to residents and other users of the shopping centre and where there is not already a concentration of non-retail uses.'**

**(para.5.4: Chapter 14)**

## Listed Buildings

There are a number of listed buildings (see below and A6 ) in the Conservation Area for which the following Council policies will apply.



**'There will be a general presumption against the demolition of listed buildings in whole or in part, or the removal or modification of features of architectural importance.'**

**(para.3.2: Chapter 4)**



**'There will be a presumption against the demolition of a building in a conservation area or any material alteration to a listed building or its setting.'**

**(para.7.1: Chapter 4)**



**'The Council expects the owners of buildings of special architectural or historic interest and other buildings of townscape importance or group value in Conservation Areas to take steps to ensure that they are preserved in good order and it will continue to use its statutory powers to ensure this. It is essential that features of architectural importance such as cornices, porticos and chimney stacks be retained and restored wherever possible. Original interiors are also of considerable importance.'**

**(para.3.19: Chapter 4)**

## Listed Buildings

(see also map)

### Grade II

Kensington Congregational Chapel, Allen Street.  
84-86 Earls Court Road (Hansom Cab Public House).  
Earls Terrace 1-25 consecutive and lodges.  
Edwardes Place 1-5 consecutive.  
Edwardes Square 1-23 consecutive: 25-48 consecutive.  
The Temple in gardens.  
Iverna Gardens St. Sarkis Church.  
Pembroke Square 1-20 consecutive: 24-32; 32A.  
33, 33A: 34-49 consecutive.



## TOWNSCAPE

### Mews, Studios and Small Scale Streets

#### INTRODUCTION

The small scale of back streets contrasts pleasantly with the major terraces. The interesting and individual studios off Stratford Road and the three mews share an introspective nature although the studios' complex cloistered arrangement and roofscape seek to bring daylight to their interiors whilst the mews (which also turn their backs to surrounding terraces) cater more simply for their functional uses.

#### MEWS

Adam and Eve Mews still has many of the original and interesting double garage doors and first floor hayloft doors. The brick cornice is unusually decorative and it will be the policy of the Royal Borough to retain this feature in any future modifications. The contrasting treatment of the short residential western mews and the longer commercial main mews show that the original style is happily and readily adapted to both uses. Although commercial uses may not always pursue the highest maintenance levels, the buildings have an ideal location, depth and layout for small business premises. There is no evidence that commercial uses need compromise the original character of mews any more than purely residential uses do. Kensington Patent Lanterns in the Western Mews look well, but being 'square' pattern are sadly unlikely to be further repairable if damaged.

The joint Lexham and Radley Mews has suffered a considerably worse fate from conversions than Adam and Eve Mews. Many properties have been joined together to form workshops, sales premises or offices. There are very

few original mews doors and the absence of strong continuous features such as a brick cornice of the kind in Adam and Eve Mews emphasises the loss of these attractive features. Any proposals to reinstate hinged mews doors, upper storey glazing bars, brickwork detailing or similar uniform features will be welcomed.

The introspective Pembroke Mews with its two storey living accommodation over ground floor workshops retains many original features and whilst not in superb condition is a most attractive enclave. The mews has proved to be a very suitable location for small local industry, therefore the trend toward office uses apparent in other parts of the conservation area will be discouraged here.

Shaftesbury Mews is an attractive entirely residential mews of large four storey houses built on the site of a previous mews which had a similar layout. This unusual space had originally been a livery stables in the 19th century. Although not of a scale normally associated with mews, the modern buildings have a mews style with double ground floor garages (a modern version of the 19th century carriage houses and stables) and an intimate air of enclosure in the central space.

#### STUDIOS

(Pembroke Studios

Stratford Avenue: Scarsdale Studios: Alma Studios)

The studios of the area are fascinating not only for their townscape value but for the range of occupants they hold. As a townscape feature they are so introspective as to be easily missed by casual visitors to the area. The mews have an industrious functionalism whilst the studios have an almost indulgent decorative style. Pembroke Studios stands alone appearing like a group of 19th century almshouses around its central court.



### SMALL SCALE STREETS

(Blithfield Street: Pembroke Walk: Earls Walk: Pembroke Place)

Blithfield Street was built on the site of an old bowling green; the short cul-de-sac is one of the few places where varied paint colours are welcome. It is most attractive in sunshine with the old Kensington Patent lamps and street planting in bloom.

Pembroke Walk has a mixture of building types, some of which date, as do those in Pembroke Square, from around 1825. The narrow street, attractive older houses and closed eastern end contrast pleasantly with the open ended Earls Walk with its motley collection of new buildings, views of Earls Court Road and the unattractive new police building. Bracket mounted Kensington Patent Lanterns here suffer regular and tragic damage from passing vehicles.

Pembroke Place combines the attractiveness of the frontages of Blithfield Street with the interesting spaces more characteristic of the studios. Its narrow entrance gives it a seclusion which disguises its proximity to the Earls Court Road. The older and very lovely houses on the north, south and west sides are adequately matched by the new eastern terrace. The overlap of the east and west terraces leave gaps at the corners adding interest to the central space. Particularly welcome here are the traditional 'square' Kensington Patent Lanterns.



### EARLY TERRACES

The early terraces with the exception of 32-38 and 43-49 Abingdon Road are set piece compositions. The simplicity of their detailing is balanced by their careful proportion and despite the frugally detailed facades the collective compositions have a dignified air. This same simplicity also draws attention to the layout of the terraces, which are often set forward at the centre and ends to create a refined impression, as at Earls Terrace, Edwardes Square and Pembroke Square.

#### Earls Terrace

This is the earliest, largest and in many ways grandest terrace, built in London stock bricks with a stuccoed ground floor. Steps lead up from the private, gated roadway to arched doorways, the casement first floor windows lead on to balconies and the four storeys with basements and the tremendous length of the terrace all contribute to its impressive facade.

Recent refurbishment starting at the eastern end has left the upper storey brickwork unmellowed but has left the previously uncertain structural condition much improved.

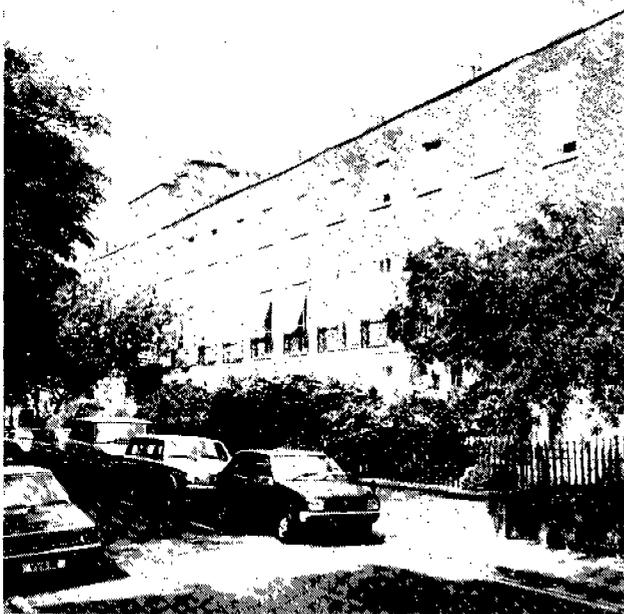
The railings, similar to those in Edwardes Square, have recently been repainted. Whilst painting the pineapple kingposts white is not something normally to be recommended it does emphasise their richness when freshly painted.

## Edwardes Square

Originally bounded on the south side by mews and stabling, the square now has the unusual arrangement of two (east and west) terraces facing across a large well planted garden square. On the south side is a group of styles contrasting with the older terraces.

On the north side Earls Terrace is, in the summertime, but a shadowy block through the mass of trees in the gardens. The large scale of the square and relatively low height of the east and west terraces combined with the well planted central garden and Earls Terrace gardens make this square look considerably larger than it is. (Its visual scale matches, for instance, Onslow Square whose larger houses are matched by a proportionately larger garden). The square having survived so many threats of redevelopment in its history, it would be a tragedy if its scale was affected by any increased height in the terraces or new development on the south side. Planting in the private garden frontages is also very pleasing, except where front hedges are allowed to obscure one of the notable features of the square — the railings. Although the central garden railings are post-war they admirably match the original smaller and delicate private garden railings. In particular, the pineapple kingposts of both are very fine.

Railings, like many of the architectural decorative features of the Georgian and Victorian periods derive much of their effect from their continuity and repetitiveness. It is fortunate, therefore, that there are no missing railings in this square. The lightweight rails of the private frontages are particularly delicate and the half-height dog rails are often ignored although beautifully cast. It would be sad if the uniformity of their black paint were spoiled or if they were obscured by any other feature of this garden frontage.



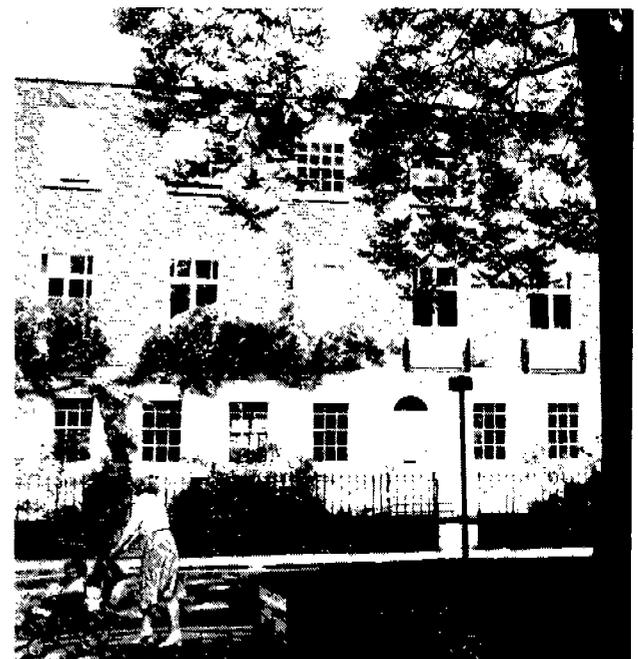
There are a variety of sash and casement windows, particularly at first floor level. The original glazing pattern with edging strip can be seen on many of the casements, of the second floor windows the eight pane sash leaf is probably original as it keeps a more rectangular pane shape. The non-functional louvred shutters were an unfortunate addition to some houses, illustrating a particular disregard for original style also seen in some, although not all, of the non-original glazing patterns. Repointing in light mortar has given the west side in particular a freckled appearance and re-building at some date at numbers 31/32 has left a variety of brick colours, although this is possibly more noticeable due to some unoriginal glazing.

It is pleasant to see the cast fanlight tracery over some doors in the square (comments on doors in the enhancement chapter, page 58 should be particularly noted here). Some fine door furniture and the balconette rails are also notable.

Some television aerials on both terraces detract from the even roofline.

Of incidental interest are the fine listed garden lodge (the Temple) which has an old water pump attached to it and opposite it number 61 looks as though it may be the remnant of the previous mews tucked, as it is, into an unusual space.

The link between the squares is a pleasant short road appropriately changing style in its short length with Pembroke Cottages, the Scarsdale Public House and number 21 Pembroke Square being detached buildings in gardens.



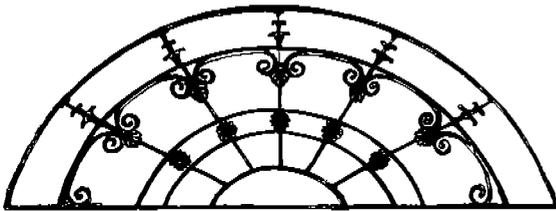


## Pembroke Square

### Pembroke Square

Principally differing from Edwardes Square in having two terraces without front gardens, a most noticeable feature on these terraces is the surprising variety of railing kingposts although keeping to a single railing head. The second impression of the square is of its more intimate scale. The central garden is once more well stocked with planting, much of it in the Russells Garden Centre from whence colour and scent emanate in the summer. The general excellence of the gardens is sadly spoiled by the use of chicken wire around its west end, surrounding the peculiar (presumably 1920/30s) sunken garden.

The western terrace of the square has private garden areas and these are largely well kept, and in sympathy with the clean simplicity of the terrace. Two houses have basement garages necessitating hard surfaced drives. It is however good to see that these two houses have kept the important continuity of the railing on this terrace by installing railing gates. There are a number of roof extensions on the north and south terraces. Whilst these add nothing to the style of the property they cannot easily be seen across the square in the summer months due to the trees: on the western terrace they would have been disastrous, a long view of this terrace being available from several viewpoints both in the squares and Pembroke Villas.



The very lovely original cast fanlights reappear in this square and some interesting glazing patterns on the sash windows lead one to suspect there were two original patterns, a bordered and ordinary three-pane pattern. Most of the casement and bow windows must be later additions. The peculiar late-Victorian additional details of numbers 17 and 19 in fact date from the 1930s but their removal after all this time would require a complex and costly reinstatement and recolouring of the covered brickwork.

Chapter 7 of the District Plan emphasises the special value of garden squares in the Royal Borough, the majority of which are subject to the London Squares Preservation Act 1931, as are these two. From time to time, parking in or under garden squares is suggested, which the Council will resist.



In exercising its functions under the 1931 Act, the Council will ensure that the main purpose of the squares, "an ornamental garden, pleasure ground, or ground for play, rest or recreation" is safeguarded. The emphasis will be on trees, grass and planting. The Council will not permit surface car parking in garden squares. There will also be a presumption against the construction of car parks beneath garden squares, as this can affect their quietness and special character and very often trees of amenity value will be lost or put at risk.

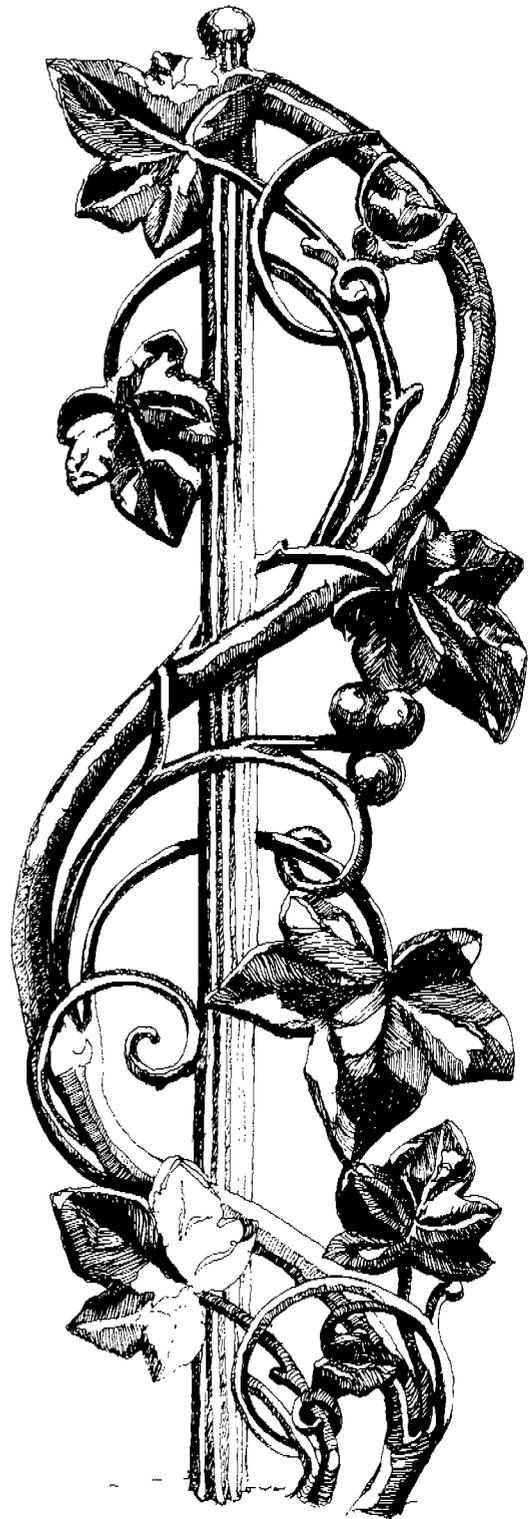
(para. 4.1: Chapter 7 )

### Other Terraces

There are three early terraces in Abingdon Road, two of which have great quality.

43-51 is a fine stock brick three storey terrace whose bow windows at the first floor are level with the street. The steps to the sunken front doors were once accompanied by beautiful vine leaf balusters now sadly only remaining on number 51. The parapet line of this group hints at an imminent need for structural repairs. Opposite, a terrace, remarkable for its uniform (presumably original) doors, stands behind short gardens. This group of four houses is of a scale unlike the rest of this road. The two terraces contrast with their more brash Victorian neighbours whose poor repair is the more evident for the remarkable condition of these two.

The third terrace exists largely behind the shopping parade at number 9-25 odd. This early terrace must once have been very attractive, only No.9 remains as a tantalising hint of what once stood on the site before the building of the shopfronts in 1880.



51 Abingdon Road



*Summingdale Gardens*

### THE LATE TERRACES

The majority of those terraces which form the grid of streets in the south east corner of the area have similar architectural styles. These mid-to-late Victorian houses commonly have three storeys and basement; a number of steps over basement wells lead up to doors set in pilasters topped by pediments. Bay windows at ground level have cast pot rails, many of which still exist, and first floor sash windows are all heavily architraved although the top floor windows vary from terrace to terrace. These houses are commonly fronted by gardens with low walls capped by balustrades or railings, although few of the originals still exist.

### The Stock Brick Terraces

Abingdon Road and parts of both Abingdon Villas (45-63) and Stratford Road have terraces with banded rustication on the ground floor, unrendered stock brick at first and second floor levels, topped by a cornice running the length of the terrace. Most first floor windows are two pane sashes with heavily decorated architraves, although those in Abingdon Road and Stratford Road have segmental arched sashes. All the houses of this style have small segmental arched second floor sashes with simple arched architraves supported on brackets, some of which have interesting demivisage mouldings on the keystone: those in Stratford Road and

Abingdon Road also being supported on a band cornice. The parapet of all these terraces is stuccoed, but sadly the decorative cornice is missing in many places. In the few instances where the original cornice and front wall treatment may be seen one may glimpse a reflection of the clean formality which these terraces once had. The terraces of Sunningdale Gardens are one of the most accomplished examples of this style, having a selection of the many interesting decorative features still in good repair.

### The all-Stucco Terraces

The late terraces of Scarsdale Villas, the East end of Abingdon Villas and Shaftesbury Villas on the west side of Allen Street differ little in overall style. The casement bay windows of the ground floors are reflected at first floor level by venetian sashes, repeated at second floor level in Scarsdale Villas. The fully stuccoed facade has as its centrepiece the segmental pediment supported on scroll brackets capping the venetian window. Once again parapet cornices are missing in Scarsdale Villas – a sadly frequent loss in this conservation area. But for the front walls now demolished for car parking, Shaftesbury Villas terrace, Allen Street is original and most handsome although perhaps a little over-decorated for modern taste.

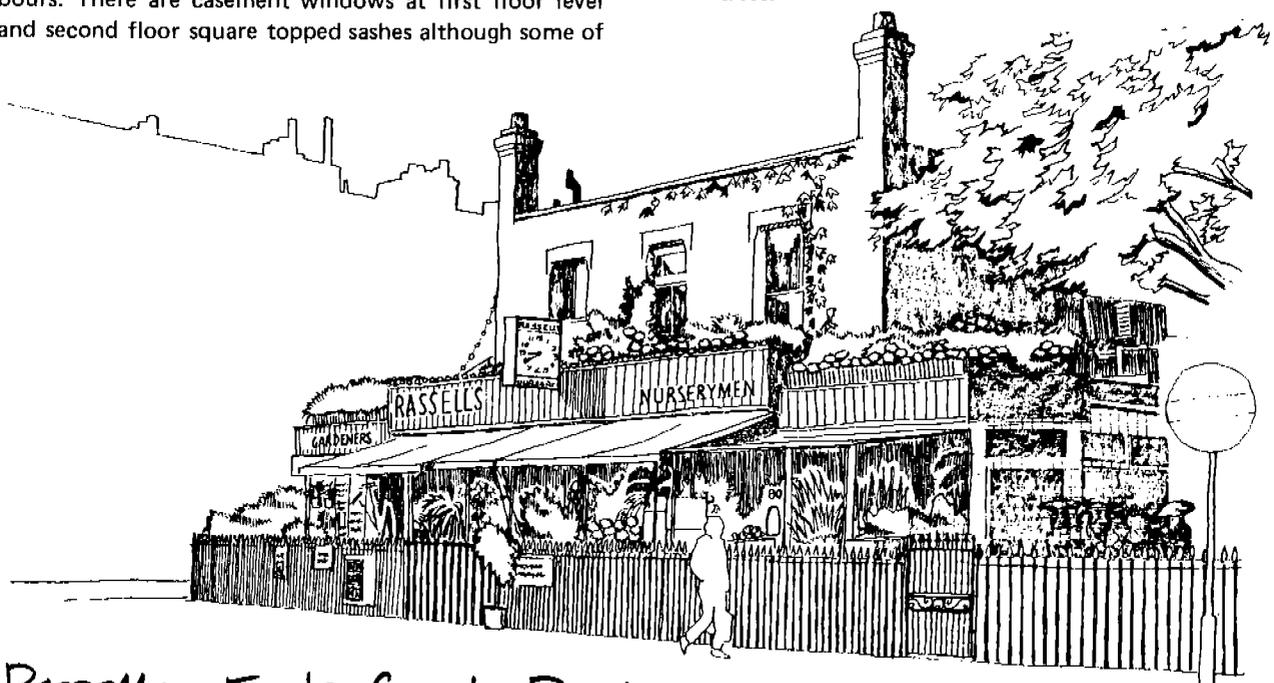
### Inkerman Terrace

At the south east end of Allen Street there is a fully stuccoed terrace of a classical style and minimal decoration. The ends, and centre of the terrace are stepped forward from the building – a frequently used technique of earlier periods to give emphasis to the unity of the terrace and add a little formality. The terrace does, however, retain the later style bay window of its neighbours. There are casement windows at first floor level and second floor square topped sashes although some of

the first floor windows are now pivoted in modern fashion. The doors are reached by a short flight of steps and are recessed. The whole terrace is in very good condition and attractively, uniformly decorated, and could only be further improved by some uniform front wall treatment. The stock brick Alma Terrace opposite conform with the style prevalent on other neighbouring terraces. At its corner with Stratford Road, however, are some interesting cast iron remnants of a basement area rail.

### Villas

A terrace similar in many details to Inkerman Terrace, albeit a little smaller stands on the south side, east end of Abingdon Villas. These are two-storey buildings (with dormer second floor and basements) with doors set in minimal architraves reached by short flights of steps over basement wells and separated by prominent bay windows. Upper storey windows have restrained architraves. Sadly the parapet is broken to allow light to some dormers in the mansard roof. Car parking on the forecourts – normally to be abhorred – is here alleviated somewhat by the spacing of trees to define the parking area. Of interest in this terrace are the paired doors and break at first floor level every fourth house, almost earning the 'Villas' tag of the road name. True 'Villa' style houses are to be found on the north side, east end of Scarsdale Villas in a group of nine paired houses. This is a fascinating and diverse group of houses all having some feature of glazing, stucco detail or cast ironwork to catch the eye, capping this singularly attractive street. The long and impressive view down to Pembroke Square is emphasised by the progressively smaller scale terraces culminating in Rassells in the Earls Court Road, which in summer often sports a strongly coloured blind contrasting to its background of mature trees.



RASSSELLS Earls Court Road



Pembroke Gardens

### Pembroke Gardens

Pembroke Gardens has all the ebullience of the late Victorian period without the brashness of some of its contemporaries. The heavy railings and intricate balustrades are complemented by the brilliance of the stucco and the strong detailing at first floor level is offset by the simple arches at second floor level. The restoration of the houses in the north-south street is welcomed.

### Pembroke Villas

Pembroke Villas is a varied collection of styles. The three storey villas which give their name to Pembroke Villas indicate the intended grandeur leading northwards to Pembroke Square. They promised much with their ground floor stucco and prominent porticos, the massive nine-pane sashes of ground and first floors and their first floor balcony. Some indecision on the part of the builders has led to one house having a single porticoed entrance, the other having two side doors, (presumably) being two houses. It is unfortunate in townscape terms that the villa style was not continued for the road.

### Allen Street North East, Phillimore Terrace

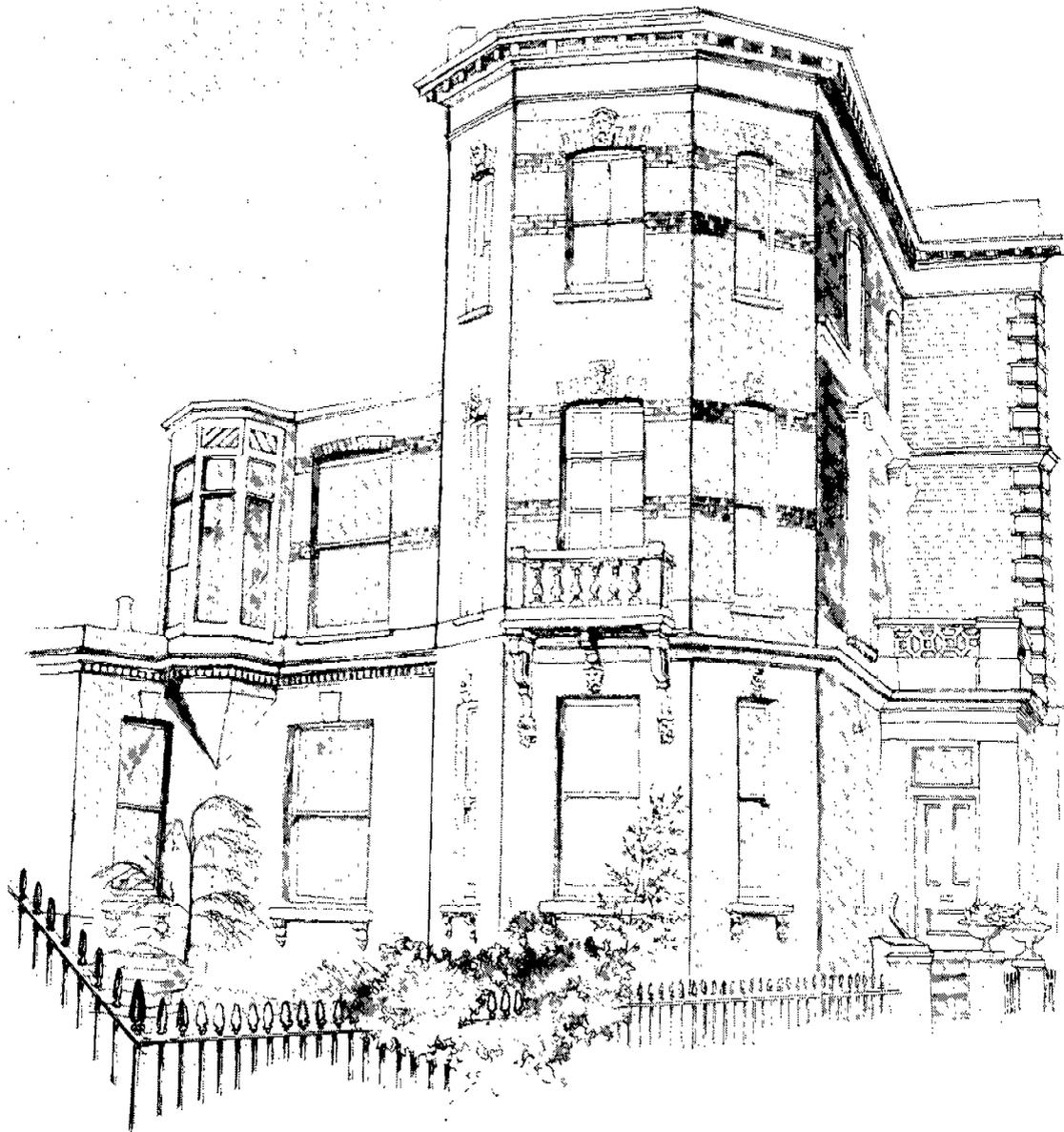
This terrace must once have looked impressive with its paved porches high above the street approached by paths and several steps. The proportions of the northern properties with their parapet walls and third floor windows are better than those to the south with pitched roofs and dormers. A lack of colour co-ordination allied to the front garden excavations for parking has devalued the quality of the terrace.

### Marloes Road

Unique in the conservation area is the Marloes Road terrace, a cranked terrace with simply detailed facade and a fore and aft pitched roof. This graceful three storey plus basement terrace runs northward from Stratford Road to Scarsdale Villas. The main feature is the beautiful cast balustrade to the balcony which extends the length of the building and lends a touch of formality as well as unity to the facade. Beneath the balcony, front doors between simple columns are reached by a short flight of steps from generous front gardens. The latter are now used for parking and very few traces of the original front wall remain, except at the northern end of the terrace. Large casement windows open on to the balcony and are surrounded by simple architraves as are the second floor sash windows. A cornice under the eaves has largely lost its decorative dentils and whilst these are a welcome decoration their loss is not that noticeable. The party parapet walls and chimneys of the roof become a major architectural feature on pitched roof houses, especially where the roof is pitched fore and aft. It is sad to see the loss of individual chimney pots, but good to see the retention of roof slates as opposed to tiles. The restrained shop-fronts here do not intrude unduly and, large though some of the sheets of glass are, the balcony dominates them and avoids any harm to the proportions of the elevation. Indeed, the shops' retention of garden forecourts are greatly preferable to their office user neighbours who have converted forecourts to parking areas. The guilloche ornamental string course between first and second floor windows is also complete, reinforcing the value of the balcony: and the front edge of the balcony slab is moulded, which is very important to its elegance.



Marloes Road



48 Stratford Road

#### ECCENTRICITIES

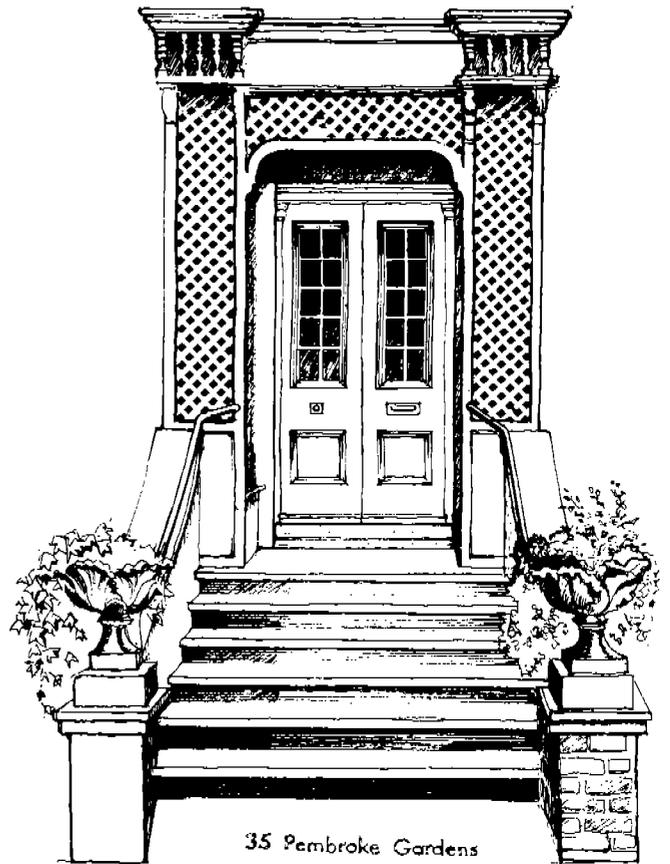
There are a number of individual houses which do not conform to the classical style of most of the rest of the area. Foremost amongst these are the peculiar Dutch gabled Swiss-shuttered houses at the junction of Pembroke Gardens and Warwick Gardens. These three pairs are an unusual mix of styles having Victorian double hung sashes, Italianate doorways and casement dormers.

Although in style with other houses in Stratford Road, Number 48 has an unusual plan form and delightful multi-faceted elevations. At one time known as The White House, it occupied the corner site at the junction of two field boundaries. A narrow house when originally built, the house was extended when the bordering estate including Lexham Gardens and Mews were built and more land became available. The delightful octagonal tower is presumably an Edwardian addition.

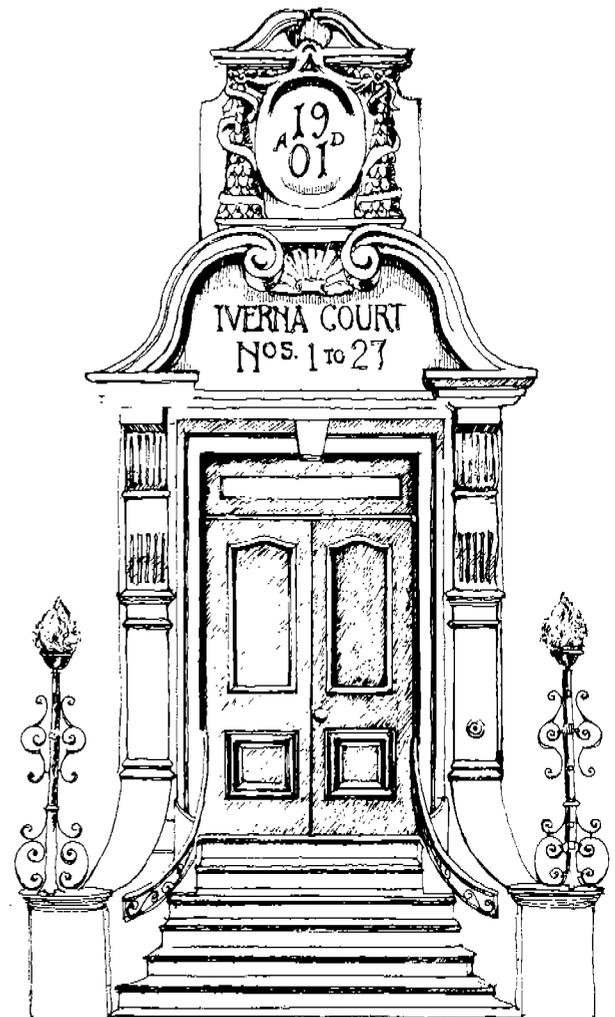
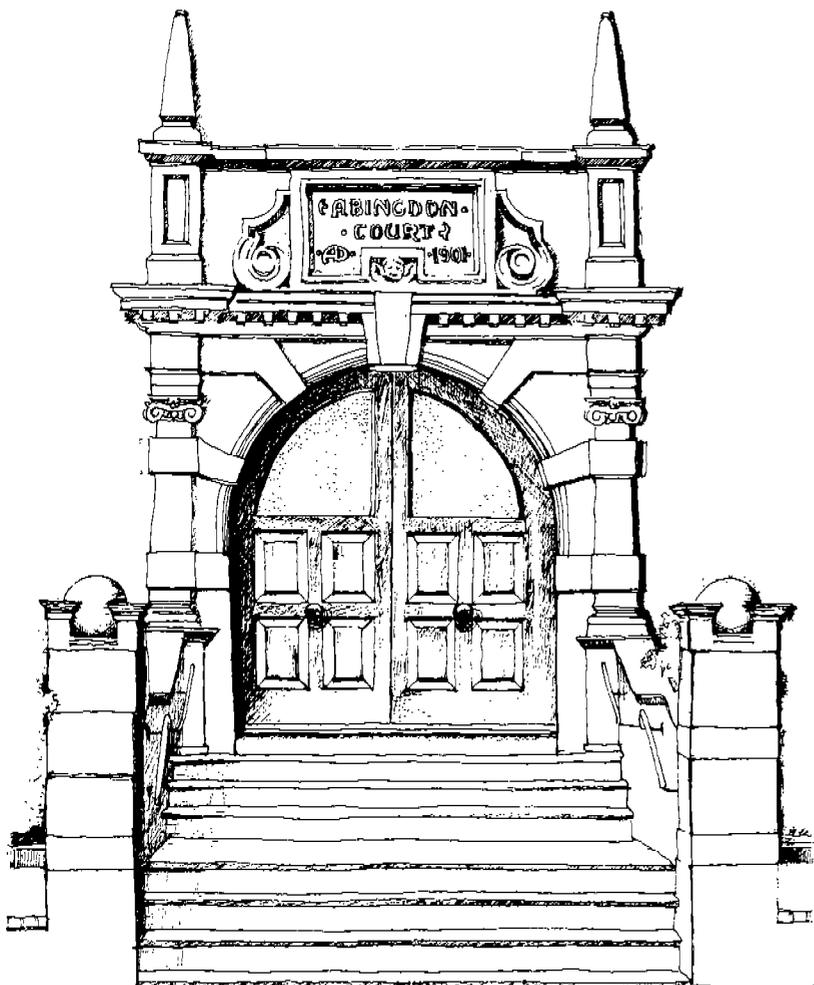
## EDWARDIAN

The Edwardian styles of the north east corner of the area are quite different from the remainder and in Iverna Gardens has created soaring facades accentuated by the vertical lines of tall windows, and decorated by the subsidiary horizontal elements of stone. The straight north-south terrace shows more delicacy in its treatment than the others. The facades which might otherwise be somewhat heavy in such a narrow street are broken by the Dutch gables, balustrading and balconies. The south end especially has some pleasantly curved balustrades on the balconies, although these disappear to the north, perhaps indicating some necessity for cost cutting. The brick and stone window arches at the ground floor also add interest, as do the rather heavy stone doorways relieved by the rich panelled and glazed doors.

The refined late Victorian and Edwardian blocks of Abingdon Court (1900) and Abingdon Gardens (1904) have a greater air of solidity and by comparison their later neighbours in Iverna Gardens look almost frivolous. The characteristic square drain pipes, balustrades at roof level, entrance door treatment, corner windows, bevelled glazing and treatment of the retaining wall are in the best traditions of purpose built mansion blocks of the period.



35 Pembroke Gardens





### THE STREET SCENE



**The Council itself will also contribute to improving the environment when finances permit by paying attention to such matters as paving, lamp-posts, trees, railings, signs and other street furniture.**

Resources permitting, priority will be given to ..... the identification of and proposals for areas where the paving or the design and siting of street furniture are particularly important to the environmental character.

(District Plan: Chapter 4)

### Footway and Road Surfaces

Throughout the Royal Borough the need to provide hardwearing and economic road surfaces has tended to dictate the use of standardised materials. The Council recognises however that the surfaces of carriageways and footways are major elements in the appearance of a Conservation Area, and so replacement and maintenance policies seek a balance between economy, safety and engineering standards and visual amenity.

Footways in residential areas are usually surfaced with precast concrete paving slabs, sometimes with localised areas of mastic asphalt or in-situ concrete where vehicular damage is a problem, for example each corner of the central pavement in Iverna Court. Where mastic asphalt has been extensively used due to repeated damage from vehicles mounting the footway in Pembroke Place a scatter of white spar chippings have been rolled in to enliven an otherwise uninteresting surface. This material is not as attractive visually to some people as the texture of a slab or block surface, but it has been necessarily used as a means of providing a safe walking surface at a more reasonable cost than say interlocking blocks which would be a functionally acceptable alternative.

When first paved most of the area's footways were covered with York stone slabs of various sizes, from the small ones next to the garden in Pembroke Square (compromised by an area of concrete at the south-western end) to the very large ones on the private footpath adjoining the north-west entrance to Edwardes Square. Slabs of the sizes now on the east and west sides of the Square were more general. These three examples are important to the Conservation Area, as is the little private footpath fronting Edwardes Terrace. It is unfortunate that due to vehicles mounting them the footways on the south side of Edwardes Square have had to be surfaced with concrete and mastic asphalt, and for the same reason a concrete footway has been laid fronting the Scarsdale public house even though it is particularly unsympathetic to the character of that building. The relatively recent private road at Pembroke Gardens Close has York Stone footpaths with neatly executed cross-overs also in York Stone. For reasons of cost and safety, however, concrete or asphalt is generally used for these on the public streets, and adjoining the dropped kerbs which the Council is committed to providing during routine maintenance where appropriate to improve pedestrian crossing points for those with prams or in wheelchairs.

Unusually there is a portion of footway covered with old clay tiles (outside 2 St. Mary Abbotts Place) and, somewhat experimentally, one of new interlocking concrete blocks just outside the conservation area (fronting 9a-9g Logan Place and paid for by the developer of those houses). The latter may prove resistant to vehicles - and perhaps offer a visually preferable alternative to asphalt although their cost will prevent any widespread use.

The carriageways are generally surfaced either with bituminous macadam or hot rolled asphalt, though again some examples remain of an older paving material, namely granite setts. Radley, Lexham, Adam and Eve, and Pembroke Mews are almost entirely paved with these, emphasising their attractive contrast with the larger streets. Arguably setts reduce traffic speeds by creating vibration and noises, which is very desirable in mewsways.

From the visual amenity view point, the setts in Pembroke Mews are probably the least important of the four mewsways, if any have to be lost, but if resources to lay more ever become available, Earls Walk and Pembroke Walk would be greatly enhanced by their use.

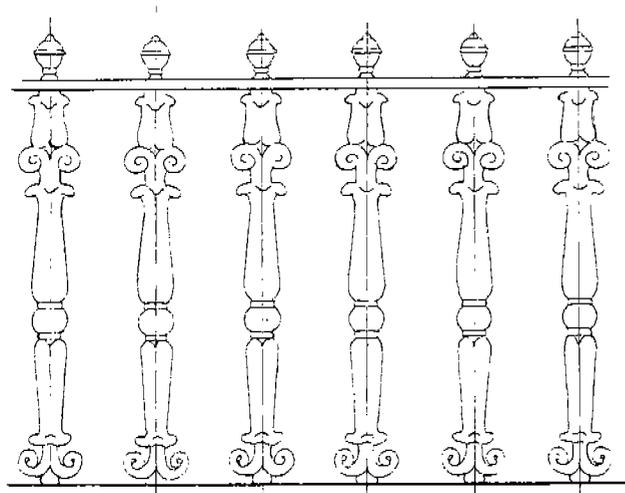


**The Council will endeavour to retain good examples of traditional paving materials, and in particular the setts in Adam and Eve, Lexham, Radley and Pembroke Mews as well as area of York Stone paving in Edwardes Square and adjoining the garden in Pembroke Square.**



### Miscellaneous

Coal-hole covers, such particular features of some Conservation Areas, only appear at a few places in this one. A concentration of some twenty covers adjoins Wynnstay Gardens, and there are several in Pembroke Square. They all add visual interest to the footpaths, and while the Council is obliged to offer the service of removing them on request, it is to be hoped that property owners will consider other ways of curing whatever damp penetration problems they may have, resulting from pierced covers or leaking rims which allow water to seep into under pavement vaults. Old covers can be rebudded in the footway surface over blocked-in openings, and replacement unpierced coal-hole covers can be purchased from stocks held by the Director of Engineering and Works Services at the Council's Central Depot.

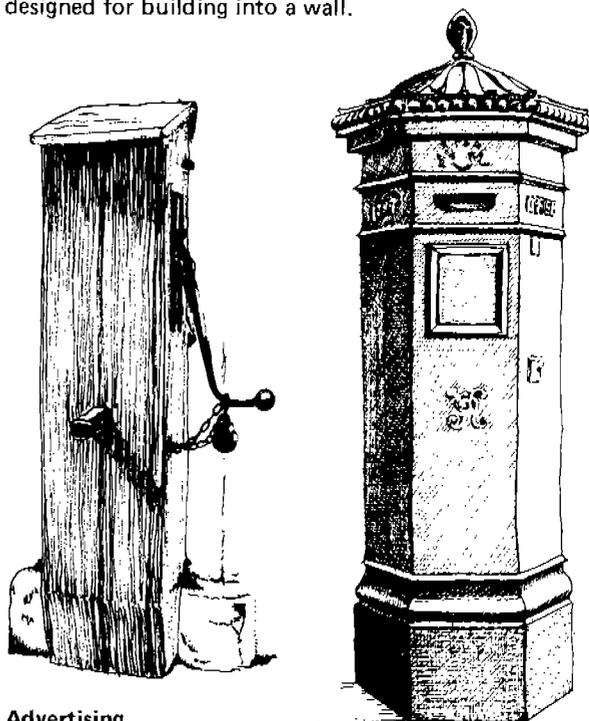


The railings which separate the footway from the carriageway at the north-west entrance to Edwardes Square are unusual in that they do not enclose anything — in fact they are a pedestrian barrier of considerably more charm than our own generation's equivalent! The Garden Committee have recently had these beautifully restored with the help of a Council grant.

One place where new railings would make a contribution out of proportion to their cost is along the southern entrance to Adam and Eve Mews, where the chainlink fence alongside the listed Church building does not achieve the same impact as railings would.

There are some benches at wide or quiet footpaths in the area (e.g. on South of Iverna Court, where pleasant planting by a Garden Committee in an unenclosed area under the trees makes an attractive amenity, and at north of Warwick Gardens) — there may be other suitable sites for consideration in response to residents' proposals.

No statues grace the area's streets: but there is a memorial to Queen Victoria in Warwick Gardens erected by the inhabitants of the Royal Borough of Kensington in 1904. The architect was H.L. Florence. Immediately to the south lies a drinking trough placed there by the Metropolitan Drinking Fountain and Cattle Trough Association as a result of the bequest of "R. McC" in 1899. Curiosities among the street furniture are the water pump outside the Temple in South Edwardes Square, now locked up as the result no doubt of a ruling by some long gone Medical officer of Health, and the small drinking fountain dated 1893 set into the wall of St. Mary Abbott's Hospital's Lodge, and graced by a carved Improving Sentiment. The Post Office contributes two pillar boxes of interest — an octagonal Victorian one in Pembroke Gardens, and one from George V's time in Pater Street, which is perched curiously above some railings though apparently designed for building into a wall.



### Advertising

Apart from shop fascias and pub signs, there is, appropriately, very little of this in the Area. A large poster hoarding high on a gable at the west end of Abingdon Villas (there for many years) does not enhance this entrance to the conservation area. The Council will consider seeking its removal and is unlikely to grant any further consents in the area for posters or advertising features divorced from shopfronts (see also the Shopfront appendix)



### Door Knockers

The Edwardes Square, Scarsdale and Abingdon area is unusually well-endowed with notable door furniture. The recent availability of reproduction door knockers, letter flaps and doorknobs has encouraged many to decorate their front doors. These look equally at home in the bright terraces of Blithfield Street or the more subdued terraces of Edwardes Square. The simplicity of the Georgian and Victorian doors is complemented both by elaborate or simple designs. Furniture for later Edwardian doors deserves some careful selection since the styles from the period are less common and often larger than preceding eras to complement often extravagantly proportioned doorways.



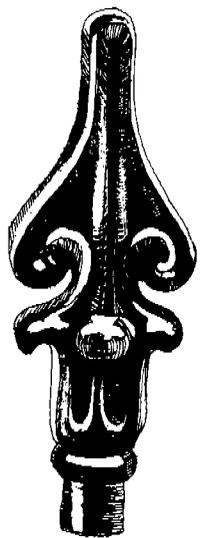
### Railings

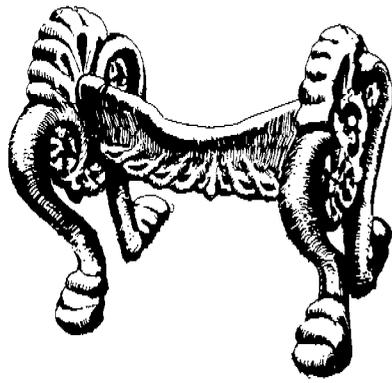
Railings served not only to restrain passers-by from falling into basement areas or intruders from entering garden squares, but also as a form of demarcation of area emphasising unity in a building group without masking it from view. For this purpose a railing is ideal, being physically impenetrable, defining boundaries well and yet easily seen through and not bulky: its only competitor on these terms is wire mesh — an unsightly alternative.



There is some variety to be found in the type of railings used in the conservation area although any one pattern is usually retained for the length of a terrace of any one style. The repetitive geometry is the most distinctive feature of railings and one or two missing heads or broken railings can easily destroy their effect as part of the uniform, linked details of a building group. For the same reason, poor painting shows up badly, especially where highlighted against a stucco background.

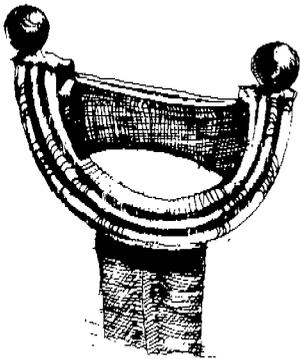
The cost of restoration to original patterns means that it can only be justified in selected locations: the reinstatement of railings in garden squares should have priority over private frontages, although in modern use they need some back-up to further deter intruders and perhaps the use of wire mesh to stop the ingress of dogs and litter into the garden. The very formal style of building in Pembroke Square and its existing railings certainly suggest a reinstatement at the west end as desirable. The cost, however, may put this event off for some years until grant aid monies are more freely available.





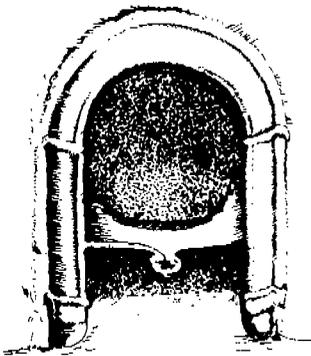
### Footscrapers

Victorian catalogues offered a large variety of footscrapers of which many styles are still to be seen around the Edwardes Square, Scarsdale and Abingdon area. Unfortunately a lot of their details have been lost in breakages or covered in rust and layers of paint (which also applies to railing heads). Since these are grouted in with lead, they are difficult to remove for bead-blasting or some other form of paint stripping and cleaning prior to painting. The sketches show their full detail, where discernable on existing scrapers or catalogue illustrations. Although not a major piece of street furniture, these scrapers represent one of the smaller details which would be sadly missed and which contributed to the attractiveness of the estate when it was built.

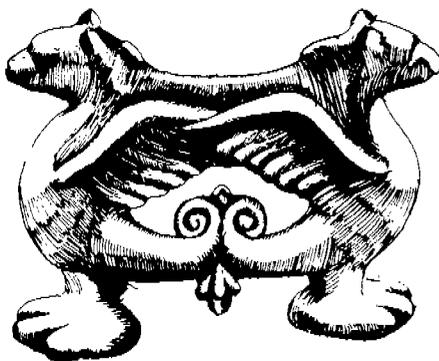


### Doors

Existing styles of door in the conservation area by and large manage to reflect the architectural style in which they are set. In the Georgian and Victorian eras two, four and six panelled timber doors kept the same elongated rectangular proportion in the door frame (to emphasise the vertical proportion for the frame) as panes of glass did within the window sash. It is important when replacing doors to retain the proportion if not the original pattern of the door.

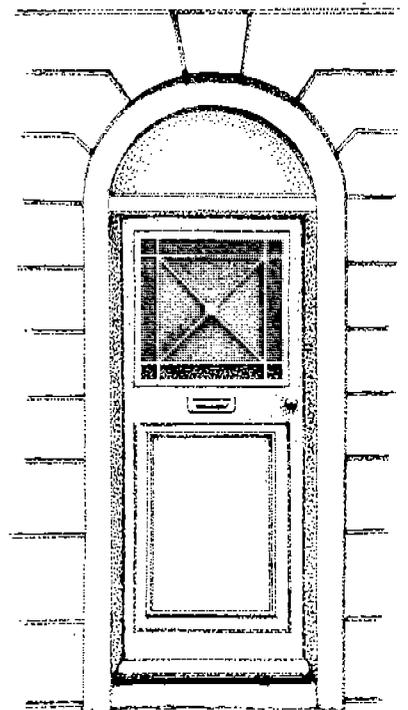
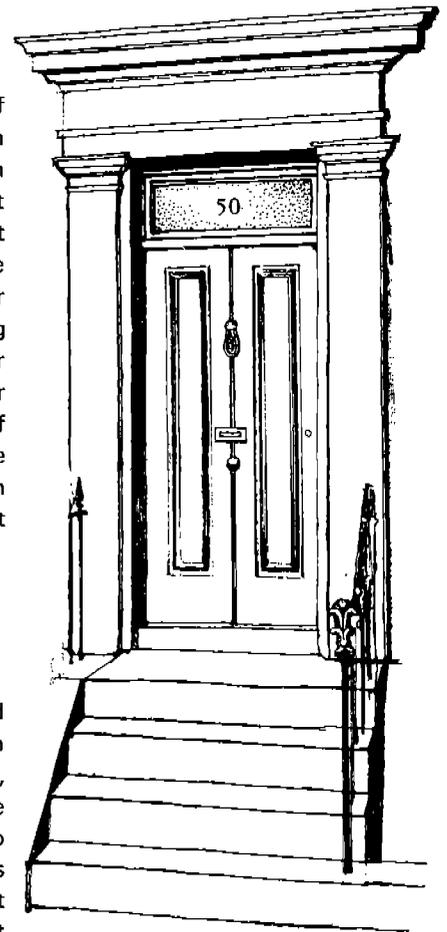


The retention of this style of timber door is particularly important where there are fanlights over the door. Unless used in the original door glass panels should be avoided since they do not respect the function of existing fanlights and can destroy the elegance of the doorway. Nevertheless, the Edwardian period produced some elegant doors using glass intermixed with heavy wooden panels in strong relief especially where the door acted as the centrepoint of elaborate stone doorways (see page 43 ). The drawings illustrate a common two panelled door from Abingdon Road and its delightful neighbour, an original glass panelled door from 32-38 Abingdon Road.



### Numbers

Clear numbering of houses is encouraged by the Post Office and the Royal Borough. On period houses numbers look well when painted on the fanlight where they can be seen, backlit, at night. Where the Royal Borough grant-aids front wall restoration a uniform style of numbering on gateposts may be a condition of payment of grants, especially if the gateposts are an important feature of the street scene and fanlights do not exist.



## Street Furniture

This is the name given to lamps, signs, meters, litter bins and all the other apparatus in the street scene, including more conventional furniture, i.e. benches, which are found in Iverna Court and at the northern end of Warwick Gardens.

The cast iron lamp columns and old style lanterns which have such a distinctive Victorian flavour — have been replaced long ago in most of the conservation area due to their deteriorating condition and high replacement and running costs. They remain, however, in Blithfield Street, in front of Earls and Edwardes Terraces and, to especially good effect, in Edwardes Square. The Council has recently increased its replacement stock by purchasing some replicas, to allow those referred to above to be retained. The square lanterns in Pembroke Place, though also charming, pose problems of maintenance and replacement which may prove harder to surmount. There is also a solitary one of this pattern in Pembroke Mews.

Elsewhere the concrete standards and projecting lamps have been long enough in service to be superseded by a new generation of greater efficiency. A new lantern was specially designed a few years ago to reconcile up-to-date technology with design characteristics appropriate to the ambience of the Borough — it has been introduced gradually in recent years and will be introduced into the conservation area in due course. Most residents will have seen it in the streets bounding the Town Hall, and will agree that its introduction would improve the appearance of many streets, for example Pembroke Square, where lamps are located on the garden side of the roads only.

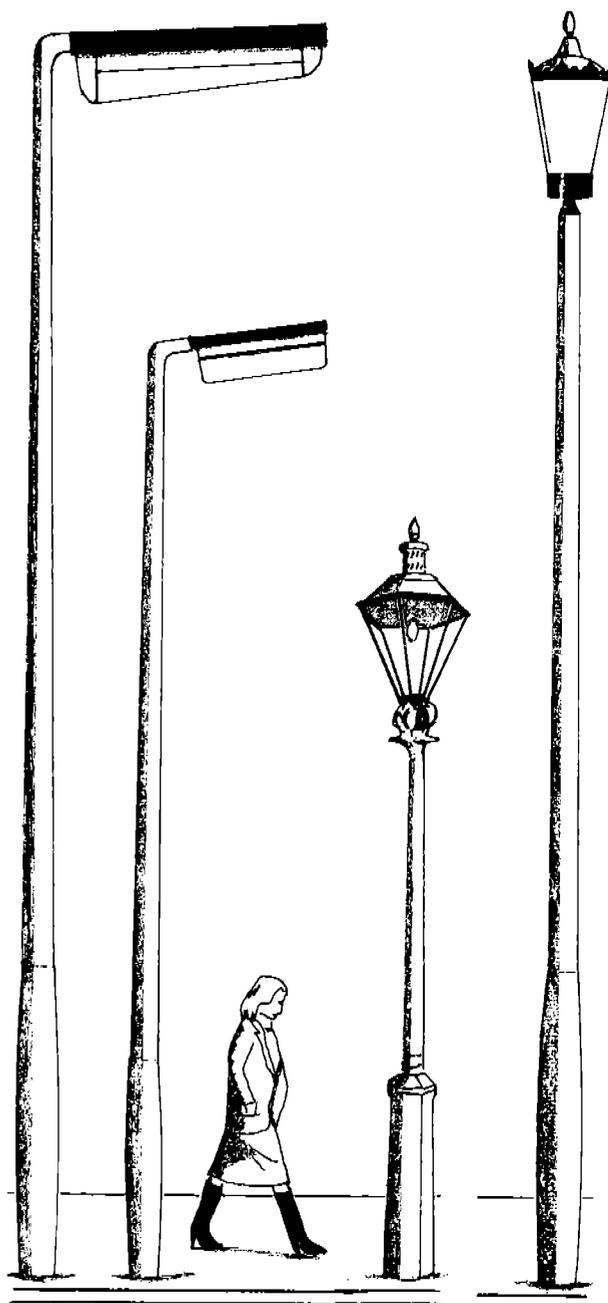
The location of traffic and parking signs, meters, street nameplates, and similar paraphernalia is governed by very detailed Department of Transport regulations. Its manual aims at a balance between safety and amenity — with the latter gaining ground in recent years. The conservation area enjoys well placed and reasonable signs generally, though occasionally signs on posts could with visual advantage be fixed to nearby walls or railings if the owner would permit it. Iverna Gardens shows what can be done.

A mixture of street furniture and a variety of paving surfaces at the Warwick Gardens/Pembroke Road junction are an inevitable part of the intolerable traffic associated with the one-way system, and will only be improved with its reduction. Similarly the pedestrian barriers used in the area are unavoidable with present traffic levels.

At the south-east corner of Edwardes Square a recent re-arrangement of signs has created a less obtrusive installation — but this in turn may have aggravated the problems of enforcing one-way working on the short length of street leading into the Square.



The Council will continue to seek the highest standard of visual amenity consistent with safety and reasonable cost in the siting of lamps, signs and other street furniture throughout the Conservation Area. The old pattern street lamps will be retained in Edwardes Square, Blithfield Street, in front of Earls and Edwardes Terraces and, if possible, in Pembroke Place. As street lighting installations are replaced under the overall programme, the Council's own sympathetically designed lanterns will be used. Signs will not be mounted on free-standing posts until individual consideration has been given to fixing them on nearby walls or railings; and suggestions for removing existing posts will be examined.



## Trees and Planting



There will be a general presumption in favour of the retention of trees, irrespective of their age, unless they are potentially a public danger or, exceptionally, when removal is required in a replanting programme. New planting will be encouraged during the next decade, so that semi-mature trees will be established when older ones have to be removed, which is bound to happen since a great many trees in the Borough were planted over fifty years ago.

Edwardes Square is the crowning glory of the area's vegetation, a tribute to care and maintenance by the Garden Committee, and its long term consideration of planting over so many years. The large gardens behind Earls Terrace combine with the Square itself to create an atmosphere of 'rus in urbe' of supreme importance to the setting of this listed building, and to its occupants' amenity. A wall cherished by many for its contribution to the lane-like quality of North Edwardes Square is that bounding these gardens, and its preservation unbreached will be one of the Council's conservation objectives.

Obviously the garden squares dominate the surrounding street scene, and leafy front gardens as at the north of Warwick Gardens contribute to it significantly. Back gardens are more especially important to the houses surrounding them.



**New buildings, extensions to existing buildings and other works will not be allowed to intrude into garden space which, on its own or together with neighbouring**

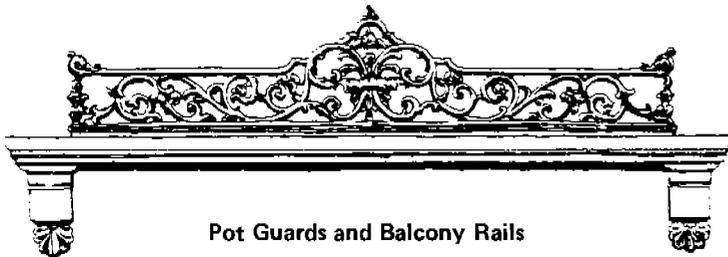
**gardens, is important either to the character of the particular area or to the general character of the urban scene.**

The health and maintenance of planting of all kinds of course determines whether it contributes to or detracts from the immediate environment. Overgrown front gardens conceal even the finest building condition, and unclipped hedges obstruct the footway and look incongruous fronting buildings of formal style. Climbing plants can be beautiful supplements to buildings when controlled or curious interruptions to their character when unrestrained.

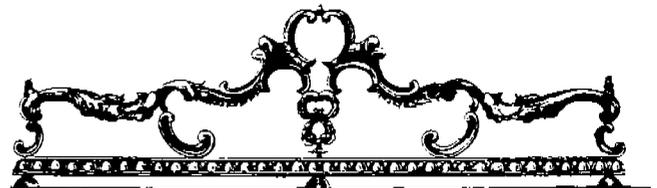
Judiciously positioned trees can greatly reduce the visual impact of car parking as well as contributing to the pleasant leafiness of the area. This characteristic depends as much on private planting as on street trees, of which the area has many — perhaps the most spectacular being the cherries at the south end of Abingdon Road when the total canopy of blossom is out.

All trees in conservation area are subject to controls requiring notice of any proposals to remove, lop or prune them to be given to the Council (see Appendix). As well as this general provision, many of the trees are covered by Tree Preservation Orders, of which the Council's Arboriculturist can give further details.

The York stone coping to the dwarf wall enclosing the central garden area to Edwardes Square has deteriorated to such an extent as to detract from its original visual appearance and safety standards and should therefore be restored.

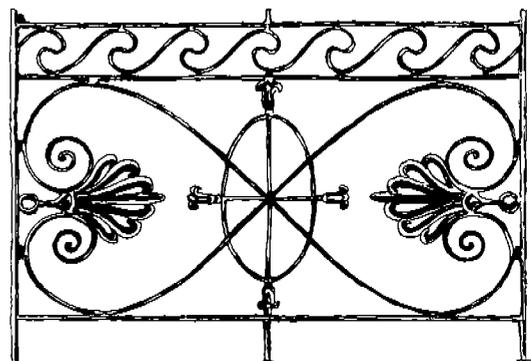


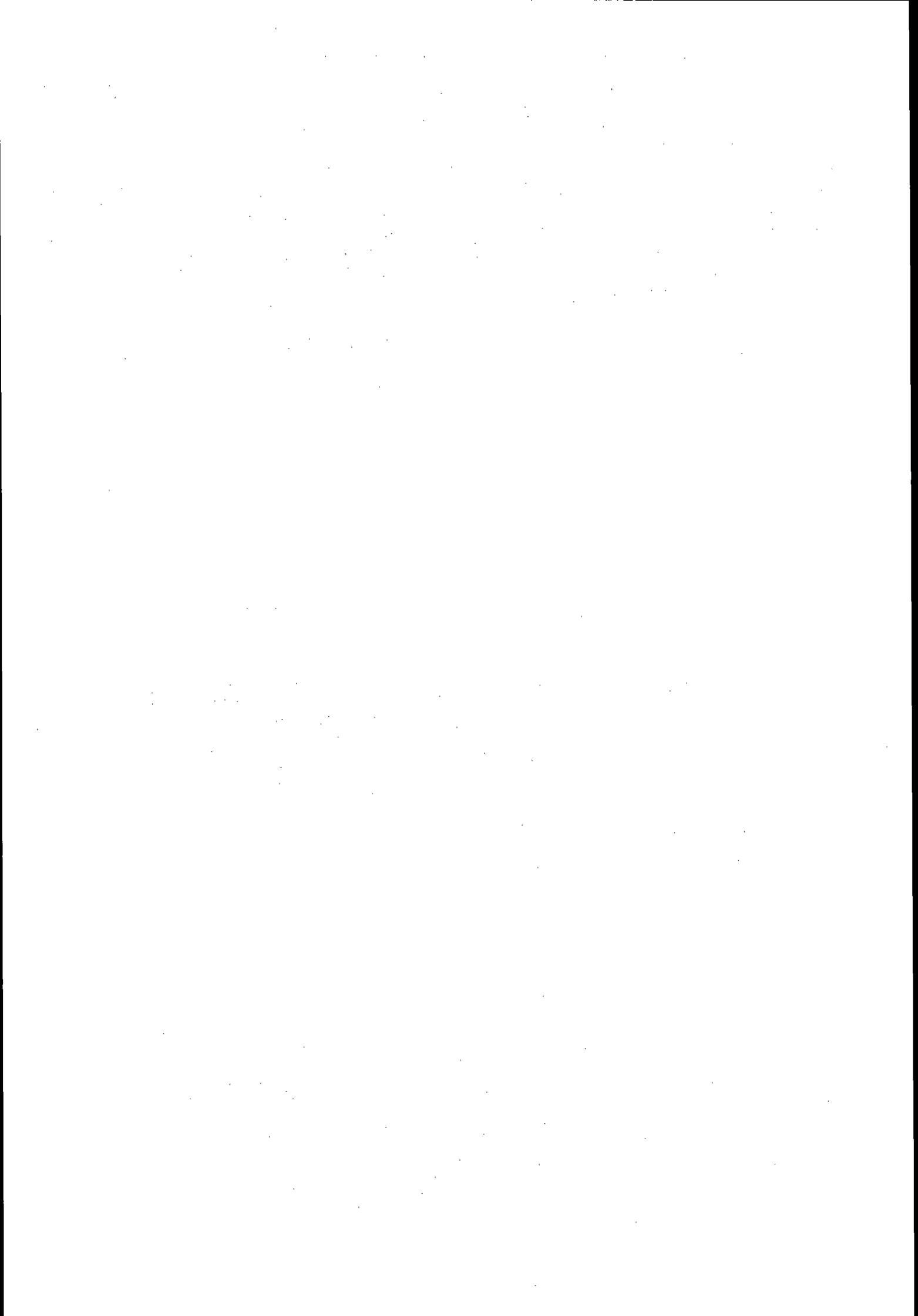
Pot Guards and Balcony Rails

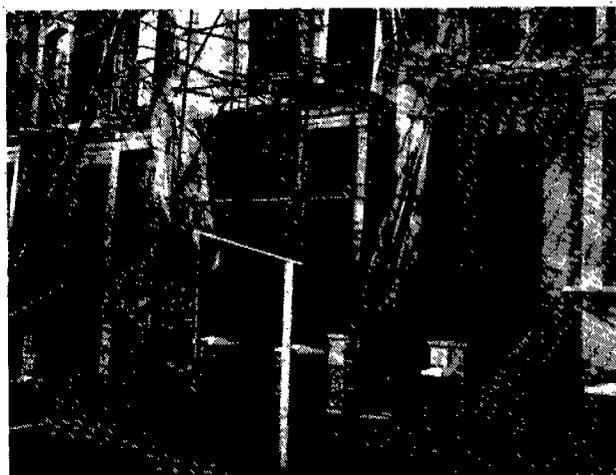


The Edwardes Square Scarsdale and Abingdon area has an interesting variety of balcony rails and pot guards. These range from the decorative shell castings and simple grid patterns of Edwardes Square through the delightful lightweight wheel and heart-shaped castings of Pembroke Square and the north end of Abingdon Road to the rather heavier pot guards of the south end of Abingdon Road and Villas.

These brittle castings are easily broken but difficult to repair, nor are they easily replaced by reproductions. Whilst fortunately they are retained in the two Georgian squares they are sadly missed on a number of the Victorian terraces.







## ENHANCEMENTS

### ENHANCEMENTS and Physical Control

#### INTRODUCTION

The Townscape Chapter outlines the particular attractions of the conservation area. It also dwells briefly on those factors which detract from the appeal of the physical surroundings. These can be summarised as either incompatible or non-uniform modifications which indicate a certain lack of sympathy requiring quite deliberate specific correction, or general untidiness and decay which requires a little persistent attention. While an area of inherent character can absorb some modification one poorly repaired property will drag down those around it and more widespread decay will detract massively from the appeal of an area.

The need for persistent attention to repair and maintenance applies not only to the built fabric. Where gardens front houses, attention to them becomes of major importance and not only to the garden area but also its boundary with the road. Nowhere is this more clearly illustrated than by the regrettable condition of parts of Earls Court Road.

Different properties have different levels of resistance to damage, by modern alteration or general decay. Late Georgian houses seem particularly sensitive to detrimental changes: due to their comparatively simple detailing any losses or damage appear correspondingly larger.

The impact of any particular decay or change is greatly influenced by the position from which the property is viewed. Damage at or near ground level, such as to porch mouldings, is particularly visible where houses are not separated from the street by gardens. Where houses are

set back from the street or can be seen at some distance along a street or across a square, eye level details become of secondary importance and continuous features and the roofline become the most visible feature. For the very same reason that some decay is visually less intrusive because it cannot be easily seen, regular inspection should be made to ensure that decorative features are not rotting from above or within and also to ensure that these features are well weather sealed. Specific enhancements are detailed on page 61 but they do not represent a complete listing of all possible improvements.

The chapter is divided into the following headings

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Railings	56
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## ROOFLINES

The rooflines of buildings especially when of formal architectural style are extremely sensitive to change.



**'The Council will particularly consider skylines in conservation areas, and views and vistas in, into and out from conservation areas ..... when dealing with proposals for new buildings and extensions to existing buildings. Those skylines, views and vistas most important to the Borough's heritage and historical character will be safeguarded.'**

(para 9.4: Chapter 4)

There is a distinction to be made between additional storeys and alterations or extensions to pitched roof spaces. On houses with a parapet hiding a shallow pitched or central gutter roof any new accommodation at roof level will require an additional storey which is often totally unacceptable on architectural and townscape grounds, and the accompanying map notes where the Council considers this is so. Sadly there are a number of old extra storeys on important terraces, not least of which are those on the north and south sides of Pembroke Square. These will not be taken as precedents for furtherance of this blight and residents will here be encouraged either to remove or modify existing extra storeys to present a more uniform roof level aspect. The spread of roof extensions on these listed terraces will be strenuously resisted.



**On the terraces of Pembroke Square and Edwardes Square, plus Edwardes Place and Earls Terrace, planning permission for additional storeys will be refused.**

Of the remaining terraces, Alma and Inkerman Terraces in Allen Street both have unspoilt rooflines, as do terraces at 27-37 and 54-60 Stratford Road, and 45-85 inclusive Abingdon Villas. In all these cases extra storeys will not be allowed as also on the nearly unspoilt vista Scarsdale Villas. All the above named terraces have low pitch or flat roofs with a parapet.

While proposals for alterations or extensions on other terraces could be argued on their merits against the background of the general presumption against additional storeys, applications within the terraces marked black on the map will invariably be refused.

On those terraces left plain on the map the Council's District Plan policy which is a presumption against roof extensions will apply. There are, however, some terraces where existing roof extensions such as dormers make others acceptable in the interest of uniformity, or where roof alterations such as an additional velux cannot be seen or may be regarded by the Council as harmless.



**"There is a general presumption against additional storeys because they will very often have an adverse effect on the skyline and may conflict with policies relating to car parking and net residential density. All proposals for increasing the height of existing buildings, or erecting new buildings, will therefore be judged in relation to:**

- (a) **Their effect upon the character of the street or terrace, the skyline as seen from neighbouring houses and streets and daylighting and sunlighting to neighbouring houses and gardens:**
- (b) **The design relationship of any additional storey to the existing building."**

(para 9.5: Chapter 4)

Where planning permission is not required, residents are encouraged to follow the design guidelines if they intend extending into the roof space. The intention of the design guide is to encourage neighbourly developments. Uniformity should usually be pursued in favour of originality of detail and where neighbouring properties have an extension similar to that intended, copying the positioning, outline and angle of setback is to be recommended.



**Where works affecting the roof level require planning permission, the Council will require development at the roof level on existing slate covered pitched roofs to use natural slates especially on the most prominent elevation.**



**When a roof extension is proposed and the surrounding terraces are devoid of modern extensions, it will be the Council's policy to refuse planning permission.**

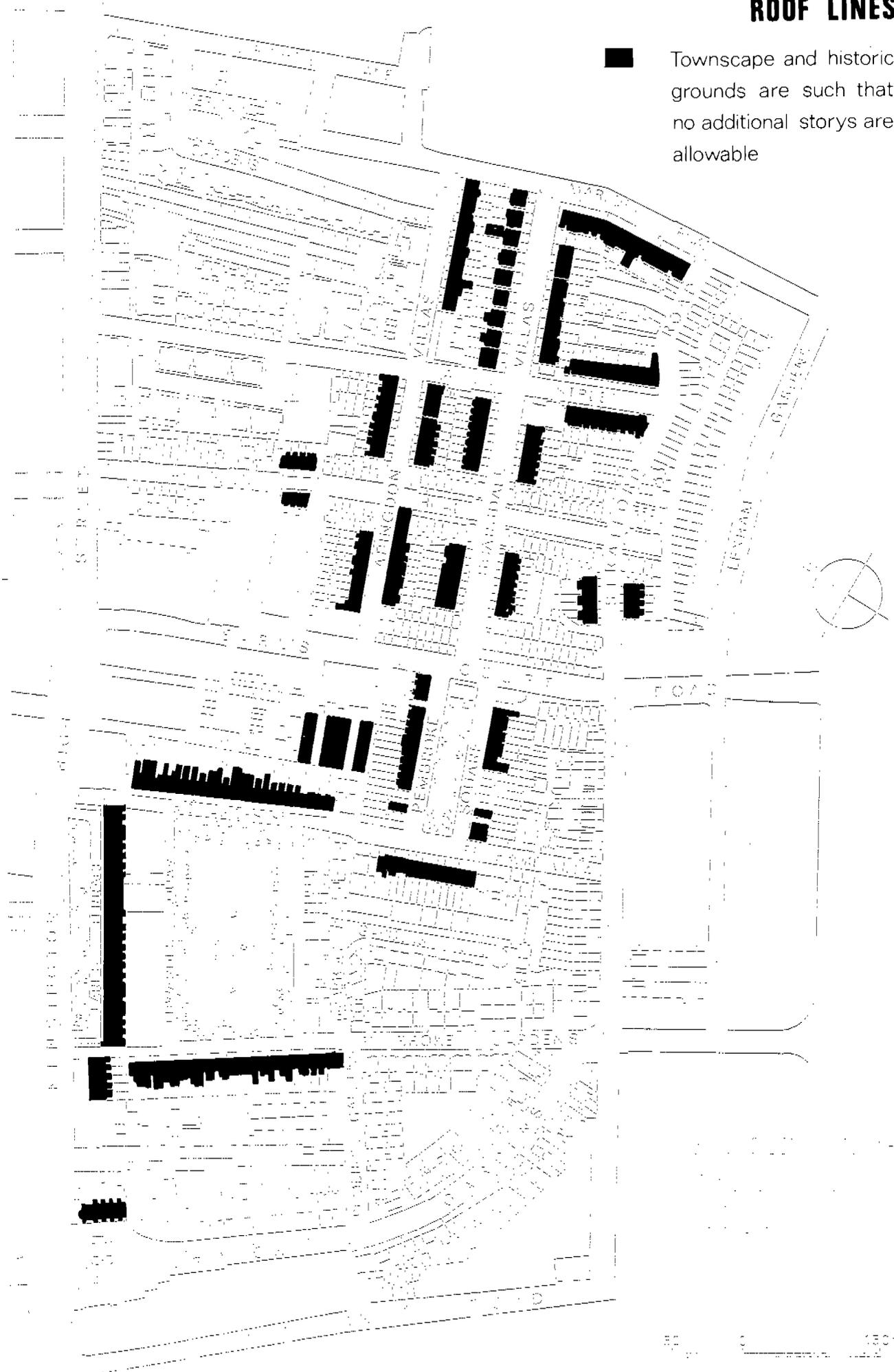
**"It is normally very important that an existing front parapet wall should not be demolished so as to allow additional light to the front windows of the roof extension. The substitution of a 'bottle' balustrade may be appropriate, concealing the height of an extension while still letting a lot of light through to the windows. The restoration of a lost parapet or balustrade will be welcomed."**

(para 4.7: Chapter 17)

**"Any additional storey must be designed to safeguard daylighting to neighbouring land and buildings. Generally, it should be set back from the front and rear elevations of a building in order to allow a reasonable amount of daylight to reach properties opposite. It is considered that this lighting is safeguarded if additional storeys are set back to rise from behind a parapet gutter within a line drawn at an angle of 45° from the top of the existing parapet wall. A set-back in this form also minimises the visual impact of the new storey as**

# ROOF LINES

■ Townscape and historic grounds are such that no additional stories are allowable

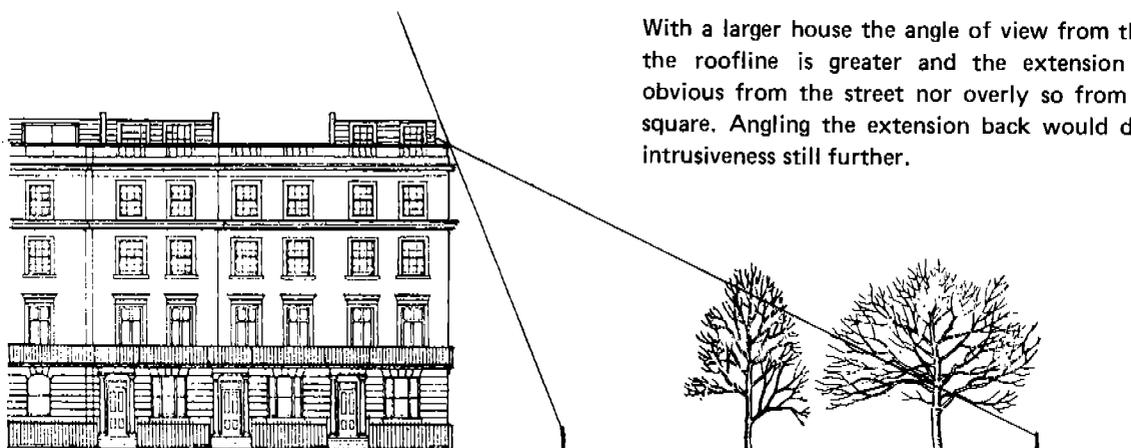


The Diagram shows how the intrusiveness of roof extensions diminishes with taller buildings and a closer angle of view.

The smaller terrace (A) has a relatively larger extension (as a percentage of original house size) than (B). The extension is visible both from the street and (more so) from across the square.



A



With a larger house the angle of view from the street to the roofline is greater and the extension is neither obvious from the street nor overly so from across the square. Angling the extension back would diminish its intrusiveness still further.

B

seen from the street or from other houses nearby. In certain circumstances, the daylighting criteria referred to in the previous section will necessitate a greater set-back."

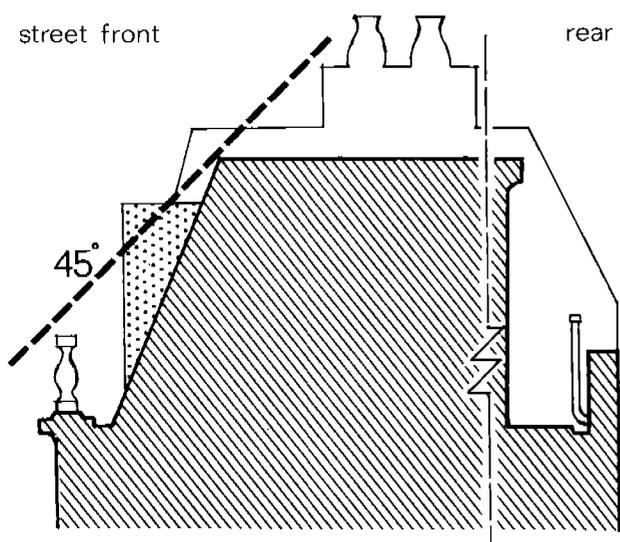
(para. 4.2: Chapter 17)

The townscape chapter deals with the importance of continuity and uniformity of features. The skyline of buildings embodies both the continuity of line and the uniform treatment of roof or parapets.

When considering enlarging a house, the roof often offers the easiest direction but also unfortunately the most obtrusive.

It is the Council's usual policy to discourage roof extensions where planning permission is required, which regrettably is not always the case. Design guidelines can never be comprehensive enough to cover all the variations of individual properties but anyone proposing extending into the roof space should consider the following points:

- (i) Although existing extensions may be far from ideal in execution or style, retaining a similar profile, placing and detailing can help to retain uniformity in a terrace. New roof extensions which fill the gaps between other extensions will, save on listed buildings, normally be acceptable.
- (ii) Where dormer windows are fitted they should line up with windows on the floor below.
- (iii) Chimney stacks and party wall parapets should be retained.
- (iv) The front wall parapet, where existing, should be retained.
- (v) If a dormer or extension is installed into a pitched roof, any slates or tiles used should match those existing on the main roof.



Elevation of new dormer window.



Section through a typical residential building showing the preferred profile for additional storey.

- (vi) Where extensions are proposed on a building which originally had a low pitched roof behind a front parapet and dividing party walls, the extensions should rise from behind a parapet gutter within a line drawn at an angle of 45° from the top of the existing parapet wall, so that the prominence of the parapet is maintained from street level: this angle might vary depending on the height of the building and length of view available.
- (vii) Dormer windows should not normally protrude outside the 45° line.
- (viii) Chimneys and chimney pots are important to Victorian skylines and should be reinstated following any roof extension.

Further details on roof extensions are given in the District Plan Chapter 17.

## Rear Extensions

Where these require planning permission (which is not always the case) proposals will be judged in relation to their effect upon:

privacy, daylighting and sunlighting in neighbouring gardens and houses, and

the character and appearance of the backs of the terrace or street as a group.

Maximum retention of garden space will take priority over reducing the height of extensions.



**"New buildings, extensions to existing buildings and other works will not be allowed to intrude into garden space which, on its own or together with neighbouring gardens, is important either to the character of the particular area or to the general character of the urban scene."**

(para. 3.8, Chapter 7)

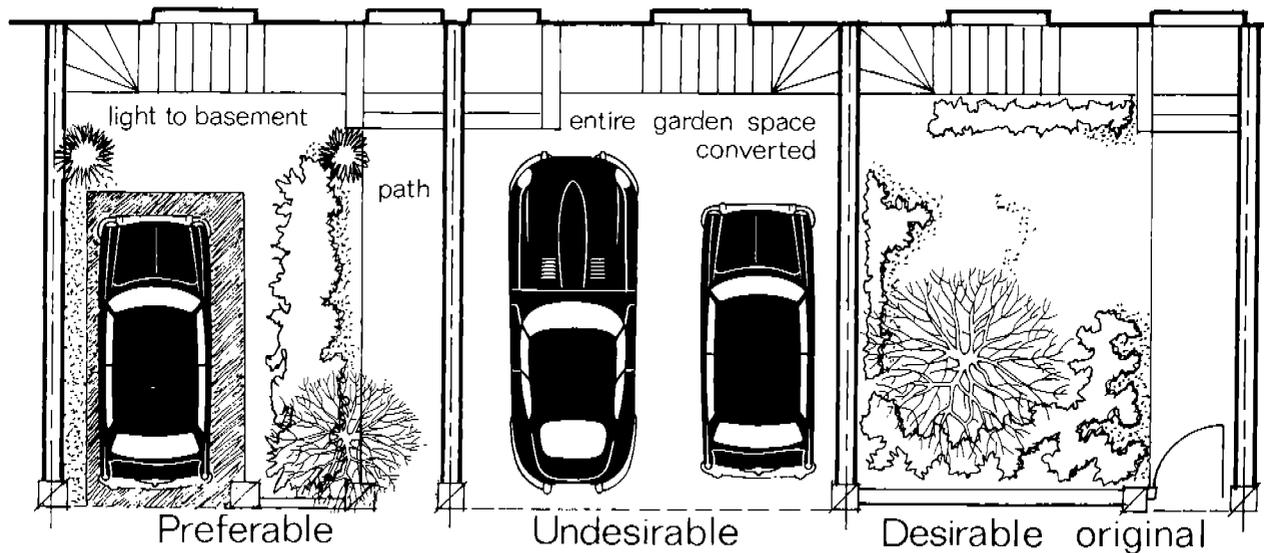


**Where development requires planning consent the Council will require that rear extensions should not cover more than fifty per cent of the rear garden area.**

In applying these policies the Council has to be mindful that the purpose of planning is to regulate the development of land in the public interest, not to protect the property rights of one person against the activities of another, particularly where there may be a remedy under common law.

In all new building works, materials — especially any brickwork — should match the original building. The cleaning of Brickwork should only be undertaken in whole terraces. Cleaned brickwork may look identical to the terrace as originally built, but now introduces an undesirable colour difference in a terrace. Reproduction window styles to match the original, continuing cornice lines onto new buildings and other efforts to retain the original style may be rewarded by handsome buildings and have featured highly in recent Environmental Award Scheme winners. (The Environmental Award Scheme is an annual competition run by the Royal Borough for new building works and environmental schemes).

Further details are given in the District Plan Chapter 17.



### Garden Walls and railings

Forecourt parking in the ESSA area is the cause of some of the most detrimental changes to the original street-scene. Fortunately, listed building controls have prevented its spreading to Edwardes Square where it will continue to be strongly resisted. Front walls and gate piers are often as much part of the architecture of a street as the cornices and windows, and when they are removed to allow parking a repetitive and unifying feature is broken up and becomes disjointed. The restoration of walls and railings will be sought – and should be a priority for any enhancement funds.

The laying out and physical construction of a hard-standing for vehicles is subject to planning permission only for buildings other than single family dwellings. However, the removal of a front garden wall or fence more than one metre high in the conservation area requires listed building consent, which will not normally be given, and piers also require listed building consent to demolish.

When a terrace has not been spoilt by forecourt parking, residents are encouraged **not** to introduce forecourt parking. Because pavement cross-overs must be left clear, when parking on-street, there is normally an overall loss in the total parking available to the public generally. A combination of cross-overs not only eliminates on-street parking but can also significantly reduce the effective width of a footway, as seen at Phillimore Terrace in Allen Street.

Where existing forecourt parking exists, much can be done to improve the parking area:

- (a) most important is to retain as much as possible of the front wall, piers and gates;
- (b) next comes the retention of some planting and a separate path from gate to front door;

- (c) the most difficult area to landscape is the hard-standing itself. It must be solid enough for the car without dominating the area used. Concrete or tarmac although widely used is not particularly suitable. The area looks only as if it is a parking area even when empty, and monotone concrete shows oil stains badly. Breaking the hard surface into smaller areas is much more desirable – ideally with run-in strips and area in one material and a 'softer' or more broken surface for the area not supporting weight. Surface materials widely and successfully used are bricks, setts, tiles or paving blocks, perhaps used with gravel. The sketches show some alternatives.



**The removal of a front garden wall, railings or fence more than one metre high in the conservation area requires listed building consent, which will not normally be given.**

**Forecourt parking will be particularly strongly resisted in Edwardes Square.**

(see also District Plan Chapter 4, para. 12.2 and Chapter 17, section 6)

### Railings

Railings form a traditional and pleasant means of enclosure which defines the boundary and yet does not obscure the view. The only competitor in this respect is chicken wire which adds nothing to the streetscene. Residents of Pembroke Square may wish to reinstate railings around the garden when funds are more readily available as these would make a most pleasant visual enhancement. Railings on private frontages are particularly important where there are no front gardens, and depend tremendously upon uniformity along several frontages for their impact. The Council's officers can advise on sources of supply for reproduction railings and a list of suppliers who have been active in the Borough is available at the Town Planning Information Office.

## Front Boundaries (back boundary of pavement)

The removal of front walls and gate piers or railings is often (although not exclusively) linked to the use of the forecourt for parking. It is important however to retain a suitable boundary to the street in order to keep the continuity of the pavement frontage whether or not cars are parked on the forecourt. Gates should span any gaps left for access to car parking spaces. Where railings exist for the majority of houses in a terrace, no suitable alternative exists and the remaining houses should conform albeit, if necessary, with a less detailed plain railing.

**"The Council is conscious that an extremely important element of most of the Conservation Areas is the treatment of site boundaries, be they garden walls, balustrades, railings or whatever. Their protection, repair and reinstatement will be encouraged and to this end the Council has obtained cast 'spears' typical of one Conservation Area which are being sold to property owners at half their cost. If successful further similar exercises will be considered."**

### (Chapter 4)

Walls, however, are a more architectural feature and although the full detailing of the original front walls need not be copied, a uniform wall and pier height and a similar outline to the copings should be adhered to along the whole terrace. When monies become available once more grants to restore or reinstate front walls will have a high priority in the conservation area.

A major enhancement to the street scene is the reinstatement of uniform wall heights, replaced gate piers, and the spanning of any gaps that may be necessary to allow forecourt parking, with gates. Walls should be rendered and painted where appropriate to match adjoining walls. Surfaces may match the elevation of the house in colour or be white. As a repetitive detail, the gate piers should normally be painted white with the number of the house painted or embossed on the pier.



## Street Trees

The presence of underground services and cellars and the abundance of trees on private property have restricted the planting of additional street trees. There are, unfortunately, only nine sites remaining, which require further investigation, where it may be possible to plant new trees. Further planting is proposed to replace the elm trees which died in Pembroke Road.

## Planting

Planting of all kinds in the street scene must be kept healthy and maintained. Front gardens left overgrown detract from the finest building condition, whilst unclipped hedges obstruct the footway and look incongruous fronting buildings of formal architectural style. Similarly everyone enjoys the sight of an occasional trimmed and trained creeper on the face of a terrace but not one that obscures the architectural features. Poorly maintained trees obscure views and are too informal for the architectural context. There are garden and window-box competitions run by the Kensington News and Post, also the Brighter Kensington and Chelsea scheme and the Kensington and Chelsea Residents Association Council Tenants Garden Competition to encourage residents to adopt high standards of garden care. The effect of well-maintained window boxes is best seen at The Hansom Cab Public House and The Scarsdale Public House in the summer. An enlightened attitude to maintenance and long term consideration given to planting has enabled the garden square committees to set a high standard which greatly enhances the surrounding properties.

All trees in conservation areas are subject to controls requiring notice of any proposals to remove, lop or prune them to be given to the Council. As well as this general provision, many of the trees in the conservation area are covered by Tree Preservation Orders — the Council's Arboriculturist can give further details. (The correct procedure for works to trees is set out in the Appendix). These Orders do not cover street trees since the Council itself owns and maintains them. Neither do they cover trees in certain back gardens, which may be very important to the owners of nearby properties, but do not contribute to the appearance of the street scene or of any areas generally frequented by the public. It is still, however, the responsibility of the property owner or occupier to care for them.

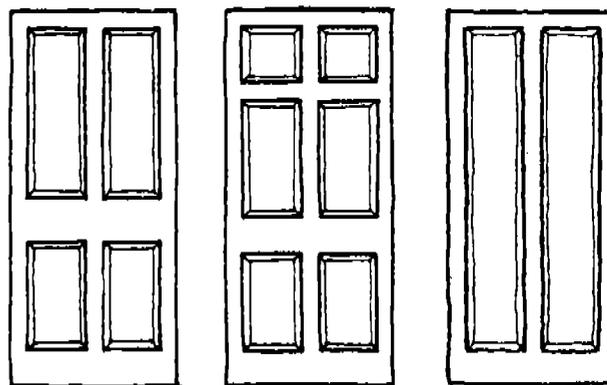
An updating of all Tree Preservation Orders (which in some cases date back to 1955) is currently taking place throughout the Borough which will make identification of trees covered by Orders much easier, and will take into account new plantings and removals since the originals were made.

Many trees planted in front gardens appear to be street trees and add greatly to amenity. It is important trees of this nature which Tree Preservation Orders seek to protect. A good example is the high level of private planting in Allen Street.

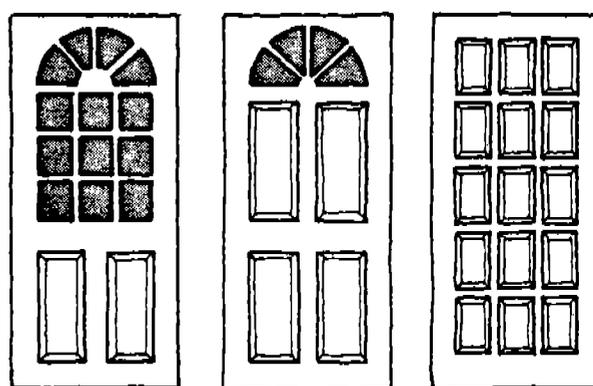
Both the District Plan and the Greater London Development Plan endorse the importance of trees: they are a valuable amenity in cities, which once removed can rarely be adequately replaced.

## Doors

There are a number of flush front doors in the area which are unsympathetic both in style and proportion to the doorways in which they stand. Where the original hardwood doors exist, they should be retained. In choosing a replacement reference to neighbouring properties may suggest a suitable style. Neither uniformity nor originality need be the main aim, but if a terrace has kept to a single style of door it is neighbourly good manners to further the continuity of style. The terrace on the west side of Abingdon Road (Nos.32-38) has particularly pleasing matching original doors. Both four and six panel doors have found favour in the area and depending on the building style each is quite suitable. A style of door particularly unsuitable for this period is the popular but sadly misnamed 'Georgian' style which includes a fanlight in the top of the door. This looks particularly out of place where fanlights already exist above the doors as for instance in the two squares. Suitable door furniture can greatly improve the looks of a door as can competent stripping and re-painting where layers of paint are removed to reveal the moulding. A useful source of period doors and door furniture are architectural salvage companies. Many original panelled internal doors are lost, when houses are sub-divided into flats, in order to comply with fire regulations. The GLC Architect's Department, Historic Buildings Division, however, publishes a pamphlet advising how panelled doors may be made fire resistant without losing the original panelling.



Some original pattern doors

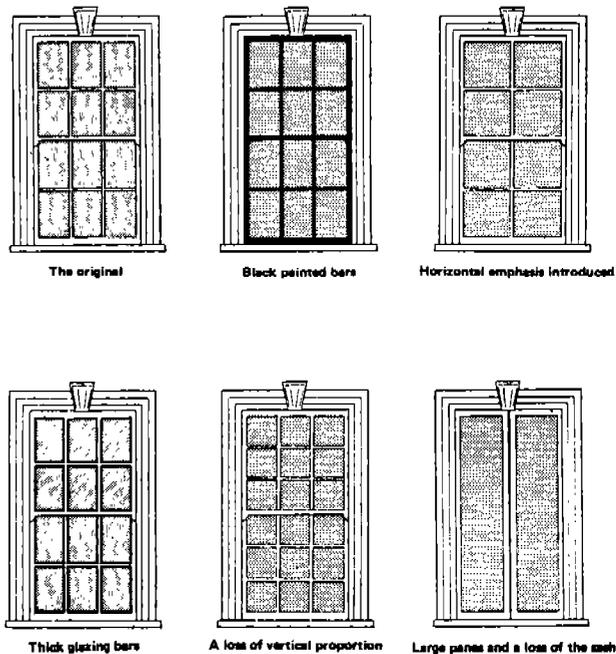


Some unacceptable replacements

## Windows

There are too many examples of unsympathetic glazing patterns to list, but the diagram opposite will give some idea just how much a window's proportions change with different glazing patterns. When restoring glazing bars it is important to use the correct cross-section which may be so slender as to require hardwood and not one of today's, rather heavier, softwood sections. In this context a restoration of absolute originality may sometimes be sacrificed in favour of conformity with the neighbouring properties, although it may be worth checking that neighbours are not contemplating conforming with your own house. Having completed the restoration, paint should match the other painted detailing of the property and should be of a light colour. Painting glazing bars black makes them less obvious in the facade. Although the Victorians sometimes did have large single panes of glass in important rooms and painted other bars in the house to disguise the use of cheaper multiple panels of glass, it is indisputable that the proportions of the windows with white glazing bars look better to the modern eye.

A comparison of unacceptable and original glazing patterns



## Cornices and Stucco

A major townscape feature of the early Victorian architecture in the area is the decorative stucco. Many cornices are missing and architraves damaged in Abingdon Villas, Scarsdale Villas, Abingdon Road and Stratford Road. The powers of the Council do not extend to enforcing the reinstatement of cornices but much can be done by extolling the virtues of restoration and making grants available to specific schemes when monies are available. The profile of the cornices in the above roads are similar and the adoption of a standard cornice mould and the availability of reasonably priced glass fibre cornices would encourage many residents to reinstate this feature.



**"The Council will continue to assist in the preservation or restoration of architectural detail in partnership with private owners."**

**(Chapter 4, para. 3.26)**

Moulds used for the glass reinforced plastic cornice and other mouldings at Royal Crescent and other grant aided restoration projects are being retained in the Council's name and are available for future use. Grants may well be available to assist with mould costs in any future group applications.

As part of any general schemes to restore the uniformity of terraces the restoration of the continuous cornice should be a priority. Continuous features of this kind are especially noticeable where a view of the terrace from some distance is possible. The two terraces on the east side of Earls Court Road opposite Pembroke Square which have broken cornices are examples.

The main value of stucco is largely its continuity (or repetitiveness in the case of window architraves). The integrity of the profile consequently takes second place to the importance of continuing the line of the cornice. The order of priority is detailed below. Within the area the restoration of stucco in the Victorian terraces in Abingdon and Scarsdale Villas, Allen Street, Abingdon Road and Stratford Road is a priority.

Prompt attention to stucco repairs will save expensive reinstatements if the stucco is left to decay. The deterioration of stucco is a continuous process and regular maintenance is required to keep it in good order.

The cost of repairs can be kept down by timing restoration works to fit in with the regular painting programme: this cuts down on scaffolding costs. Stucco restoration is seldom inexpensive but the use of glass fibre as a substitute has proved reasonably successful. This method is not cheap either but it is lighter and therefore imposes less of a strain on the structure of the building: its use is acceptable.

An order of priority for stucco repair is detailed below and suggests the minimum standards which would be acceptable in the various terraces.

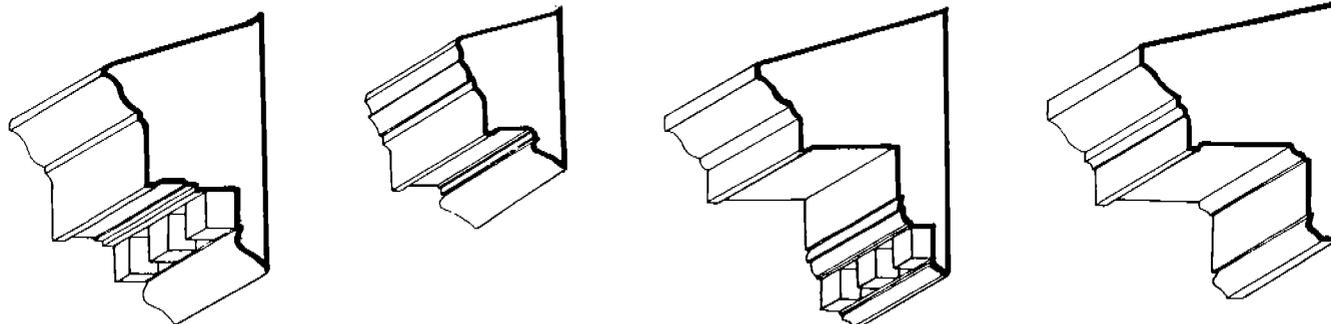
1. Where money is short in minor terraces, a basic rendered cornice retaining the horizontal line of the original avoids an unsightly gap without unacceptable loss of authenticity.
2. A preferable alternative is the use of replica glass fibre cornice sections: a list of manufacturers and of some available moulds is available from the Planning Information Office.

Existing stucco cornices may be repaired but it is essential the upper surface is well weather and water-proofed especially where water-retaining gloss paint is used on the lower surfaces.

3. Full detailing, including dentils ("teeth") is again a great improvement on the basic section, but its reinstatement may only be justified on listed terraces and major building groups. Single dentils may be obtained and plugged and screwed to the wall as a separate operation apart from repairing or replacing the main cornice.

The terraces of quality and lesser terraces should at least meet the minimum level: all listed terraces should attain the level of a complete moulded section. Grants may again become available for the reinstatement of full cornices and dentils when times are less stringent.

A list of stucco repairers and glass fibre moulding manufacturers is available from the Council.



## Paint and Brickwork

Paint shares many points in common with stucco repair in that the major concern is to emphasise the uniformity of the terraces, rather than the individuality of houses within them.

Brickwork and especially London stocks (yellow stock bricks unique to 16th to 19th century London) should not be painted. Painting stuccoed terraces in a uniform shade enhances their character, and a colour scheme could be agreed by residents of the terrace (where relevant Article 4 Directions apply freedom of choice is removed). A successful group scheme at Inkerman Terrace, where residents agreed on white paint, looks very pleasant. Pastel or brighter colours are normally ill-advised, but 'sandy' and other natural shades can look very well with contrasting (white) stucco details. Some residents may wish to try and find a paint colour to match the original 'Bath Stone' tint of natural stucco.

In ESSA a number of terraces (notably in Abingdon Road) change style within the terrace; under these circumstances a single shade should be kept for each style. A change helps to emphasise the change of style by not attempting to enforce a false unity.

Although brickwork should not normally be painted, an exception to this is mews where houses are already painted in a variety of colours, and where the facades were primarily functional rather than decorative.

The mews are visually separate from the other streets in the area, and the variety of colours is in some cases acceptable and desirable. There are examples of the use of pastel shades to enliven otherwise unexciting buildings particularly in Blithfield Street.

Elsewhere in the principal terraces the stucco is the only part of the facade which should be painted, perhaps highlighting the detailing and cornices in white. This is particularly important on Georgian terraces, where the sparse stucco detailing is best painted a light stone colour. When individual houses are painted in different colours or shades, this can emphasise the vertical divisions in the terrace. This has a detrimental effect since the terraces have strong horizontal elements with secondary vertical detailing: painting the continuous cornice and parapet lines a single colour becomes of prime importance in these circumstances. However the painting of individual houses at different times inevitably leads to variations of tone.

The priorities of painting are

- (1) that the colour scheme should be compatible with neighbouring properties;
- (2) an improvement through a unified paint scheme;
- (3) the agreed paint should preferably be applied simultaneously to a terrace since paint ages rapidly (communal schemes may also save money).

Front walls can be painted to match the facade or white. However, a uniform treatment of all the piers should be a priority: this would be particularly welcome in the later terraces in the east of the area. Painting railings to match the facade is usually unattractive and detracts from the impact of their silhouette, gloss black is normally adopted and is acceptable.

Unified treatment of house numbers is greatly admired by some residents — its potential effect can be seen in Onslow Square.

## Plumbing, Wires and Aerials

There is little so foreign to the Victorian period elevation as the modern predominance of wires and aerials. Their unsightliness can be solely attributed to poor workmanship on installation. This affliction appears particularly endemic to properties divided into flats and requires special attention on the large Victorian houses. Any pipework or wires required when a property is converted and which cannot be accommodated internally should be routed down a rear or side elevation. The planning authority will seek to avoid external pipes and wires on principal elevations.

Wires are particularly intrusive when there are few architectural features to hide them, and on stucco facades where they are contrasted on a coloured background. This is emphasised where wires cross the cornice line, destroying its continuity. The colour contrast may be due to the wire not matching the facade or to its attraction of dirt. All wires are unsightly when they trail unfixed across the frontage.

If wires have to be fixed to a front elevation their effect may be minimised by running them vertically along the line of downpipes and horizontally along gutters and string courses and by matching cable colour to the background. Wires are rarely obtrusive if fixed securely and unlike many improvements described in this chapter, tidying up wires is both cheap and quick.

Where aerials are placed on the roof they should be as far to the rear as possible, behind the parapet line on low pitched roofs, and on the back pitch of pitched roofs so that they are screened from the street.

## Burglar Alarms

Many residents consider burglar alarms one of the most intrusive modern features. The brightly coloured boxes are usually displayed prominently as a deterrent. Placing the same boxes in basement wells, behind the balustrades of balconies, above cornices or on the side of houses and painting them to match the elevation does much to camouflage and nullify their intrusiveness. Even with these corrective measures, the alarm boxes will be obvious enough to those with an interest in them.

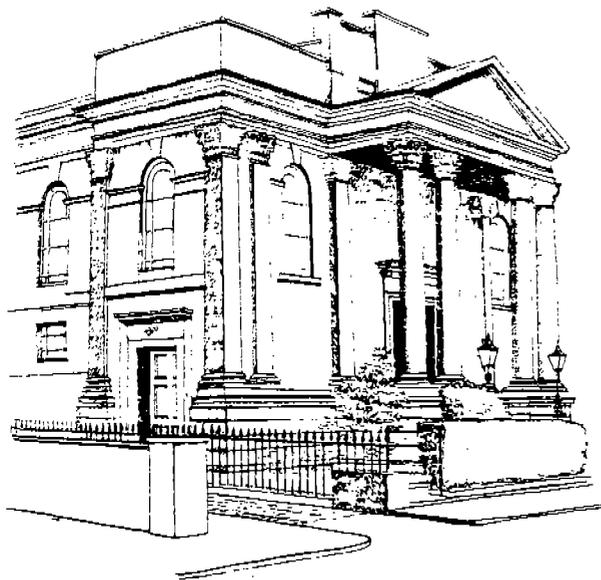
## SPECIFIC ENHANCEMENTS

The reinstatement of front walls will be a priority for enhancements in Scarsdale Villas and Shaftesbury Villas, Allen Street.

The restoration of the frontages in Pembroke Square, especially Numbers 16, 17 and 45 where extraneous additions have marred the facades since the 1930s, would be a significant improvement.

The restoration of the railings at the west end of Pembroke Square should become a priority for grant aid when funds become available.

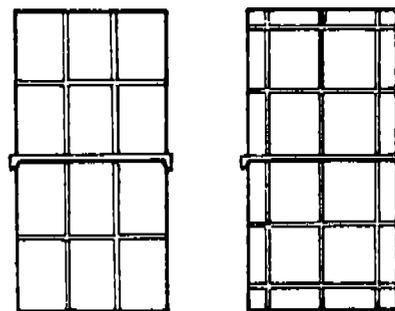
The reinstatement of railings at the entrance to Adam and Eve Mews in Allen Street, alongside the Kensington Chapel, would improve this unresolved corner. (see below.)



Some residents feel that hedges backing railings give a rural atmosphere. However, neglected pruning, as with any other neglected maintenance chore, leads to the deterioration of appearance of terraces and the growing over and obscuring of railings and interference with clear passage on often narrow footpaths.

The Council has surveyed the area and located the few remaining sites where it may be possible to plant street trees. Trial holes will be dug and trees planted where underground services permit. Tree Preservation Orders in the area will be updated.

A long term, but not priority, enhancement would be the creation of a cornice mould suitable for use in Scarsdale Villas, Abingdon Villas, Abingdon Road and Allen Street to create glass reinforced plastic cornices for the Victorian brick and stucco terraces.



The restoration of glazing patterns in Pembroke Square to either of the original styles shown in the drawings would improve many individual properties significantly enough to reflect on the terraces as a whole. Elsewhere attention to a uniform style of window within a terrace would be a great improvement.

Some thoughtful attention to style, size and consistency of house numbers could enhance several streets (see below).

Where interesting or original numbers remain on Victorian ceramic plates or in wrought iron fanlights they should be retained. For originality the typefaces used for numbering should copy those in use at the time of building, some are detailed below.

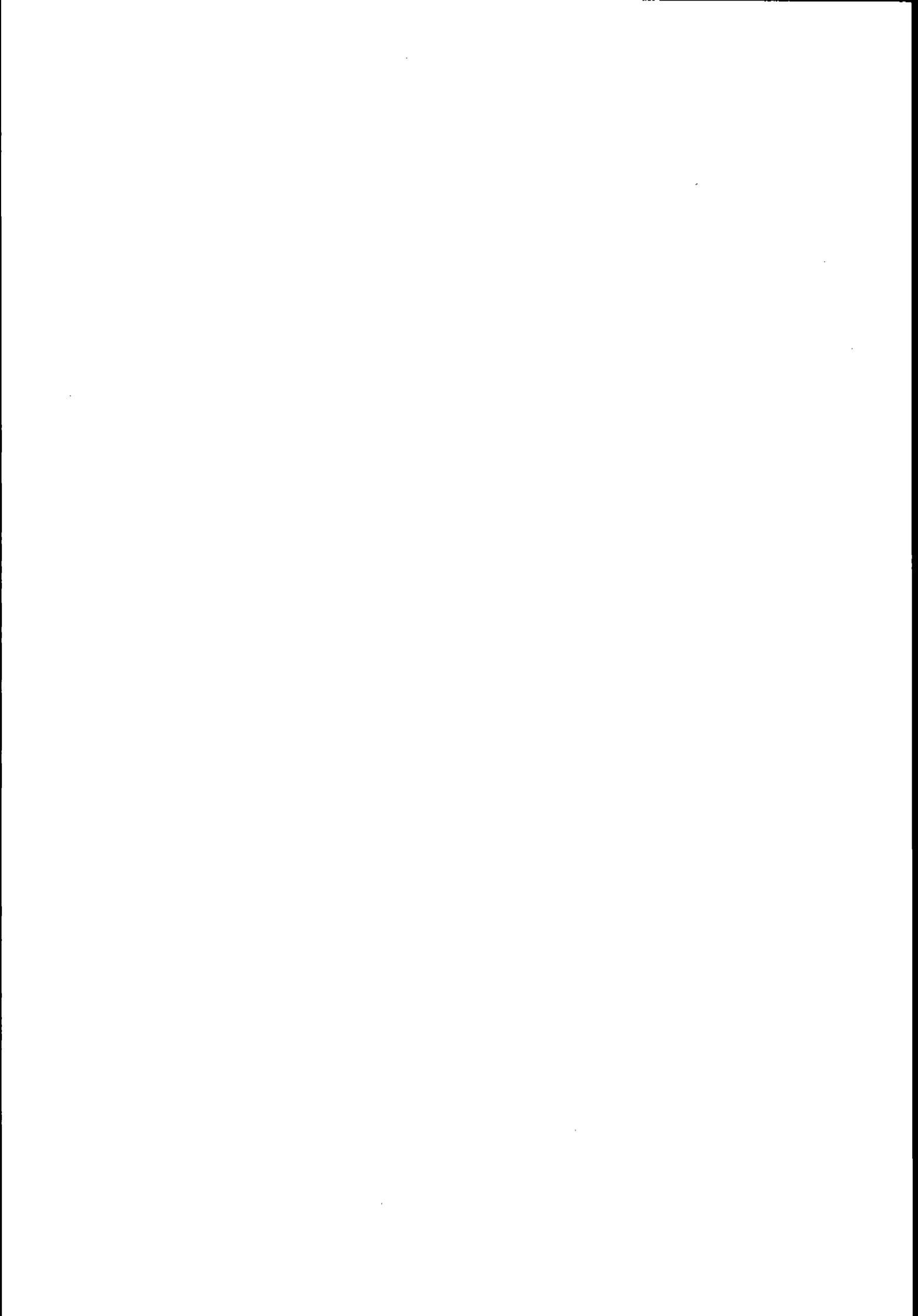
1234567890  
1234567890

Many existing forecourt parking spaces (for example the east side of Earls Court Road, Phillimore Terrace and the north side of Pembroke Road) would be greatly improved by introducing a tree or other planting, renewing the hard surfacing or reinstating walls, railings or piers on the frontage.

The order of priority for these enhancements should be:

- Restoration of central garden railing Pembroke Square\**
- Restoration of railings Allen Street\**
- Restoration of three Pembroke Square house frontages\**
- Reinstatement of front walls and railings*
- Improving existing forecourt parking spaces.*
- Cornice moulds for the late Victorian terraces.*
- Restoration of glazing patterns Pembroke Square.*
- Unified treatment of house number.*
- Cutting back hedges in Squares.*

\* *These should qualify for grants when they next become available.*



## POLICY SUMMARY

The following is a summary of all the policies in this policy statement. Those which are extracts from or quoted in full from the District Plan are in quotation marks and have page references to the District Plan, to differentiate them from those which are amplification of policies in the District Plan but are specific to this conservation area.

### Flats



'The Council normally welcomes proposals to convert property into flats if there is no conflict with other policies in the Plan, but applications to sub-divide smaller houses suitable for continued use as single family dwellings will normally be refused.'

(para 12.13: Chapter 5)



'All newly constructed dwellings and family dwellings provided in conversions shall be self-contained. Smaller dwellings provided in conversions shall be self-contained where possible.'

(para 12.17: Chapter 5)



There are some larger houses which, although suitable for use as single family dwellings may, in the alternative, be capable of conversion into two maisonettes. In these cases the Council will expect planning applications for conversions to contain at least one family sized unit in each conversion.

### Industrial



'The Council will ensure that all industrial development in residential areas is light industrial in character as set out in the Town and Country Planning (Use Classes) Order 1972.'

(para. 5.3: Chapter 12)



Although mews offer attractive accommodation for office uses no change of use from light industrial will normally be allowed.



'The Council will normally give favourable consideration to the requirements of industry in the Borough when applying its office policy. Where industrial premises require ancillary office floorspace, and it can be shown that this supports the functioning of the industrial activity, the Council will normally permit it. However, the Council will normally refuse permission for office floorspace which leads to a loss of industry.'

(para 5.10: Chapter 13)

### Offices



'In particular they should not intrude into established residential areas, change the character of a conservation area or lead to a loss of housing or retail floorspace.'

(para 3.2: Chapter 13)



The spread of office uses in Earls Court Road and into residential areas in general and the Mews in particular will be discouraged and no further loss of residential or retail floorspace will normally be allowed.

### Studios



It will be the intention of the Council, on receipt of any planning applications for change of use, to retain the same physical appearance of the buildings. Photographic, craft and fine art users will be equally appropriate. Any change of studios to exclusive residential or general office use will be vigorously resisted.

### Restaurants



'In considering applications for new restaurants, cafes, sandwich bars, wine bars and public houses, the Council will need to be satisfied that the provision of additional catering establishments will be of benefit to an area and in no way detract from its existing character and function. To this end, the Council will take into account any likely reduction in the area's character and amenity by way of increased levels of noise and refuse, traffic congestion and parking problems resulting from additional catering establishments and any potential loss of retail or residential floorspace. Uses of this kind should, therefore, generally be located in, or adjacent to, the Borough's shopping centres or areas where tourist activity is concentrated.'

(para 5.11: Chapter 14)

## Shops



'The Council will, in principal shopping centres, seek to keep a concentration of shops at the core of each centre.'

(para 5.3: Chapter 14)



'In local shopping centres, ..... the Council will prevent the displacement of retail shopping uses by non-retail uses by normally refusing a change of use from retail trade, if this will reduce the retail service to local people or disrupt the shopping frontage. However, the Council recognises the services that some office uses can provide and will accept their location in certain parts of shopping centres, provided the use will, in the Council's opinion, be beneficial to residents and other users of the shopping centre and where there is not already a concentration of non-retail uses.'

(para 5.4: Chapter 14)

## Listed Buildings



'There will be a general presumption against the demolition of listed buildings in whole or in part, or the removal or modification of features of architectural importance.'

(para 3.2: Chapter 4)



'There will be a presumption against the demolition of a building in a conservation area or any material alteration to a listed building or its setting.'

(para 7.1: Chapter 4)



'The Council expects the owners of buildings of special architectural or historic interest and other buildings of townscape importance or group value in Conservation Areas to take steps to ensure that they are preserved in good order and it will continue to use its statutory powers to ensure this. It is essential that features of architectural importance such as cornices, porticos and chimney stacks be retained and restored wherever possible. Original interiors are also of considerable importance.'

(para 3.19: Chapter 4)



'The maintenance and active use of listed buildings will be strongly encouraged. Original interiors of quality should be preserved, especially those of buildings listed grades I and II'

(Para. 3.4 Ch.4)

## Townscape



'In exercising its functions under the 1931 Act, the Council will ensure that the main purpose of the squares, "an ornamental garden, pleasure ground, or ground for play, rest or recreation" is safeguarded. The emphasis will be on trees, grass and planting. The Council will not permit surface car parking in garden squares. There will also be a presumption against the construction of car parks beneath garden squares, as this can affect their quietness and special character and very often trees of amenity value will be lost or put at risk.'

(para 4.1: Chapter 7)



The Council itself will also contribute to improving the environment when finances permit by paying attention to such matters as paving, lamp-posts, trees, railings, signs and other street furniture.



'Resources permitting, priority will be given to ..... the identification of and proposals for areas where the paving or the design and siting of street furniture are particularly important to the environmental character.'

(para 3.21: Chapter 4)



The Council will endeavour to retain good examples of traditional paving materials, and in particular the setts in Adam and Eve, Lexham, Radley and Pembroke Mews as well as area of York Stone paving in Edwardes Square and adjoining the garden in Pembroke Square.



The Council will continue to seek the highest standard of visual amenity consistent with safety and reasonable cost in the siting of lamps, signs and other street furniture throughout the Conservation Area.



There will be a general presumption in favour of the retention of trees, irrespective of their age, unless they are potentially a public danger or, exceptionally, when removal is required in a replanting programme. New planting will be encouraged during the next decade, so that semi-mature trees will be established when older ones have to be removed, which is bound to happen since a great many trees in the Borough were planted over fifty years ago.



'New buildings, extensions to existing buildings and other works will not be allowed to intrude into garden space which, on its own or together with neighbouring gardens, is important either to the character of the particular area or to the general character of the urban scene.'

(para 3.8: Chapter 7)



'The Council will particularly consider skylines in conservation areas, and views and vistas in, into and out from conservation areas ..... when dealing with proposals for new buildings and extensions to existing buildings. Those skylines, views and vistas most important to the Borough's heritage and historical character will be safeguarded.'

(para 9.4: Chapter 4)



On the terraces of Pembroke Square and Edwardes Square, plus Edwardes Place and Earls Terrace, planning permission for additional storeys will be refused.



"There is a general presumption against additional storeys because they will very often have an adverse effect on the skyline and may conflict with policies relating to car parking and net residential density. All proposals for increasing the height of existing buildings, or erecting new buildings, will therefore be judged in relation to:

- (a) Their effect upon the character of the street or terrace, the skyline as seen from neighbouring houses and streets and daylighting and sunlighting to neighbouring houses and gardens:
- (b) The design relationship of any additional storey to the existing building."

(para 9.5: Chapter 4)



Where works affecting the roof level require planning permission, the Council will require development at the roof level on existing slate covered pitched roofs to use natural slates especially on the most prominent elevation.



When a roof extension is proposed and the surrounding terraces are devoid of modern extensions, it will be the Council's policy to refuse planning permission.

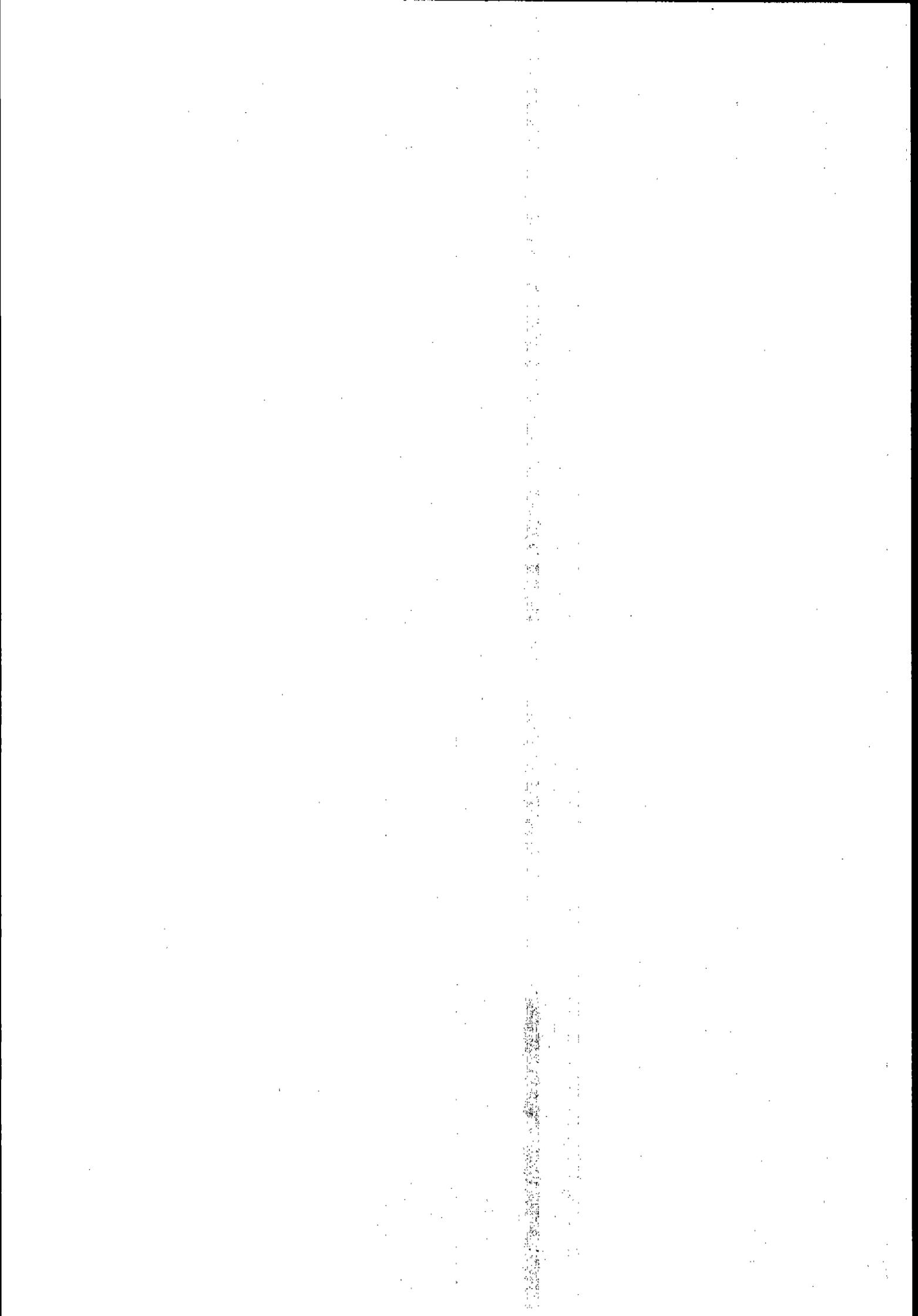


Where development requires planning consent the Council will require that rear extensions should not cover more than fifty per cent of the rear garden area.



"The Council will continue to assist in the preservation or restoration of architectural detail in partnership with private owners."

(para 3.26: Chapter 4)



## APPENDIX



### Shopfronts and advertising design policy

*(Those parts of this appendix which deal with Kensington High Street, and its introduction, are extracts from the Council's publication 'Kensington High Street — shop fronts and signs — a planning policy' which was adopted by the Town Planning Committee on 25th October, 1977.*

*The general points (a) to (h) are substantially incorporated in Chapters 4 and 17 of the District Plan, though brightness standards applied by the Council have been further developed, and Development Control officers should be consulted in particular cases. New paragraphs specific to this Conservation Area are indicated with an asterisk.)*

Even though any particular proposal requires a judgement based at least to some extent on aesthetic 'tastes' there are some general truths summed up by Duncan Sandys, M.P., when President of the Civic Trust, in the following words:

"Excessive and inconsiderate advertisement defeats its own ends. The first huckster to cry his wares in a silent market may draw away custom from his rivals. But when they all start shouting too, nobody can any longer be heard. Similarly, if each shopkeeper seeks to attract attention to his shop by trying to out-smart his neighbours, none will benefit. The only result will be to destroy a common asset, namely the charm and harmony of the street.

If any trader doubts that good taste is good business, let him look about him and see what

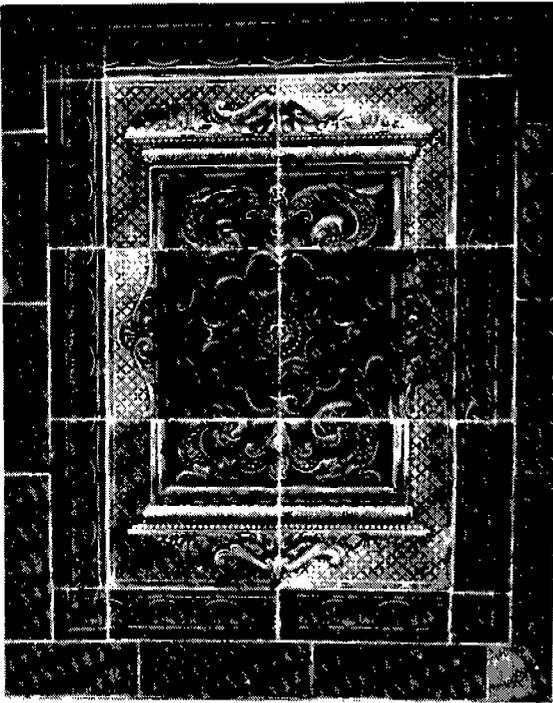
others are doing. One after another, the multiple shops, specialist dealers, and other successful stores are leading the way. Experience has shown them that it is in their own interest to practice good manners towards one another in the design of their shops and in the way they advertise their wares.

In matters of taste, there are bound to be differences of opinion. But I believe that (most people are) in broad agreement upon what is good and what is bad".

This extract from the Council's Development Control Policy Guideline is worth repeating here as it is the basis upon which we rest.

Shopfronts and their associated signs differ from other development over which we have control in one major particular — the lifespan of each development. Retailing trends, the restless search for novelty, changing tenancies, the pressures of advertising techniques, and so on, all result in much more rapid change than takes place within the buildings housing the shops themselves. It seems sensible therefore to identify frameworks within which this transience should be guided.

The frameworks are of two kinds — the legislative framework provided by the local byelaws and the Town and Country Planning (Control of Advertisements) Regulations 1969 and the physical framework provided by the original architectural concept embodied in the whole building, for there is no doubt that the better class of architecture provides a framework that contains this element of change.



In the second part of this statement, therefore, the principal objective has been to identify, block by block, the architectural characteristics which we should seek to have emphasized when controlling the individual shopfront's design.

In particular circumstances of Kensington High Street we are dealing with a commercial area closely bounded by and partly included in Conservation Areas, and thus the impact of shopfronts and advertising when seen from the Conservation Area assumes a degree of importance which is greater than in some other shopping areas of the Borough. This perhaps means that the requirements of advertising pressures should be made less strident not only because of a desire to comply with genteel 'taste' but because the intrinsic domestic character of the Conservation Areas would be damaged by the more gaudy and exciting manifestations of shopfront and fascia displays. Pavement trading of any sort is particularly inappropriate in a prime shopping street located in such a context.

Some policy points general to the whole High Street can usefully be set out here:

- (a) While the importance of a 'house style' to some traders is recognised the importance of amenity is considered to be greater, and may in some instances require house styles to be moderated.
- (b) All shopfronts should incorporate the street number of the premises.
- (c) Projecting signs will be limited to one per visual bay of any block, and should not project more than 1100 millimetres.



- (d) Illuminated shopfronts should be designed to respect the amenity of residents and the safety of passing traffic. Conditions will be imposed limiting their brightness to 150 foot lamberts, and requiring them to be switched off between 11.00 p.m. and 7.00 a.m. Spotlights, for which a maximum of 100 foot lamberts will be imposed, will not be allowed to shine on residential parts of buildings.
  - (e) It is considered that exposed neon lettering is difficult to handle satisfactorily in design terms, and so it will only be acceptable sparingly in this shopping centre.
  - (f) With applications of an average design standard fascia depths should be consistent within each block. The desire to encourage exceptional designs has prevented this factor being treated rigidly — there are times when skilled use of colour, materials, and textures justify departures from the norm. The Leather Shop is an example of such an instance.
  - (g) There will be a general presumption against any signs at first floor level, save in those exceptional circumstances of commercial premises not having any space at ground floor level.
  - (h) Where any permanent sign or legend is in a language not likely to be understood an English translation will generally be expected in combination with it.
- \* It will be obvious that shop premises away from the High Street will be subject to a more restrictive interpretation of these points, especially in respect of illuminations, in view of their subordination to the residential amenity of their surroundings.

The following specific block by block notes are to be consulted prior to making a recommendation on any particular application:

#### **KENSINGTON HIGH STREET facing Conservation Area**

##### **Melbury Road to Commonwealth Institute**

This six storey mansion block contains very narrow frontage shops at street level. A stone balustrade and pilasters contain the individual shopfronts relatively well, but is being compromised to some extent by the many projecting signs. This effect would be reduced somewhat if all the projecting signs could be kept to a uniform height, below the capitals on the pilasters.

Within the individual shopfronts excessively strident colours or bright illumination levels should be avoided because of the predominantly residential nature of this stretch of the High Street.

##### **Phillimore Gardens to Argyll Road**

Another mansion block, having a less deep fascia and combined string-course feature at the top of the stone facing of the ground floor. At the west end, the new fascia of black marble is a prime example of what not to do, and something that must be remedied as soon as opportunity permits.

As this fascia is less deep than in the first block, it should be kept free of lettering, and particularly of projecting signs, other than those giving the name of the mansion block. the pilasters separating the shopfronts need to be retained throughout the block so that individual expression may be freely expressed within the framework thus provided. It would also be desirable to keep maximum fascia depth within one third of the height of the opening – i.e. to the existing level of Oxfam and the Food and Wine Centre. Projecting signs, burglar alarms, ceramic tiles, etc., must all be kept off the surface of the stone-faced pilasters separating the different commercial units.

\*Numbers 172-174 and numbers 204-206 are particularly sensitive frontages due to their relationship to the Conservation Area's roads opposite.

##### **Argyll Road to Campden Hill Road**

The criteria of the previous paragraph apply generally. At present Richard Shops and Sombrero are examples of the architectural framework being obscured/destroyed by the shopfittings. To a lesser extent the lettering on Safeway spoils the architectural effect and when eventually refitting is being undertaken should be removed.

#### **Campden Hill Road to Hornton Street**

The same again. This block, by far the most distinguished of the flat blocks on the north side, suffers particularly from projecting signs fixed to the pilasters – a feature which we must seek to reduce as we manage change in the future. The architectural integrity of the whole composition should be carefully restored and maintained.

#### **KENSINGTON HIGH STREET – within or adjoining Conservation Area**

##### **Wrights Lane to Adam and Eve Mews**

A block of robust and distinctive character and style demanding the re-establishment of the original rhythm (still seen in the upper part) at shopfront level.

The console brackets (between the fascias) with the urns on top of them (still seen at the western half of the block) need to be restored where missing, cleaned and perhaps painted in all instances. The glazing patterns in the upper storeys should be restored.

(There is a measure of disrespect for the overall style of the block shown to some extent by The Scotch House and by Barratts in particular which has to be avoided in future applications, and improved in these two instances when next they are being refitted, although the Scotch House is to many local people an example of design appropriate to the shopping environment or charisma of the High Street.)

This done, the fascias, lettering styles, etc., can be of considerable variety, though areas of light colour should be rather small so that the overall dark tone of the building may be complemented by the shopfronts. Additionally, many of the units are visible from residential areas, and so illuminated signs should be restrained either in intensity or in size.

##### **Adam and Eve Mews to Allen Street**

There are strong and visually desirable string courses above the fascias along this entire block, with the exception of Dolcis which is an example of a shopfront paying no respect whatsoever to the overall context in which it is set. The string courses need to be cleaned and retained or restored in conjunction with any new shopfront, and where the rather gross brackets still exist on the party walls they also should be cleaned and kept free of projecting signs and other clutter. Within the framework thus created individual evaluation of the proposals submitted will produce a perfectly satisfactory environment. As for the previous block the exposure of much of this frontage to residential areas calls for restraint in lighting particularly. Brentford Nylons with

the brightness of its fascias both by day and night opposite Argyll Road shows too little regard for the character of the block and the amenity of the Conservation Area opposite. At the west end of the block the treatment of Pettits also leaves much to be desired, with its brash horizontal removal of the original bay widths and more particularly with its destruction of any visible means of support to the upper storeys of the block on the corner, which is now fully glazed.

#### **Allen Street to Earls Court Road**

Another mish-mash area where a very light exercise of control is justified, so long as no further signs, symbols, etc., are permitted above fascia level, and the upper storeys are protected from gratuitous encroachments from below.

So long as the amenities of the adjacent and fronting residential areas are protected, this is the part of the High Street best able to accommodate the more extreme flights of fancy of shop front design. Those frontages west of Abingdon Road which are in the Conservation Area will require additional consideration when refitting is being undertaken. Numbers 221-223 have a distinction which deserves special attention in considering change.

#### **Earls Court Road to Edwardes Square**

Overall pursuit of reasonable advertising manners is all that can be sought over this frontage and on the block next to Edwardes Square the stone string course at present continuous and uncluttered above the fascias must be preserved as the upward limit of display.

#### **Edwardes Square to St. Mary Abbots Place**

The small terrace with shopfronts in this block has a predominantly domestic character which should condition the designs of the narrow shopfronts below. Due regard to the houses on the opposite side of the High Street calls for the absence of, or certainly very low level of, any illuminations on these shopfronts.

#### **Warwick Gardens to Warwick Road**

The small commercial element within this large mansion block requires only restraint on garishness and restraint on upward extension of display material so that nothing is fixed higher than the present top of the fascia box of the National Westminster Bank on the corner.

#### **\*Marloes Road north of Stratford Road**

\*The most appealing feature of this terrace is the continuous first floor balcony and its cast iron balustrade: quite clearly all commercial matter must be kept below the level of this.

\*Although there is one projecting sign on the terrace, and two free-standing signs in front gardens, it is considered inappropriate to allow more. Equally those fascias which have been added to the buildings add nothing to their attractiveness, and suggest that lettering applied direct to the facade, as at J.H. Kenyon for example, is the preferable solution.

\*A variety of materials and details have been used in the ground floor window treatments, and even large sheets of glass have been successfully employed. So long as the dominant domestic character prevails a continuing variety of treatment is expected, but it seems unlikely that any proposal for changing the existing structural openings would be acceptable.

\*The forecourts of this terrace as a group are regrettably not as attractive as they might be and their enhancement should be reviewed as a priority for the area.

#### **\*Marloes Road south of Stratford Road**

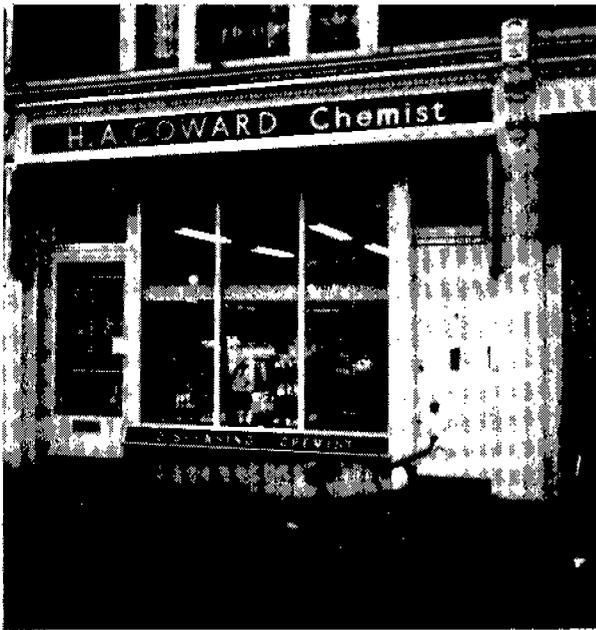
\*The upward spread of commercial features here has passed saturation level, but the features most in need of improvement are the excessively deep fascias which dominate the buildings. The Devonshire Arms and many of the shops in Stratford Road ably show that much slimmer fascias are quite clear and more in keeping with the buildings' character. If the mouldings and stucco detail remaining on adjacent buildings still exists behind the big inclined fascia boards, then the enhancement to be achieved by their removal would be that much greater.

\*Awnings are features towards which it is difficult to have a hard and fast policy — those existing here and on the Devonshire Arms are not objectionable, and so any future proposals will be judged on their merits, having regard especially to colour, size and prominence.

#### **\*Stratford Road**

\*This group, insofar as it still serves a local community primarily, can be seen almost as a village shopping centre — and its present visual personality is still small scale despite a couple of insensitive frontages.

\*One of the most attractive shopfronts in the Conservation Area, Coward's, typifies the visually ideal approach, with its careful attention to detail and ornament, its fascia integrated into the general architectural treatment of the block, and above all its respect for architectural order and proportion. While retailers cannot be expected to indulge in historical fantasy, some lessons of general application in this street can be learned from this design — the absence of large blank surfaces, the modest fascia and quality lettering, and the horizontal mouldings and detail separating the shop from the upper floors.



\*Nearby, regrettable instances of ignoring these lessons include large fascias and flush entrance doors to the upper residential parts. If deep fascia zones are desired for whatever reason, the grocer's and cleaner's premises show how it can be sub-divided with a 'dropped fascia' fitting within the structural opening. The existing expression of frontage widths in common with the dwellings above is important, and the very limited number of projecting signs should not be increased without special reason.

#### \*Abingdon Road

\*The existing shops here contrast attractively with the adjacent High Street, being altogether more local and intimate in their character. Such a difference within such a small compass is perhaps the source of the Royal Borough's special character.



\*All the units except one have subdivided glazing and varying stall-risers, and perpetuation of these features will be required. The admittedly rather coarse pilasters and brackets separating the units are important enough visually for retention and repair to be expected, even if projecting signs are fixed to them on the east side. The projecting signs and hanging signs and brackets for them on the west side, seem appropriate here; up to one per

visual bay will be permitted. the varied and colourful awnings are also considered welcome features.

\*Several of the units are already either offices or restaurants, but so long as appropriate signwriting and the glazed 'shopfront' appearance is maintained these uses fit well into the street

#### \*Public Houses

\*The Conservation Area is fortunate in the visual standards of its pubs, all of which have colour and vitality without garishness, and generally occupy prominent sites. They tend to be either on corners, or terminate views along streets, and to occupy buildings with extra architectural embellishment which is well maintained and decorated.

\*All have hanging signs, which are entirely appropriate and worthy of perpetuation. Window boxes with profuse vegetation appear on the Hansom Cab and at the Scarsdale, a further evidence of the owners' willingness to invest in care of these properties.

\*Any applications in respect of them will be dealt with on the basis of seeking continued integration of colour, signwriting, architectural ornament, and new materials into an attractive ensemble with rather more exuberance than typical locally — features of visual focus as they have been since the development of the area.

#### \*Mews premises in commercial use

\*The residential element dominates or is very important in the mews of the area. It follows that inconsiderate display or bright illumination has a disproportionately harmful effect on amenity in these small streets, and will not be permitted. Equally it is apparent that where commercial premises do exist, signs and fascias must be accepted but they will be required to be of a scale and form subsidiary to the style and detail of the building.

\*The few other isolated shops, etc., will be equally subject to these principles.

#### \*Advertising hoardings or display

\*Though some display on blank walls or gables can be appropriate in Victorian terms (for example, the sign on the return wall of the Abingdon Public House) it is considered that no additional scope remains within the Conservation Area.

\*The high level hoarding on the corner building at the west end of Abingdon Villas detracts from this entrance to the Conservation Area (though it is just outside the boundary) and should not be taken as an acceptable precedent for other nearby sites.

## TREES



### Protection of Trees – Procedural Note

#### Tree Preservation Orders

If a tree is the subject of a Tree Preservation Order it is an offence to damage or destroy it wilfully, or to fell, top, lop or uproot it, without the consent of the Local Planning Authority (i.e. this Borough Council). The related legislation is contained in the Town and Country Planning Act, 1971 (Section 59-62, 102, 103, 174 and 175), the Town and Country Amenities Act, 1974, and the Regulations made under these Acts.

#### Trees in Conservation Areas

Under the Town and Country Amenities Act, 1974, if you wish to fell, lop, top or uproot trees in a Conservation Area, other than those already covered by a Tree Preservation Order, you must give the Local Planning Authority six weeks' notice. It is an offence to carry out the work within that period without the consent of the Authority. The Regulations made under this Act give the exemptions from this requirement, which include trees of less than 3" in diameter at chest height.

#### Penalties for Unauthorised Works/Damage

If in contravention of an Order, a tree is cut down, uprooted or wilfully destroyed or is wilfully damaged or topped, or lopped in a manner likely to destroy it, the person responsible may be fined up to £1,000 – or twice the sum which appears to the Court to be the value of the tree, whichever is the greater – on summary conviction, or an unlimited fine on indictment. For other contraventions, there is a fine of up to £200 and there is also a penalty of up to £5.00 per day for continuing offences. If a tree is removed or destroyed, the owner of the land will also be required to plant another tree in its place, unless the Local Authority agree otherwise. Similar penalties exist in respect of unauthorised works or damage to trees in Conservation Areas.

#### Procedure

In both cases you should write to:

The Borough Planning Officer,  
The Royal Borough of Kensington and Chelsea,  
Department 705, The Town Hall,  
Hornton Street,  
London, W8 7NX



Giving the following information:—

- (1) Details of the tree sufficient to enable its identification, including species and position on site (specify front or back garden).
- (2) Details of the proposed works.
- (3) The reason for the works.

#### Emergency Work

If you wish to carry out, as a matter of urgency, work to a tree which you believe to be dead, dying or dangerous you should contact the Section noted below for advice on procedure.

#### Obstruction to Public Highway Highways Act 1980 (Section 154)

Many trees, and shrubs, growing in private gardens constitute a hazard to users of the public highway. Low growing twigs and branches encroaching upon the highway from private gardens should be cut back to boundary walls and overhanging branches should be pruned or removed to create a clearance of 2.5m from pavement level. This work is particularly important to avoid danger to the blind and infirm. Where branches obscure street lamps, traffic lights or road signs they should be pruned or removed to ensure that they are clearly visible especially by drivers.

All such work should be carried out at the earliest opportunity to avoid any inconvenience, annoyance or danger to users of the public highway and may be executed without the prior consent of the Council. However where further work is required beyond the minimum necessary to clear the obstruction you are advised to contact the Council offices to establish whether the trees are subject to a Tree Preservation Order or other restriction when it will be necessary to obtain consent from the Council.

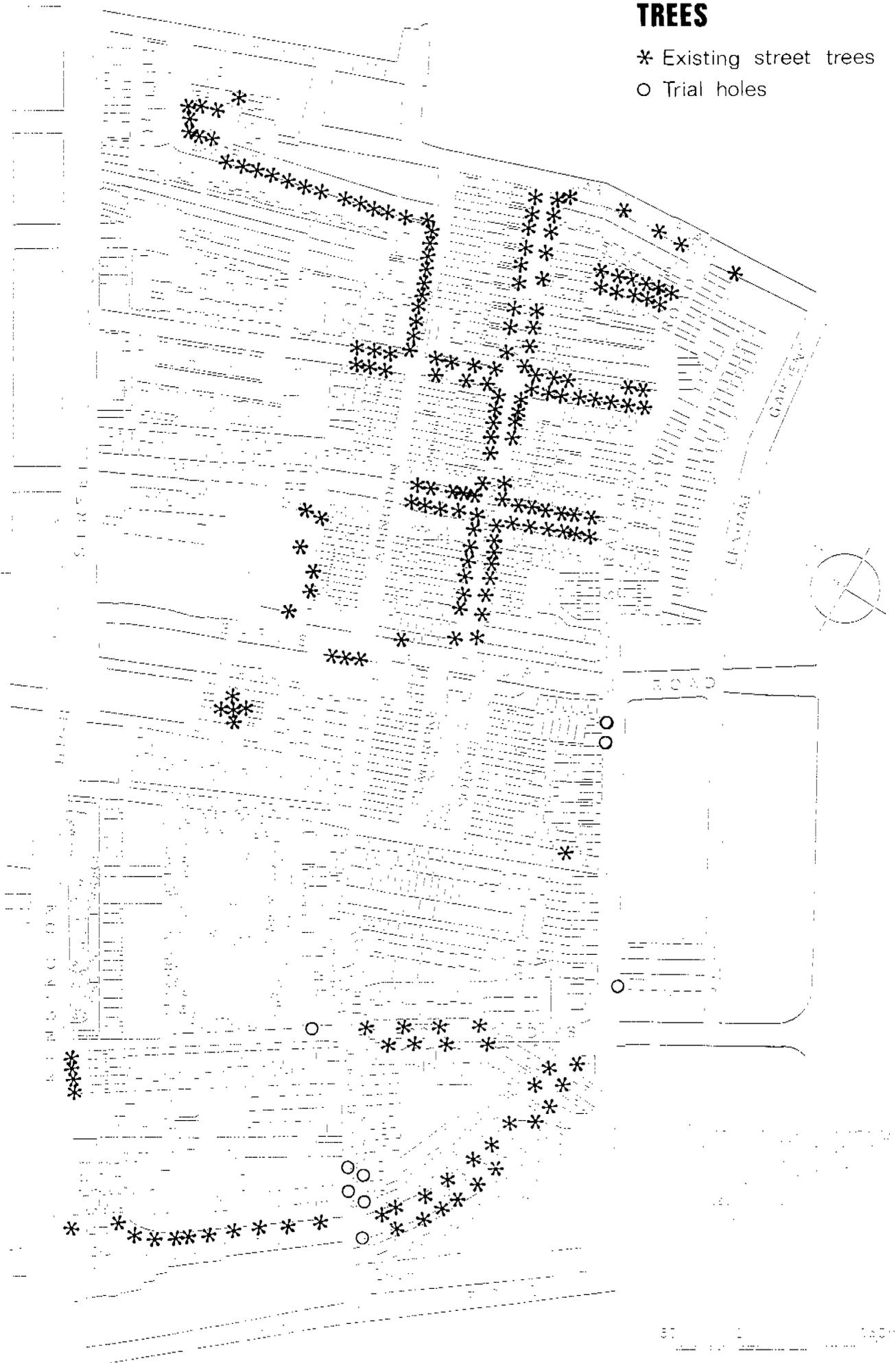
#### Telephone Enquiries

If you wish to find out whether your tree is protected or is in a Conservation Area, or you have any other enquiries concerning the procedural aspects of work to trees, you should contact the Arboricultural Section on 01-937 5464, Ext.432.

# TREES

\* Existing street trees

○ Trial holes



**Famous Residents**

Leigh Hunt (James Henry)	32 Edwardes Square	1840-51	Essayist and Reformer
Chesterton (Gilbert Keith)	1 Edwardes Square	1901	Poet and Novelist
Chesterton (Gilbert Keith)	11 Warwick Gardens		Poet and Novelist
Du Maurier (George)	12 Edwardes Square	1867-70	Artist and Novelist
Lowes (Dickinson Goldsworthy)	11 Edwardes Square		Author and Humanist
Flanders (Michael)	1A Scarsdale Villas		Musician and Humourist

The following buildings are considered to be of equal merit to those currently included in the statutory list:

Abingdon Road	9, 32-38 even 56-70 even
Abingdon Villas	4-32 even 45-63 odd 46-64 even
Allen Street	1-12 Inkerman Terrace, 1-10 Alma Terrace
Edwardes Square	23A Scarsdale Arms Public House
Marloes Road	37-67 odd
Pembroke Cottages	1, 2
Pembroke Gardens	35
Pembroke Square	21, 22, 23
Pembroke Villas	1-5 consecutive
Scarsdale Villas	1-27 odd 2-36 even
Warwick Gardens	1-9 odd 31-41 odd

Pembroke Road	2-8 even
Pembroke Villas	6, 7
Scarsdale Villas	38-72 even, 29-57 odd
Stratford Road	11, 13A, 15-23, 25-37, 54-60
Warwick Gardens	11

Residents suggested the following buildings for consideration for listing by the Secretary of State for the Environment.

South Edwardes Square	59, 23A, Scarsdale Public House
Earls Court Road	The Princess Victoria Public House
Pembroke Gardens	32
Pembroke Studios	A11

The Council have been informed by the Department of the Environment that 59 South Edwardes Square and Pembroke Studios are not considered to be of sufficient interest to be listed.

**Other buildings of local interest**

Abingdon Road	31-39, 43-39, 57-67, 40-52, 54, 69-87, 89-93, 72-94, 103-103-111
Abingdon Villas	65-85 odd, 66-82 even
Allen Street	1-12 Phillimore Terrace, 3-6 Shaftesbury Villas
Earls Court Road	98-106 even, 47-95 odd

There is some street furniture of special interest in the area.

Lamps in Adam and Eve Mews, Edwardes Square and Earls Terrace

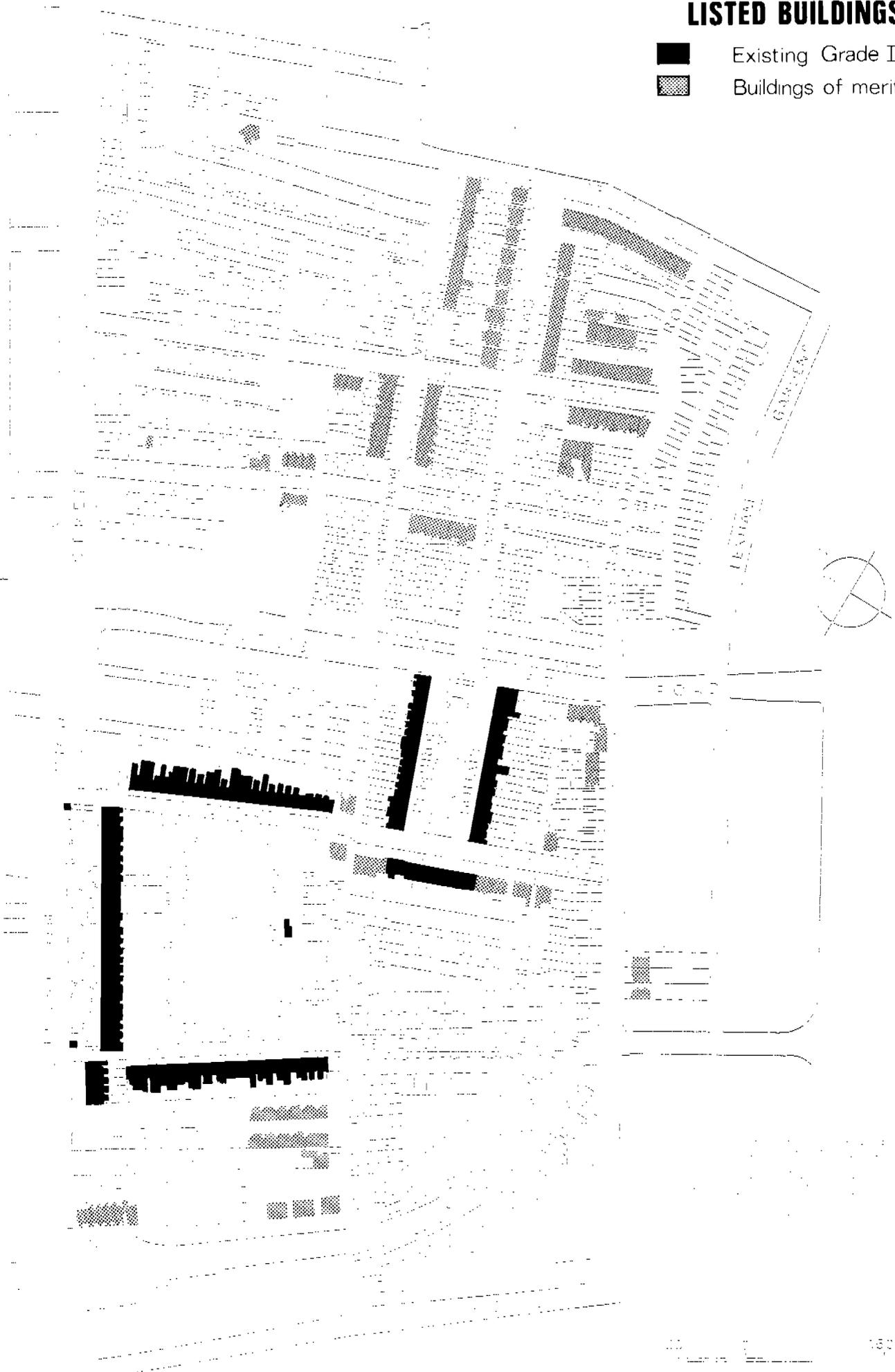
Bollards in Warwick Gardens opposite Pembroke Gardens

Railings in the central space of Edwardes Square

Letterbox outside No.27 Pembroke Gardens

# LISTED BUILDINGS

- Existing Grade II
- Buildings of merit



**PROPERTIES IN EDWARDES SQUARE, SCARSDALE AND ABINGDON CONSERVATION AREA from JANUARY, 1981**

Abingdon Road	1-111 odd 2-16 even 32-52 even 56-94 even Abingdon Arms (54), Roman Catholic Church
Abingdon Villas	All: Comprising 2-32 even 46-82 even 45-85 odd, including Abingdon Court and Abingdon Gardens
Adam & Eve Mews	All
Allen Street	Phillimore Terrace : All (1-12) Allen House Kensington Chapel The Mase and lecture hall (Allendale School) The Britannia Public House Shaftsbury Villas: all (3-6) St. Johns Church Alma Terrace: all (1-10) Inkerman Terrace: all (1-12)
Blithfield Street:	All
Cope Place	2-26 even
Earls Court Road	47-95 odd 76-108 even
Earls Terrace	All, including Gardens & Lodges
Earls Walk	3-9 odd 23-27 odd and any garages on the south side
Edwardes Place	All
Edwardes Square	All, including Garden Square and South Edwardes Square and Pembroke Court
Iverna Court	All, including gardens, St. Sarkis Armenian Church, the vicarage, and hall
Iverna Gardens	1-50
Kensington High Street	129-195 odd 215-223 odd and Our Lady of Victories Roman Catholic Church

Lexham Mews	All, including Mews Arch
Marloes Road	35-67 odd
Pembroke Cottages	All, including Pear Tree Cottage
Pembroke Gardens	All, including Pembroke Studios
Pembroke Garden Close	All
Pembroke Mews	All, including Earls Cottage and Esme House Earls Walk
Pembroke Place	All, including St. Barnabas and St. Philip School
Pembroke Road	2a, 2b, 2-48 even, 29-33 odd
Pembroke Square	All, including garden square
Pembroke Villas	All
Pembroke Walk	All
Radley Mews	All
Scarsdale Studios	All
Scarsdale Villas	All, including St. Johns Church
Shaftesbury Mews	All
St. Mary Abbots Place	All
Stratford Avenue	All
Stratford Road	All, including Alma Studios
Sunningdale Gardens	All
Warwick Gardens	1-73 odd, including 41a; 48-102 even, Victoria Monument and horse trough
Warwick Road	150-160

**PROPERTIES ADDED IN JUNE 1982**

Allen Street – Allen Mansions, Ilchester  
Iverna Gardens – Royal Naval Provost Headquarters (No.1A)  
Wynnstay Gardens – A11

This is an alphabetical listing of all road and terrace names used in the conservation area. Former terraces which have since been demolished and terraces whose names are now disused are located by current road numbering.

<b>A</b>		Edwardes Terrace	(Kensington High Street 343-353 odd)
Abingdon Place	(formerly probably 2-22 even Abingdon Road)	Edwardes Square Mews	(South Edwardes Square)
Abingdon Road	(formerly Newland Street)	Edwardes Square Mews	(South Edwardes Square)
Abingdon Terrace	(Abingdon Road 69-87 odd and 54-70 even)	Edwardes Square Cottages	(South Edwardes Square)
Abingdon Villas West	(Abingdon Villas 46-64 even 45-63 odd)	Elderton Row	(Edwardes Place)
Adam and Eve Mews		Emma Place	(Cope Place 2-26 even)
Adam and Eve Cottages	(Adam and Eve Mews)	<b>F</b>	
Albion Terrace	(Abingdon Road 55-67 odd)	Foxley Road	(Scarsdale Villas)
Allen Street	(named after Thomas Allen owner of land on E side)	Foxley Terrace	(Scarsdale Villas 58-72 even)
Allen Terrace	(Kensington High Street probably 197-215)	<b>G</b>	
Alma Studios	(Stratford Road)	Garston Terrace	(Earls Court Road probably 1-9 odd)
Alma Terrace	(Allen Street)	<b>I</b>	
Argyl Terrace	(Scarsdale Villas 43-57 odd)	Inkerman Terrace	(Allen Street)
a' Becketts Place	(Earls Court Road 27-33 odd)	<b>K</b>	
<b>B</b>		Kensington High Street	
a' Becketts Place	(Earls Court Road 27-33 odd)	<b>L</b>	
Blithfield Street		Lansdowne Terrace	(Earls Court Road 47-65 (odd)
Bath Place/Terrace	(Kensington High Street approximately 165-195 odd)	Leonard Place	(Kensington High Street after Louis <b>Leon</b> Changeur. approx. 261-281 odd)
<b>C</b>		Lexham Mews	
Carlise Terrace	(Abingdon Road 72-94 even 89-111 odd)	<b>M</b>	
Claremont Terrace	(Abingdon Road 40-52 even)	Marloes Road	
Cope Place		<b>N</b>	
<b>D</b>		Newland Place	(Kensington High Street approx. 237-253 odd)
Devonshire Terrace	(Marloes Road 37-67 odd)	Newland Terrace	(Kensington High Street approx. 217-235 odd)
<b>E</b>		<b>O</b>	
Earls Court Terrace	(Earls Court Road 67-95 odd)	Orchard Terrace	(Abingdon Villas 66-82 even 65-85 odd)
Earls Terrace			
Earls Walk			
Edwardes Place	(formerly Elderton Row named after William Elderton Allen principal financier)		

P

Park Place (Abingdon Road 32-38 even 43-51 odd)  
 Park Terrace (Cope Place 12-23 odd)  
 Pembroke Cottages  
 Pembroke Cottages South (Pembroke Villas 1 & 2)  
 Pembroke Gardens  
 Pembroke Mews  
 Pembroke Place West (Pembroke Place 19-28 inc.)  
 Pembridge Road  
 Pembroke Square  
 Pembroke Studios  
 Pembroke Terrace (Earls Court Road 98-108 even)  
 Pembroke Villas  
 Pembroke Walk  
 Phillimore Terrace (Allen Street)

R

Radley Mews

S

Scarsdale Studios  
 Scarsdale Villas  
 Shaftsbury Mews  
 Shaftsbury Terrace (Scarsdale Villas 38-56 even 29-41 odd)  
 Shaftsbury Villas (Allen Street previously included part of site of Abingdon Court) (South Edwardes Square)  
 Slaters Stables  
 Stratford Avenue  
 Stratford Road  
 Stratford Studios  
 St. Mary Abbots Place  
 St. Phillips Terrace (Stratford Road 54-60 even)  
 Sunningdale Gardens (formerly Cleveland Terrace Gardens)  
 Somerset Terrace (Kensington High Street approx. 151-163)  
 South Bank Terrace (Stratford Road 15-21 odd)  
 South Bank Villas (Stratford Road entrance to Scarsdale Studios)

T

The Terrace (Kensington High Street approx. 129 to 151 odd)

W

Wattfield Terrace (Earls Court Road 35-45 odd)  
 Warwick Gardens (incorporating Warwick Square and Crescent)

Warwick Road (150-160 even, formerly Warwick Place)  
 Warwick Studios  
 William Place (Pembroke Place; part of)  
 Wright's Lane (Marloes Road)

**Article 4 Directions**

Alma Terrace	1-10 consec.	1(4) 6.3.78
Inkerman Terrace	1-11	1(4) 6.3.78
Inkerman Terrace	1-12	1(1,2) 9.7.71
Inkerman Terrace	12	1(4) 1.3.78
Scarsdale Villas	34	1(4) 11 (2) 16.8.74
Scarsdale Villas	58-62 even	1(4) 11 (2) 5.11.76
Scarsdale Villas	66-72 even	- do -

- I(1) The enlargement, improvement or other alteration of a dwelling house
- I(2) The erection or construction of a porch outside any external door of a dwelling house
- I(4) The formation of a hardstanding
- II(2) The formation, layout out and construction of a means of access to a highway not being a trunk or classified road, where required in connection with development permitted by Classes 1 i, 1 2 and 1 3.

**Listed Buildings**

(see also map)

**Grade II**

Kensington Congregational Chapel, Allen Street.  
 84-86 Earls Court Road (Hansom Cab Public House).  
 Earls Terrace 1-25 consecutive and lodges.  
 Edwardes Place 1-5 consecutive.  
 Edwardes Square 1-23 consecutive: 25-48 consecutive.  
 The Temple in gardens.  
 Iverna Gardens St. Sarkis Church.  
 Pembroke Square 1-20 consecutive: 24-32; 32A, 33, 33A: 34-49 consecutive.

# GLOSSARY

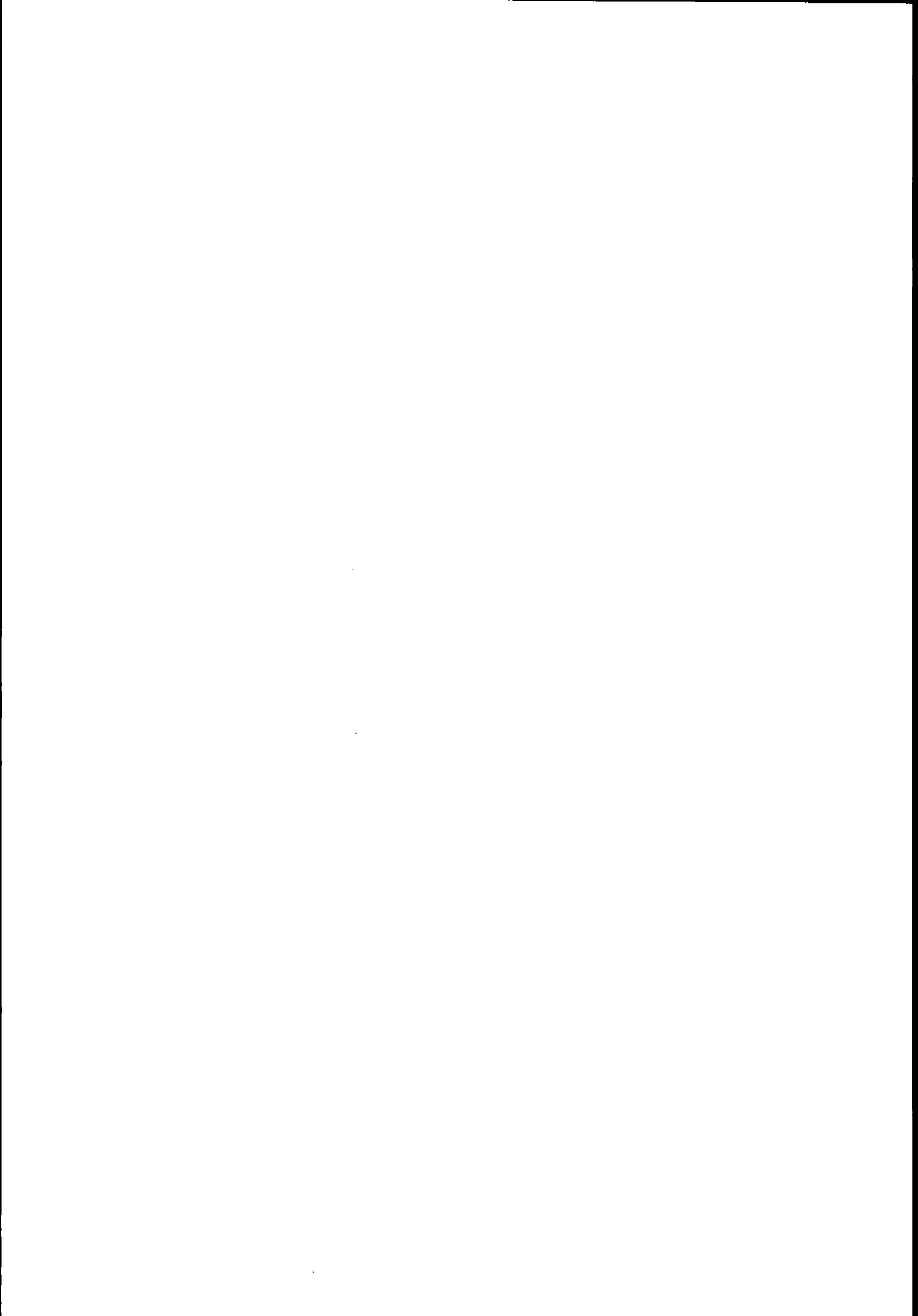


*Policy Statements are also available from the Town Planning Information Office, Town Hall, Hornton Street, for the following conservation areas:*

*Ladbroke  
St. Quintin/Oxford Gardens  
Earls Court Village  
Earls Court Square  
Elm Park/Chelsea Park  
Queens Gate  
The Boltons  
Thurloe Estate and Smith's Charity  
Norland  
Pembridge*

*Statements are being prepared for:*

*Kensington Square  
Thames  
Royal Hospital  
Cheyne  
Princes Gate Mews*



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